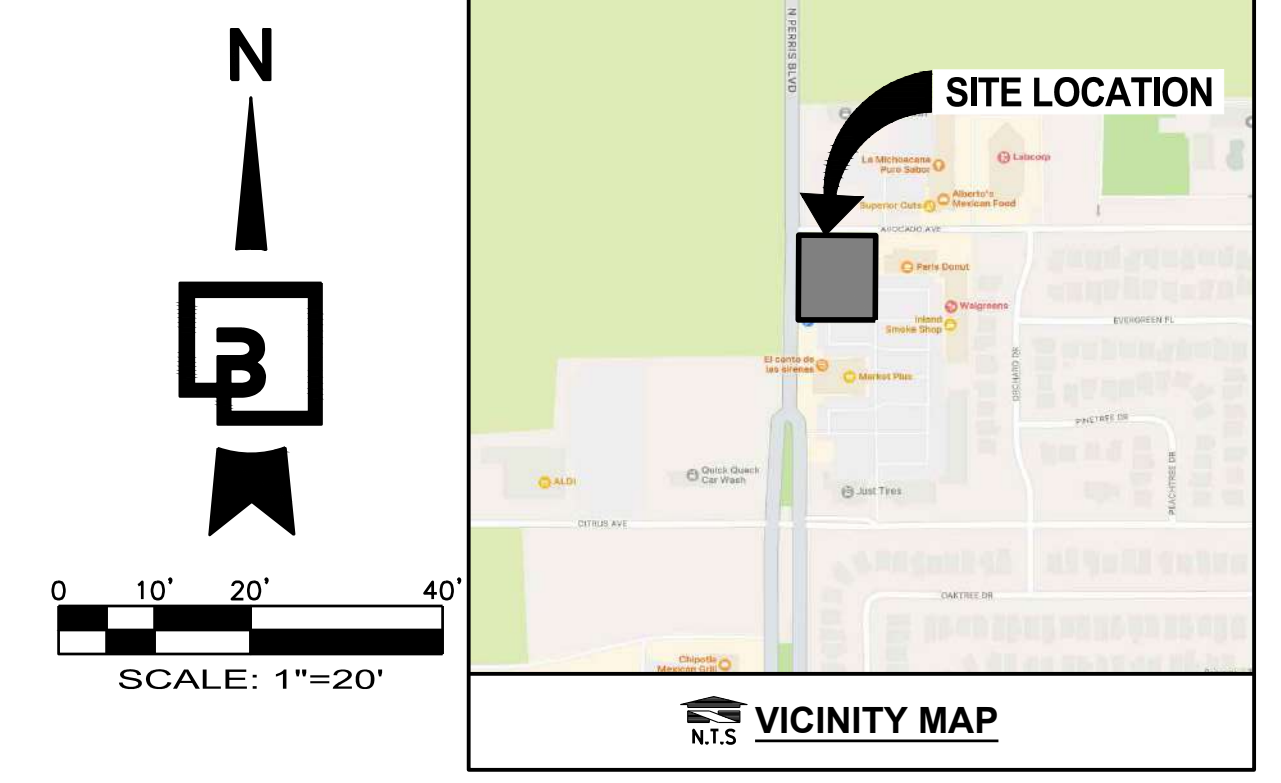


# DUTCH BROS. COFFEE - CA5902, PERRIS, CA

## PRELIMINARY SITE PLAN

Know what's below.  
Call before you dig.  
Dial 811

WATER	EASTERN MUNICIPAL WATER DISTRICT (EMWD)
SEWER	EASTERN MUNICIPAL WATER DISTRICT (EMWD)
STORMWATER	CITY PUBLIC WORKS DEPARTMENT
ELECTRIC	SOUTHERN CALIFORNIA EDISON
TRASH AND RECYCLING	CR&R ENVIRONMENTAL SERVICES
SCHOOL DISTRICT	VAL VERDE UNIFIED SCHOOL DISTRICT



**OWNER**  
JUHNS RIALTO INVESTMENT, LLC  
9030 BLAIR STREET  
ROSEMEAD, CA 91770  
CONTACT: JJ JUHN  
TEL: (626) 841-0807

**DEVELOPER**  
DUTCH BROS COFFEE  
P.O. BOX 1929  
GRANTS PASS, OR 97526  
CONTACT: JOHN CAGLIA  
TEL: (916) 765-7270

**KEY NOTES:**

- PROPOSED DUTCH BROS COFFEE STAND. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS.
- PROPOSED TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- PROPOSED SIGN. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- PROPOSED CONCRETE PAVING.
- PROPOSED ASPHALT PAVING.
- PROPOSED GRIND AND OVERLAY.
- PROPOSED CONCRETE SIDEWALK (WIDTH VARIES), TYPICAL.
- PROPOSED PAVEMENT STRIPING, TYPICAL.
- PROPOSED PAVEMENT LETTERING AS SHOWN.
- PROPOSED PAVEMENT TRAFFIC MARKINGS, TYPICAL.
- PROPOSED ACCESSIBLE PATH.
- PROPOSED ACCESSIBLE PARKING SPACE AND AISLE WITH ALL REQUIRED SIGNAGE.
- PROPOSED PARKING SPACES, TYPICAL.
- PROPOSED LANDSCAPE AREA. REFER TO LP-1 AND LP-2 FOR ADDITIONAL INFORMATION.
- PROPOSED SAWCUT LIMITS, TYPICAL.
- PROPOSED BARRIER CURB.
- PROPOSED CURB AND GUTTER.
- PROPOSED SIDEWALK UNDER-DRAIN.
- PROPOSED VALLEY GUTTER.
- PROPOSED LEASE AREA.
- EXISTING BARRIER CURB TO REMAIN.
- EXISTING WATER STATION AND ASSOCIATED BOLLARDS TO REMAIN.
- EXISTING UTILITY STRUCTURES AND ASSOCIATED LINES REMAIN, TYPICAL.
- EXISTING VALLEY GUTTER TO REMAIN. REPAIR AT THE SAWCUT LIMITS AS REQUIRED.
- PROPOSED GRIND AND OVERLAY ALONG PROPERTY FRONTAGE ON AVOCADO AVENUE, FROM CURB TO CURB. ON PERRIS BLVD, PAVEMENT TO BE REPLACED FROM EXISTING CURB TO CENTERLINE. 2" DEPTH OF MATERIAL TO BE REMOVED AND REPLACED WITH NEW AC PAVEMENT.
- PROPOSED REPLACEMENT OF EXISTING DRIVEWAY TO BE REBUILT TO COMPLY WITH RIVERSIDE COUNTY STANDARD NO. 207A. THESE DRIVEWAYS SHALL INCORPORATE WET-SET CONCRETE TRUNCATED DOMES IN ACCORDANCE WITH ADA REQUIREMENTS.
- PROPOSED 36" HEIGHT PONY WALL WITH PILASTERS, TO SCREEN DRIVE-THRU LANES. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS.
- PROPOSED 36" HEIGHT SCREENING HEDGE. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL DETAILS.
- PROPOSED- EXISTING R.O.W. LANDSCAPING TO BE RENEWED. REFER TO LP-3 AND LP-4 FOR DETAILS.
- PROPOSED- EXISTING TREE TO REMAIN AND BE PROTECTED.
- PROPOSED RELOCATION OF EXISTING STREET LIGHT, DUE TO REBUILT DRIVEWAY GEOMETRY.
- EXISTING PVC STUBS. CONTRACTOR TO POTHOLE TO VERIFY NO EXISTING UTILITIES EXIST AT THIS LOCATION.
- EXISTING TELECOMMUNICATIONS LINE AND VAULT TO BE RE-LOCATED.
- PROPOSED- PAINT FIRE LANE CURB RED, PER CITY STANDARDS, IN KIND WITH EXISTING. PROVIDE FIRE LANE ENTRANCE AND NO PARKING SIGNS TO CITY STANDARDS.
- PROPOSED- RELOCATE AND RECONSTRUCT EXISTING PARKWAY DRAIN TO RIVERSIDE COUNTY STANDARDS.
- PROPOSED- RECONSTRUCT EXISTING CURB RAMP TO RIVERSIDE COUNTY STANDARDS.
- PROPOSED TRENCH FOR UTILITY WORK. REPLACE PAVEMENT IN KIND TO COUNTY STANDARDS AFTER UTILITY WORK.
- PROPOSED MODULAR WETLAND SYSTEM. REFERENCE 1/THIS SHEET FOR ADDITIONAL DETAILS.
- EXISTING MONUMENT SIGN TO REMAIN AND BE PROTECTED.
- EXISTING FIRE HYDRANT.
- APPROXIMATE LOCATION OF PROPOSED SITE LIGHT. REFER TO ELECTRICAL SITE PLAN AND PHOTOMETRIC PLAN DRAWINGS FOR FINAL LOCATION.
- PROPOSED TRANSFORMER WITH CITY-APPROVED GRAPHIC WRAP.

**PROJECT DATA:**

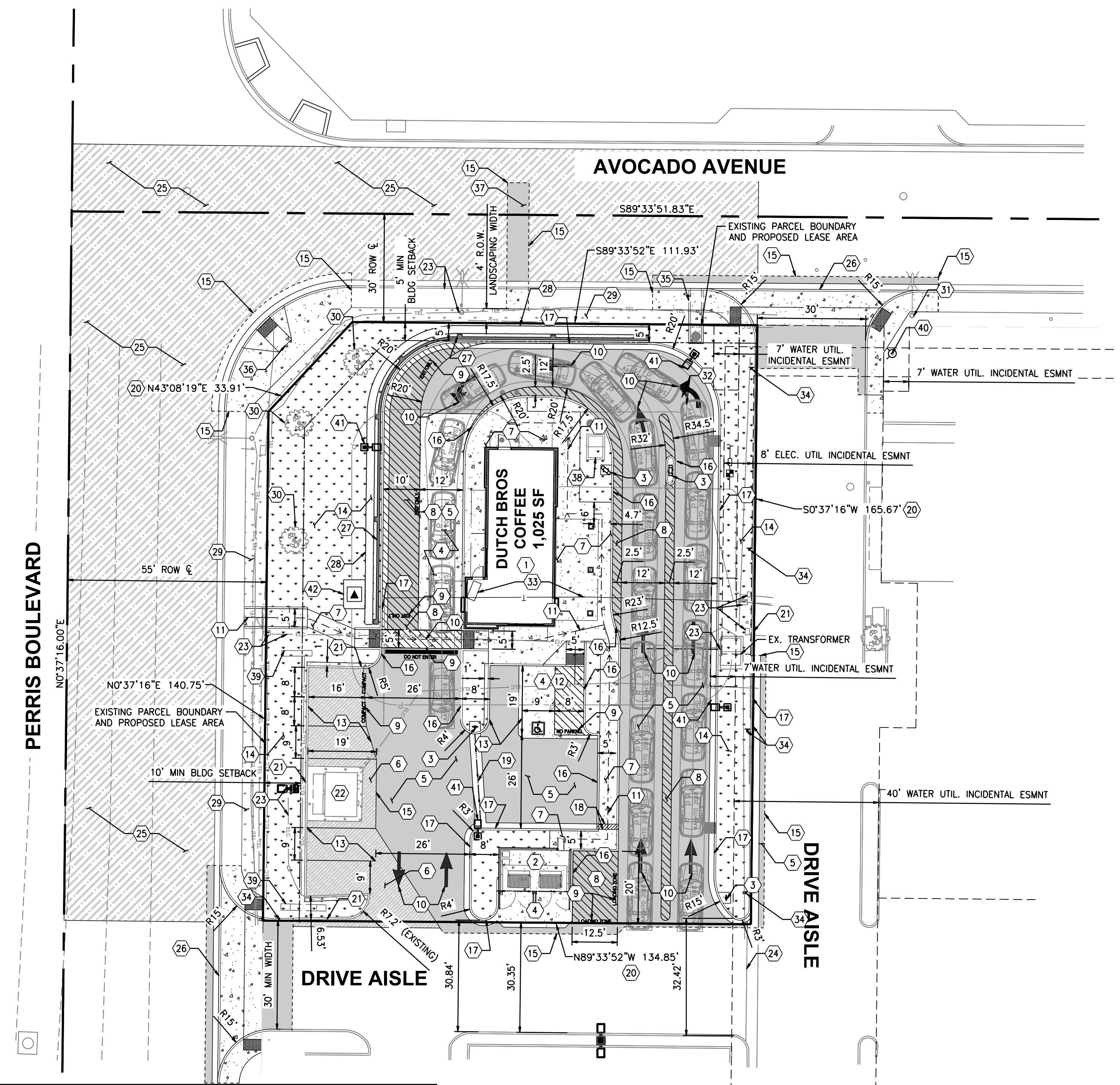
LOCATION: SEC OF PERRIS BLVD. AND AVOCADO AVE., PERRIS CA 92571  
 APN #: 320-130-007  
 ZONING: COMMUNITY COMMERCIAL (CC)  
 AREAS:  
 PARCEL AREA: 231,543 SF (5.32 AC)  
 PROJECT AREA: 22,055 SF (0.506 AC)  
 BUILDING: 1,025 S.F.  
 TRASH ENCL: 12' X 20'  
 VEHICLE PARKING REQ. CALCULATIONS: ONE (1) SPACE PER 200 S.F. SHOPPING CENTER  
 TOTAL PARKING SPACES REQ.: 6 SPACES  
 PARKING DATA:  
 STANDARD: 4 SPACES  
 COMPACT: 2 SPACES  
 ACCESSIBLE: 1 SPACE  
 TOTAL CAR STACKING LENGTH: 425 FEET  
 TOTAL CAR STACKING: 21 VEHICLES  
 PROPOSED GROUND COVER:  
 BUILDING (TRASH ENCL INCL): 1,291 SF ( 5.9%)  
 PARKING AND MANEUVERING:  
 SEAL COAT ASPHALT 1,160 SF (5.3%)  
 ASPHALT AND CURBS 10,176 SF (46.1%)  
 CONCRETE 1,418 SF (6.4%)  
 CONC. WALKWAYS: 2,078 SF (9.4%)  
 LANDSCAPE: 5,932 SF (26.9%)  
 22,055 SF (100.0%)

**LEGAL DETAILS**

FOR APN/PARCEL ID(S): 320-130-007  
 THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA IS DESCRIBED AS FOLLOWS:  
 LOT 107, TRACT 16930, IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 131, PAGES 52 THROUGH 56 INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.  
 APN: 320-130-007  
 THE LAND SHOWN IN THIS SURVEY IS THE SAME AS THAT DESCRIBED IN FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NO FBDO-2400938/FCH2400800NT WITH AN EFFECTIVE DATE OF SEPTEMBER 11, 2024 AT 7:30 A.M.

**PAVEMENT REPLACEMENT NOTE**

REMOVE AND REPLACE AREAS OF EXISTING DISTRESSED PAVEMENT AT FULL DEPTH. CONSTRUCTING NEW RECTANGULAR PAVEMENT SECTIONS. FINAL STRUCTURAL SECTION SHALL MEET A TRAFFIC INDEX (TI) OF 10.0 FOR PERRIS BOULEVARD AND B.O FOR AVOCADO AVENUE, WITH A MINIMUM STRUCTURAL SECTION OF 8 INCHES OF ASPHALT CONCRETE (AC) - PG70-10 OVER 16 INCHES OF CLASS II AGGREGATE BASE (AB) FOR PERRIS BOULEVARD, AND A MINIMUM STRUCTURAL SECTION OF 7 INCHES OF ASPHALT CONCRETE (AC) - PG70-10 OVER 10 INCHES OF CLASS II AGGREGATE BASE (AB) FOR AVOCADO AVENUE.



**SITE SPECIFIC DATA**

PROJECT NUMBER	BCS-23734
PROJECT NAME	Dutch Bros Coffee
PROJECT LOCATION	Perris, CA
STRUCTURE #	MFS

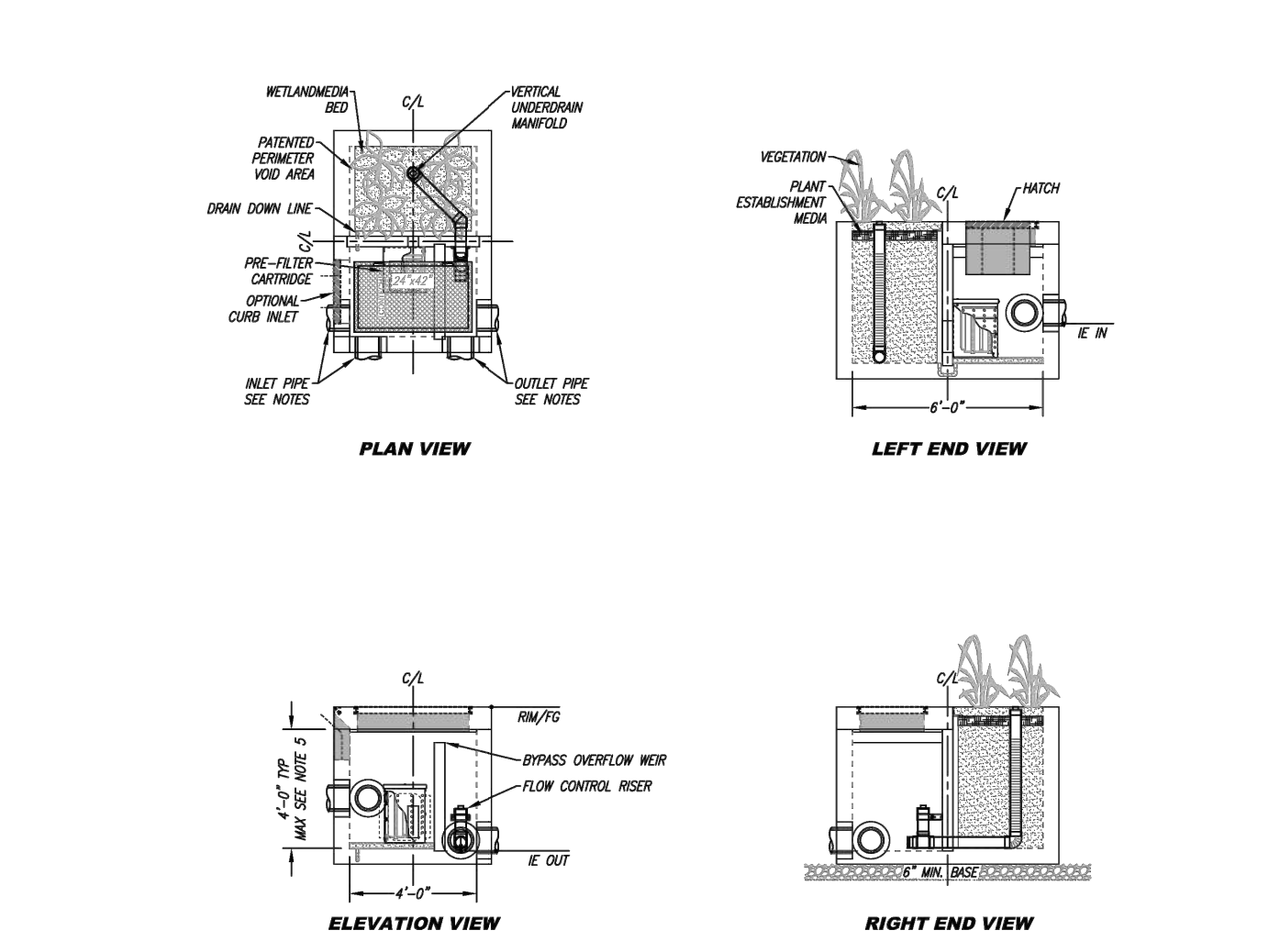
TREATMENT REQUIRED

TREATMENT FLOW (GPD)	0.008
PRETREATMENT LOADING RATE (GPM/SF)	2.1 GPM/SF
WETLAND MEDIA LOADING RATE (GPM/SF)	1.0
FLOW DEPTH REQUIRED (GPD) - IF APPLICABLE (GPD/SF)	
PIPE DIA.	12"
INLET PIPE 1	14.35.19 PVC 12"
INLET PIPE 2	14.34.63 PVC 12"
OUTLET PIPE	14.40.77 DISCHARGE
RIM ELEVATION	1440.77
SURFACE LOAD	PEDESTRIAN

NOTES:  
 \*PRELIMINARY ONLY - NOT FOR CONSTRUCTION

**INSTALLATION NOTES**

- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND ACCESSORIES REQUIRED TO OPERATE AND MAINTAIN THE SYSTEM AND MAINTENANCE BY ACCORDANCE WITH THE DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE NOTED BY MANUFACTURER'S CONTRACT.
- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER'S RECOMMENDATION IS A MINIMUM 6" DEEP ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
- CONTRACTOR TO VERIFY AND INSTALL ALL EXTERNAL CONNECTIONS. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE PIPES CANNOT BE USED BEYOND FLOWING INLET OF OUTLET PIPES MUST BE FLUSH WITH INTERIOR PER MANUFACTURER'S STANDARD CONNECTION DETAIL. CONTRACTOR RESPONSIBLE FOR CONDUCTING CHECKS FOR ACTUATION OF UNIT. MANUFACTURER'S WARRANTY IS VOID WITHOUT PROPER ACTIVATION & CONDUCTING MAINTENANCE.
- VERTICAL HEIGHT VARIES BASED ON SITE SPECIFIC REQUIREMENTS.



**Sheet List Table**

Sheet Number	Sheet Title
SP-1	PRELIMINARY SITE PLAN
SP-2	PRELIMINARY GRADING AND DRAINAGE PLAN
SP-3	PRELIMINARY FIRE ACCESS PLAN
SP-4	HYDRANT LOCATION PLAN
SP-5	OVERALL DEVELOPMENT PARKING EXHIBIT
SP-6	ENLARGED SITE PLAN
LP-1	LANDSCAPE PLANTING PLAN- ONSITE
LP-2	LANDSCAPE NOTES AND DETAILS - ONSITE
LP-3	OFF-SITE LANDSCAPE PLAN FOR CUP25-05047
LP-4	OFF-SITE LANDSCAPE PLAN FOR CUP25-05047
LP-5	COLORED LANDSCAPE EXHIBIT- ONSITE
A2.0	FLOOR PLAN
A6.0	ARCHITECTURAL ELEVATIONS
A6.1	COLORLED BUILDING ELEVATIONS
A9.0	TRASH ENCLOSURE PLAN/ELEVATIONS
A9.1	TRASH ENCLOSURE PLAN/ELEVATIONS

**LEGEND**

EXISTING CURB TO REMAIN	---
PROPOSED CURB	---
PROPOSED SAWCUT LINE	---
PROPOSED LANDSCAPING	.....
PROPOSED CONCRETE	.....
PROPOSED ASPHALT	.....
PROPOSED SEAL COAT	.....
R.O.W. LANDSCAPING TO BE REVITALIZED	.....

**PRELIMINARY SITE PLAN**  
**SEC PERRIS BLVD & AVOCADO AVE**  
**PERRIS, CA**

Title:

**DUTCH BROS**

For:

HAL P. BOBB  
 Not for Construction  
 CIVIL  
 STATE OF CALIFORNIA

Scale:  
 Horizontal 1" = 20'  
 Vertical N/A

Designed: BB  
 Drawn: BB  
 Checked: MTL  
 Approved: HFC  
 Date: 1/15/26

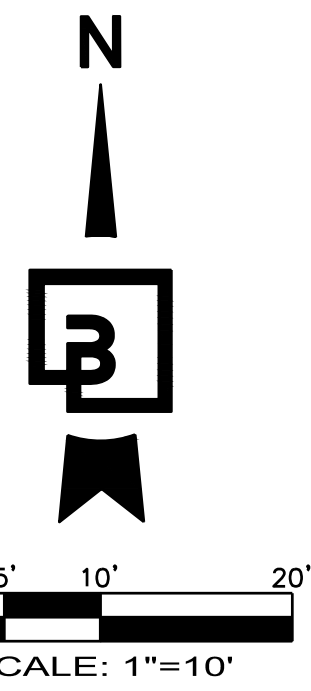
**Barghausen Consulting Engineers, LLC.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222  
 barghausen.com

Job Number: 23734  
 Sheet: SP-1  
 2019 DB, LLC  
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# DUTCH BROS. COFFEE - CA5902, PERRIS, CA

## PRELIMINARY GRADING AND DRAINAGE PLAN

**Know what's below.**  
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### AVOCADO AVENUE

### PERRIS BOULEVARD

### DRIVE AISLE

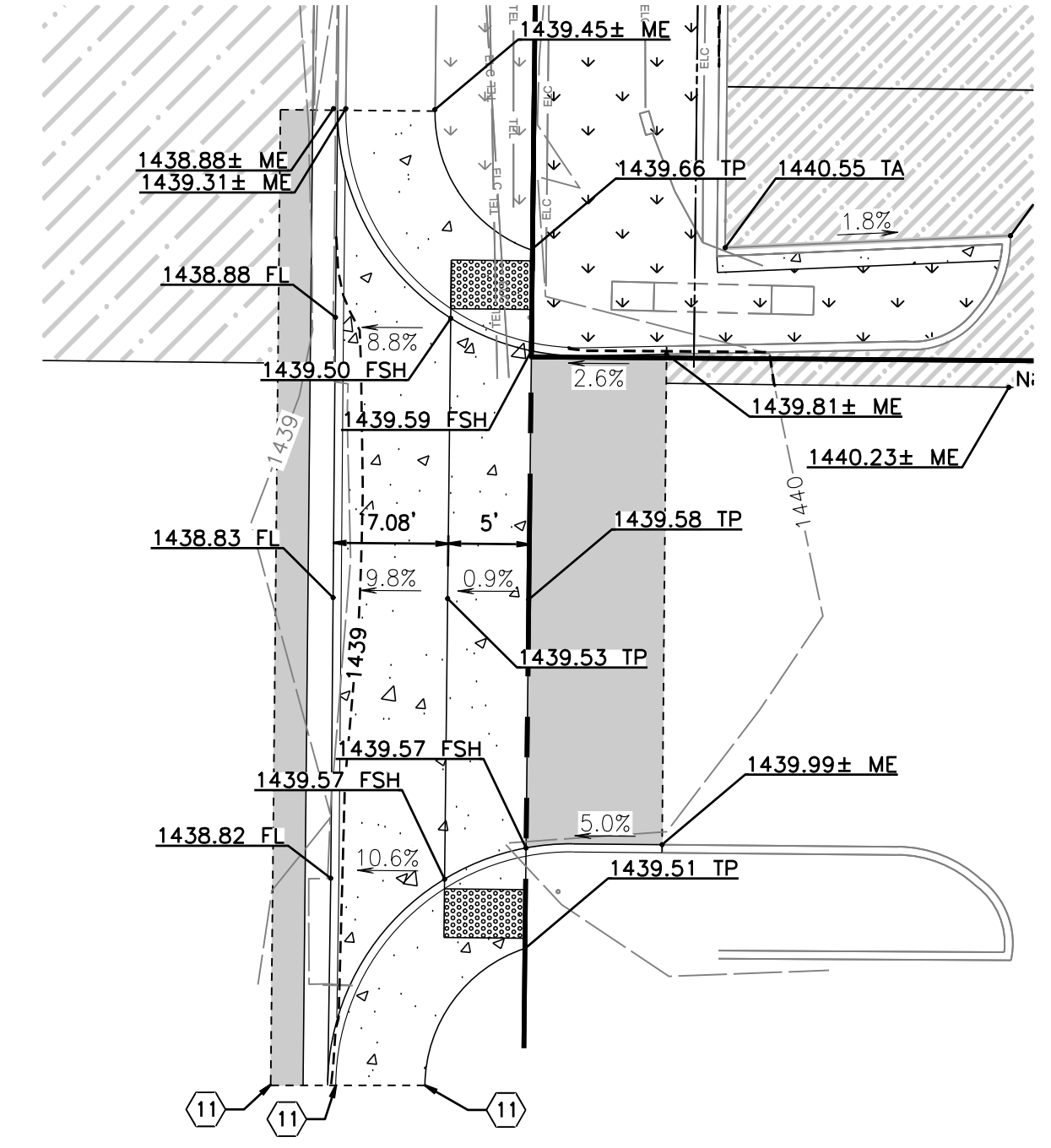
### DRIVE AISLE

#### KEY NOTES:

1. PROPOSED 24"x24" CATCH BASIN.
2. PROPOSED 4'x6' MODULAR WETLANDS UNIT (MWS). SEE 1/SP-1.
3. PROPOSED 12" STORM DRAIN.
4. PROPOSED PARKWAY DRAIN (RELOCATED DUE TO DRIVEWAY RECONSTRUCTION).
5. PROPOSED 3" PVC UNDER SIDEWALK DRAIN FOR DOWNSPOUT CONNECTION.
6. NOT USED.
7. PROPOSED SUMP PUMP TO ROUTE TREATED FLOW TO PROPOSED RELOCATED PARKWAY DRAIN.
8. PROPOSED NYLOPLAST DRAIN BASIN.
9. PROPOSED TRANSITION PANEL TYING INTO EXISTING ON-SITE SIDEWALK GRADES.
10. PROPOSED TRANSITION TO FLUSH CURB BETWEEN KEYNOTES.
11. CONTRACTOR TO MATCH EXISTING GRADES.

#### DRAINAGE SCHEME

DRAINAGE FOR THE SITE HAS BEEN DESIGNED TO CONFORM WITH THE 2010 SARWOCB PERMIT AND THE SANTA ANA MS4 PERMIT. RUNOFF GENERATED ON SITE FLOWS FROM SOUTH TO NORTH. RUNOFF WILL BE CAPTURED IN AN ONSITE CONVEYANCE SYSTEM AND PASS THROUGH A MODULAR WETLANDS TREATMENT VAULT BEFORE BEING RELEASED TO THE EXISTING CURB CUT/SPILL WAY LOCATED ALONG THE PROJECTS FRONTAGE WITH AVOCADO AVENUE. PER THE FLOW BASED SIZING REQUIREMENTS, THE PROJECTS DESIGN FLOW RATE IS 0.07 CFS. THE MAXIMUM TREATMENT RATE OF THE PROPOSED MODULAR WETLANDS UNIT IS 0.077 CFS. THE MAXIMUM TREATMENT RATE EXCEEDS THE DESIGN RATE THEREFORE MEETING THE WATER QUALITY REQUIREMENTS OF THE MS4 PERMIT. THE SITE DISTURBS UNDER 1 ACRE AND THEREFORE IS EXEMPT FROM HYDROMODIFICATION REQUIREMENTS.

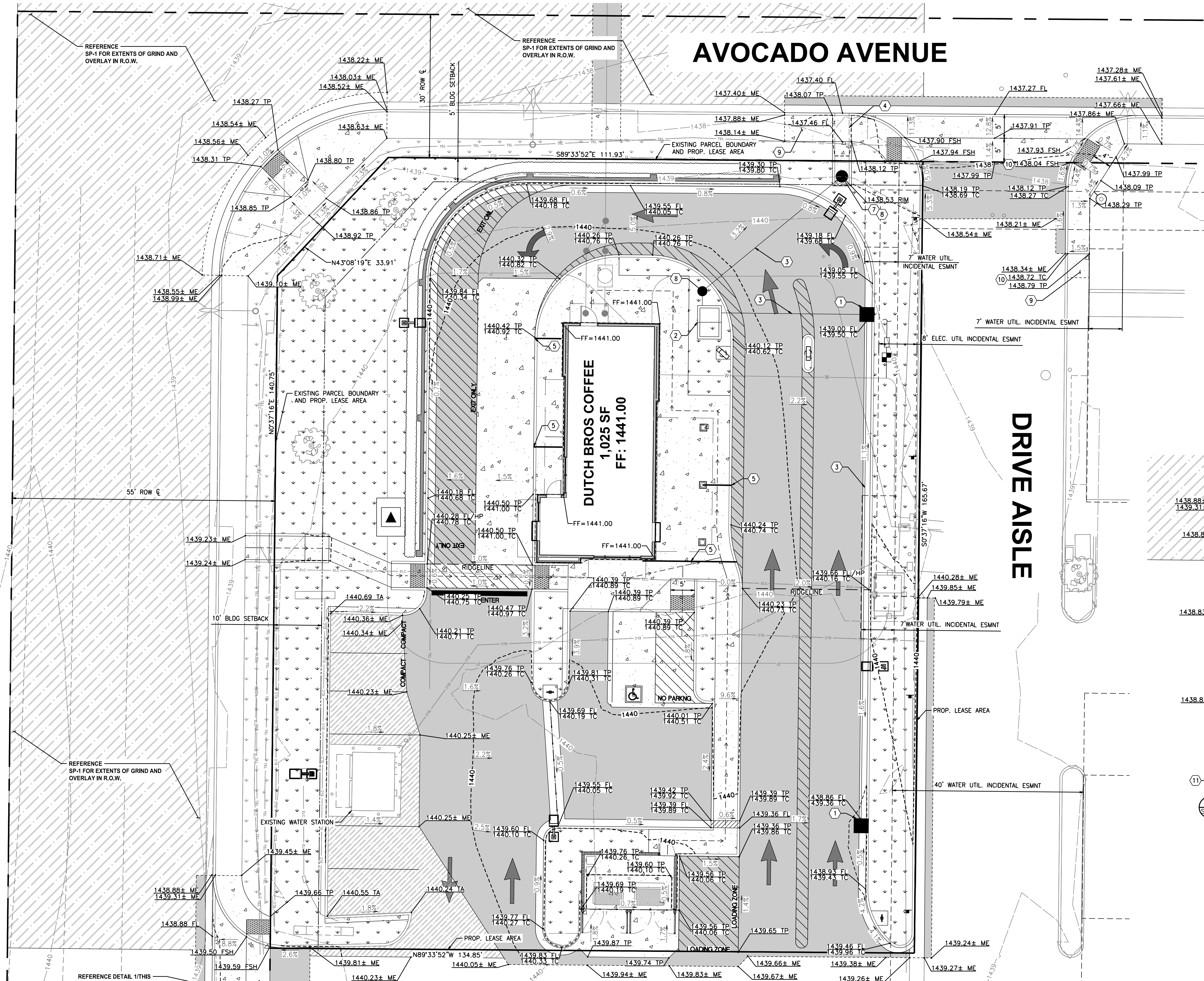


#### REBUILT DRIVEWAY DETAILS

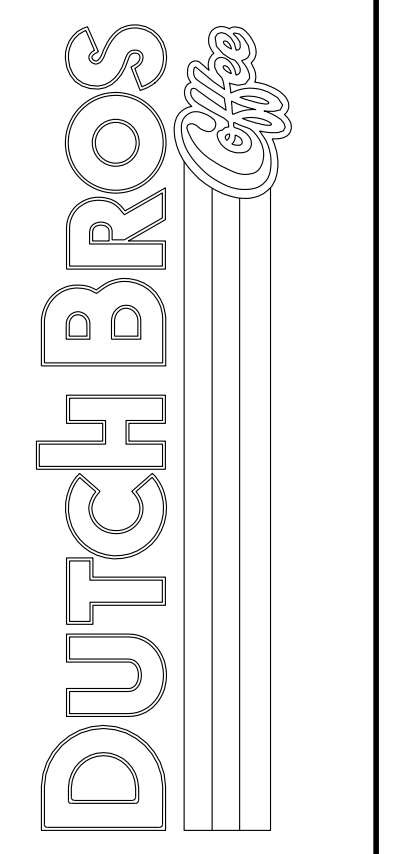
SCALE: 1"=10"

#### LEGEND

EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED SAWCUT LINE	
PROPOSED LANDSCAPING	
PROPOSED CONCRETE	
PROPOSED ASPHALT	
PROPOSED 2" GRIND AND OVERLAY	
R.O.W. LANDSCAPING TO BE REVITALIZED	



Title:  
**PRELIMINARY GRADING AND DRAINAGE PLAN**  
SEC PERRIS BLVD & AVOCADO AVE  
PERRIS, CA



For:  
**Not for Construction**  
LICENSED PROFESSIONAL ENGINEER  
HAL P. BARGHAUSEN  
CIVIL  
STATE OF CALIFORNIA

Scale:  
Horizontal 1" = 10'  
Vertical N/A

Designed: BB  
Drawn: BB  
Checked: MTL  
Approved: HFC  
Date: 1/15/26

**Barghausen Consulting Engineers, LLC.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
barghausen.com

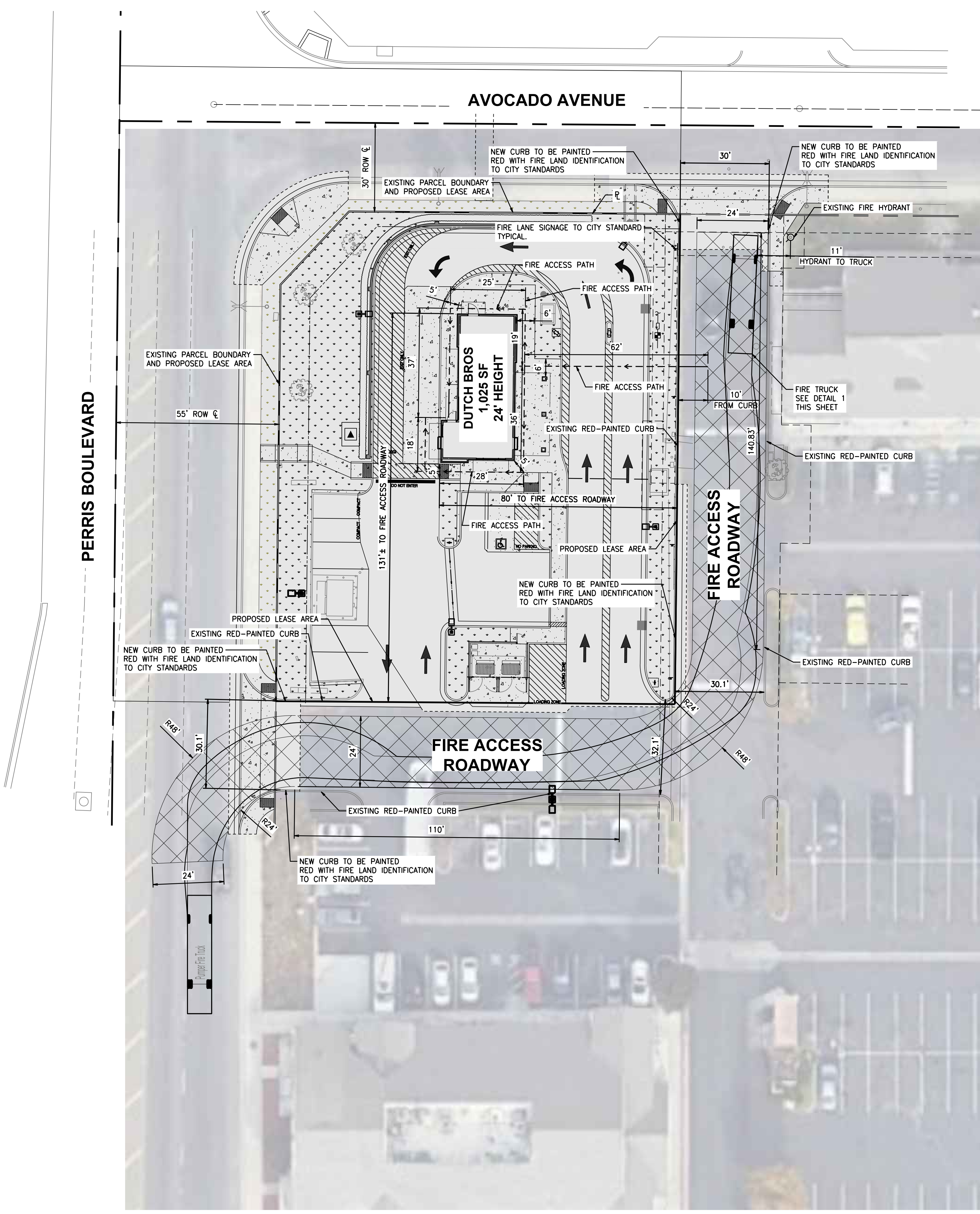
Job Number: **23734**  
Sheet: **SP-2**  
2019 DB, LLC  
P:\23000s\23734\preliminary\23734 - PG.dwg 1/15/2026 9:56 AM BB-JDE

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# DUTCH BROS. COFFEE - CA5902, PERRIS, CA

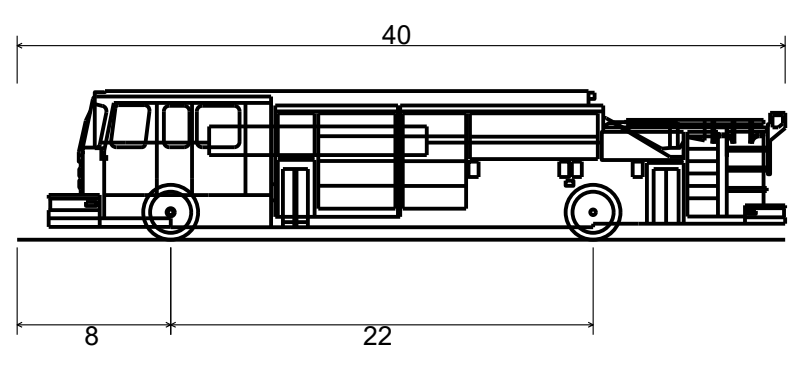
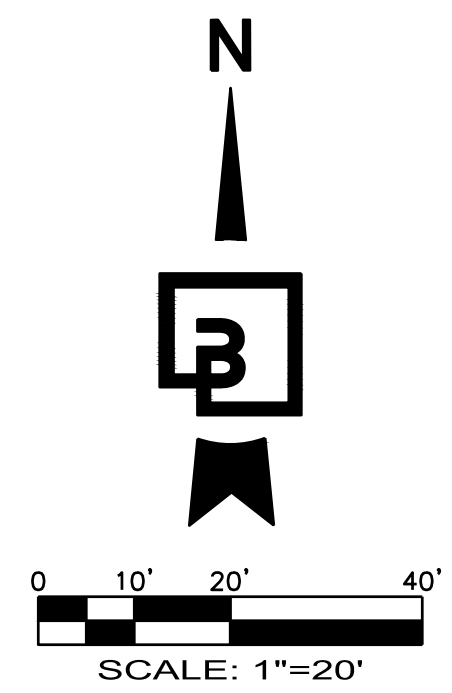
## PRELIMINARY FIRE ACCESS PLAN

Know what's below.  
Call before you dig.  
Dial 811



### PERRIS OFM ACCESS AND WATER PLAN NOTES

- INSPECTION REQUIREMENTS**
- PERRIS SITE INSPECTIONS ARE REQUIRED FOR THIS PROJECT. PLEASE SCHEDULE ALL FIELD INSPECTIONS AT LEAST 48 HOURS IN ADVANCE. INSPECTIONS CANCELED AFTER 1 P.M. ON THE DAY BEFORE THE SCHEDULED DATE WILL BE SUBJECT TO A RE-INSPECTION FEE. CALL (951) 956-2117 TO SCHEDULE AN INSPECTION.
  - A LUMBER DROP INSPECTION SHALL BE PERFORMED PRIOR TO BRINGING COMBUSTIBLE MATERIALS (OR COMBUSTIBLE FIXTURES AND FINISHES FOR STRUCTURES OF NON-COMBUSTIBLE CONSTRUCTION). ALL-WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 80,000 LBS., TOPPED WITH ASPHALT, CONCRETE, OR EQUIVALENT SHALL BE IN PLACE AND HYDRANTS OPERATIONAL AT TIME OF LUMBER DROP INSPECTION.
  - FOR PROJECTS WITH FUEL MODIFICATION, A VEGETATION CLEARANCE INSPECTION IS REQUIRED PRIOR TO A LUMBER DROP INSPECTION. USE THE FUEL MODIFICATION PLAN SERVICE REQUEST NUMBER TO SCHEDULE THE VEGETATION CLEARANCE INSPECTION.
  - PHASED INSTALLATION OF FIRE ACCESS ROADS REQUIRES ADDITIONAL INSPECTIONS NOT COVERED BY THE FEES PAID AT PLAN SUBMITTAL. CALL OFM (951) 956-2117 TO SCHEDULE INSPECTION TO ARRANGE FOR ADDITIONAL INSPECTIONS THAT MAY BE NEEDED AND ANY FEES THAT MAY BE DUE.
  - AN ORIGINAL APPROVED, SIGNED, WET-STAMPED PERRIS FIRE ACCESS & WATER PLAN SHALL BE AVAILABLE ON-SITE AT TIME OF INSPECTION.
  - ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED AND REMAIN CLEAR OF OBSTRUCTIONS AT ALL TIMES DURING AND AFTER CONSTRUCTION. AREAS WHERE PARKING IS NOT PERMITTED SHALL BE CLEARLY IDENTIFIED AT ALL TIMES. OBSTRUCTION OF FIRE LANES AND HYDRANTS MAY RESULT IN CANCELLATION OR SUSPENSION OF INSPECTIONS.
  - TEMPORARY FUEL TANKS OF 60 OR MORE GALLONS SHALL BE REVIEWED, INSPECTED, AND PERMITTED BY THE CITY OF PERRIS OFM.
  - THE PROJECT ADDRESS SHALL BE CLEARLY POSTED AND VISIBLE FROM THE PUBLIC ROAD DURING CONSTRUCTION.
  - ALL GATES IN CONSTRUCTION FENCING SHALL BE EQUIPPED WITH EITHER A KNOX OR BREAKAWAY PADLOCK.
  - BUILDINGS OF FOUR OR MORE STORIES SHALL BE PROVIDED WITH STAIRS AND A STANDPIPE BEFORE REACHING 40 FEET IN HEIGHT.
- GENERAL REQUIREMENTS**
- FIRE LANE WIDTHS SHALL BE MEASURED FROM TOP FACE OF THE CURB TO TOP FACE OF THE CURB FOR FIRE LANES WITH STANDARD CURBS AND GUTTERS AND FROM FLOW-LINE TO FLOW-LINE FOR FIRE LANES WITH MODIFIED CURB DESIGNS (E.G., ROLLED, RAMPED, ETC.). THE DEVELOPER IS RESPONSIBLE TO VERIFY THAT ALL APPROVED PUBLIC WORKS OR GRADING DEPARTMENT STREET IMPROVEMENT PLANS OR PRECISE GRADING PLANS CONFORM TO THE MINIMUM STREET WIDTH MEASUREMENTS PER THE APPROVED PERRIS OFM ACCESS & WATER PLAN AND STANDARDS IDENTIFIED IN PERRIS OFM ACCESS & WATER GUIDELINE FOR ALL PORTIONS OF THE FIRE ACCESS ROADS.
  - PERMANENT, TEMPORARY, AND PHASED EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 80,000 LBS. AND SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
  - FIRE LANE SIGNS AND RED CURBS SHALL MEET THE SPECIFICATIONS SHOWN IN PERRIS OFM ACCESS & WATER GUIDELINE AND SHALL BE INSTALLED AS DESCRIBED THEREIN. ADDITIONAL FIRE LANE MARKINGS MAY BE REQUIRED AT THE TIME OF INSPECTION DEPENDING ON FIELD CONDITIONS.
  - ALL FIRE HYDRANTS SHALL HAVE A 'BLUE REFLECTIVE PAVEMENT MARKER' INDICATING THEIR LOCATION PER THE PERRIS STANDARD. ON PRIVATE PROPERTY MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER.
  - ADDRESS NUMBERS SHALL BE LOCATED AND BE OF A COLOR AND SIZE SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROADWAY FROM WHICH THE BUILDING IS ADDRESSED IN ACCORDANCE WITH PERRIS OFM ACCESS & WATER GUIDELINE.
  - ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH CHAPTER 5 OF THE CFC AND PERRIS OFM ACCESS & WATER GUIDELINE.
  - APPROVED ACCESS WALKWAYS SHALL BE PROVIDED TO ALL REQUIRED OPENINGS AND ALL RESCUE WINDOWS.
  - VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS, OR STROBES.
  - DUMPSTERS AND TRASH CONTAINERS LARGER THAN 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM.
  - ANY FUTURE MODIFICATION TO THE APPROVED OFM ACCESS & WATER PLAN OR APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO ROAD WIDTH, GRADE, SPEED HUMPS, TURNING RADIUS, GATES OR OTHER OBSTRUCTIONS, SHALL REQUIRE REVIEW, INSPECTION, AND APPROVAL BY THE CITY OF PERRIS OFM.
  - APPROVAL OF THIS PLAN SHALL NOT BE CONSTRUED AS APPROVAL OF ANY INFORMATION OR PROJECT CONDITIONS OTHER THAN THOSE ITEMS AND REQUIREMENTS IDENTIFIED IN PERRIS OFM ACCESS & WATER GUIDELINE AND RELATED PORTIONS OF THE CFC AND CBC. THIS PROJECT MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS NOT STATED HEREIN UPON EXAMINATION OF ACTUAL SITE AND PROJECT CONDITIONS OR DISCLOSURE OF ADDITIONAL INFORMATION.



Pumper Fire Truck  
Overall Length 40.000ft  
Overall Width 8.167ft  
Overall Body Height 7.745ft  
Min Body Ground Clearance 0.656ft  
Track Width 8.167ft  
Lock-to-lock time 5.00s  
Max Wheel Angle 45.00°

**FIRE TRUCK**  
SP-3 SCALE: NTS

### SCOPE OF WORK

CONSTRUCT 1,025 SF, 24' HEIGHT COFFEE STAND BUILDING, ALONG WITH TRASH ENCLOSURE, LANDSCAPING, PARKING AND MANEUVERING AREAS, AND PEDESTRIAN WALKWAYS.

### FIRE REQUIREMENTS

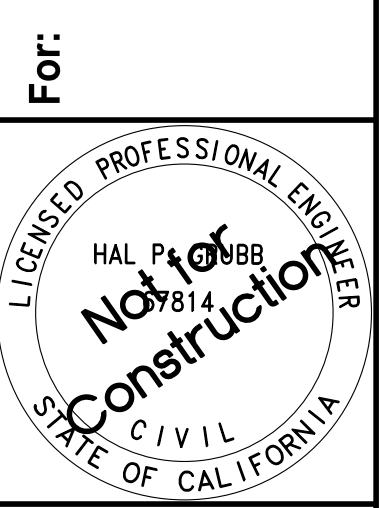
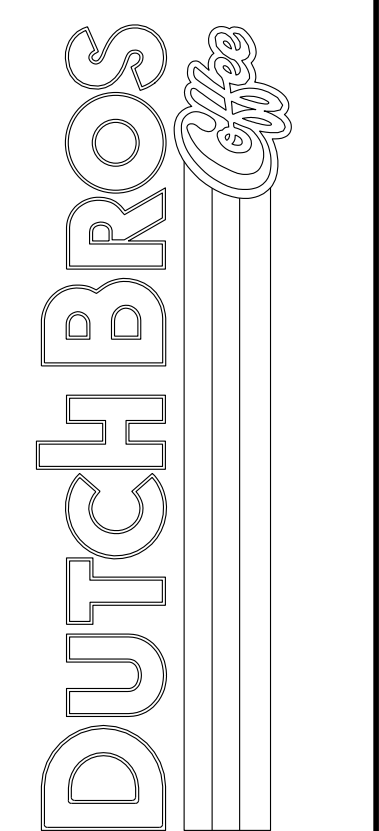
THE DISTANCE FROM THE CLOSEST FIRE HYDRANT TO THE FIRE TRUCK IS 11FT AND THE HOSE PULL DISTANCE STARTING 10' FROM THE CURB TO THE FARTHEST POINT OF THE BUILDING IS 144 FEET. THE ACCESS ROAD SHALL HAVE A MINIMUM INSIDE TURNING RADIUS OF 24 FEET AND OUTSIDE RADIUS OF 45 FEET.

### FIRE FLOW CALCULATION:

THE REQUIRED FIRE FLOW IS BASED ON THE FOLLOWING CALCULATION USING THE 2022 CALIFORNIA FIRE CODE:  
TYPE OF CONSTRUCTION: V-B (NO SPRINKLERS)  
FIRE-FLOW CALCULATION AREA: 1,025 SF  
REDUCTION FOR FIRE SPRINKLERS (MAXIMUM 50%): 0 GPM  
TOTAL FIRE FLOW REQUIRED: 1,500 GPM

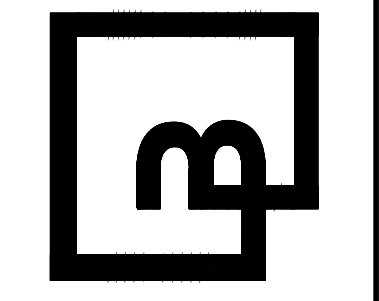
LEGEND	
EXISTING CURB TO REMAIN	—
PROPOSED CURB	—
PROPOSED ACCESS PATH	—
PROPOSED SAWCUT LINE	—
PROPOSED LANDSCAPING	▨
PROPOSED CONCRETE	▨
PROPOSED ACCESS PATH	▨

Title:  
**PRELIMINARY FIRE ACCESS PLAN**  
SEC PERRIS BLVD & AVOCADO AVE  
PERRIS, CA



Scale:	Horizontal 1" = 20'	Vertical N/A
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Checked:	MTL	
Approved:	HFG	
Date:	2/15/2026	

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Kent, WA 98032  
425.251.6222  
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Job Number: 23734  
Sheet: SP-3  
2019 DB  
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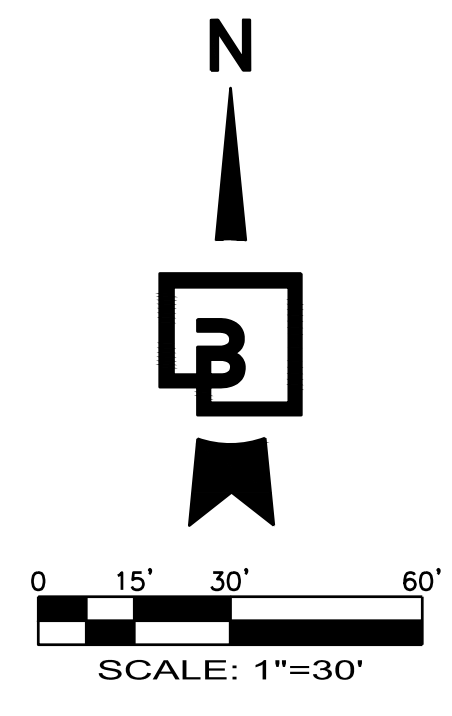
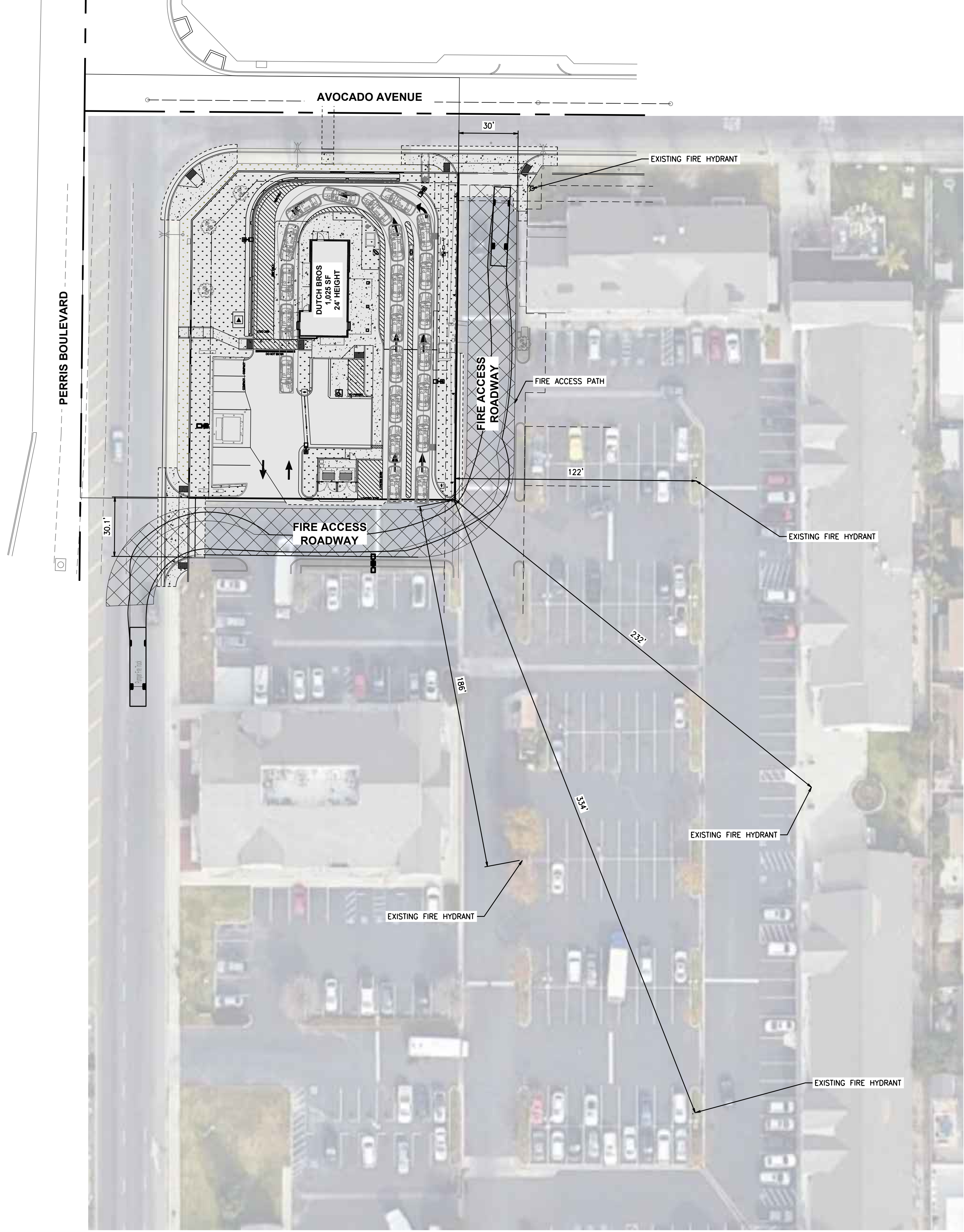
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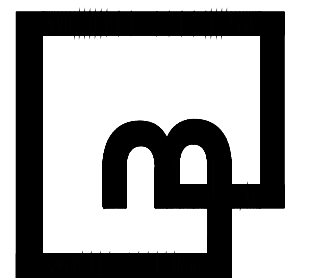
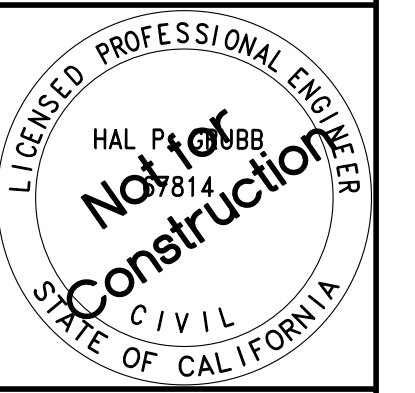
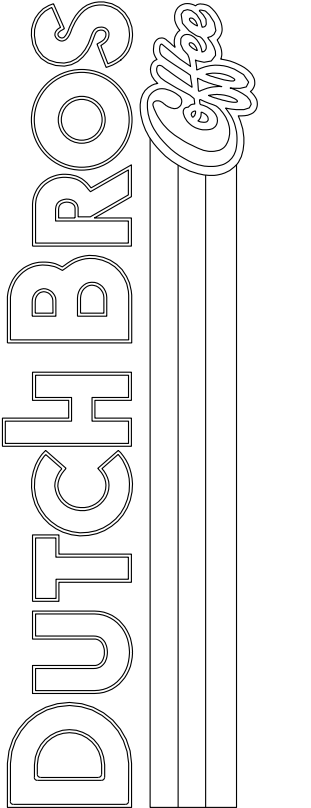
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# DUTCH BROS. COFFEE - CA5902, PERRIS, CA

## HYDRANT LOCATION PLAN



Job Number <b>23734</b>	Sheet <b>SP-4</b> 2019 DB Franchising USA, LLC	 <b>Barghausen Consulting Engineers, LLC.</b> 18215 72nd Avenue South Kent, WA 98032 425.251.6222 <a href="http://barghausen.com">barghausen.com</a>	<table border="1"> <tr> <td>Designed</td> <td>BBB</td> </tr> <tr> <td>Drawn</td> <td>BBB</td> </tr> <tr> <td>Checked</td> <td>MTL</td> </tr> <tr> <td>Approved</td> <td>HFG</td> </tr> <tr> <td>Date</td> <td>2/3/2020</td> </tr> </table>	Designed	BBB	Drawn	BBB	Checked	MTL	Approved	HFG	Date	2/3/2020	<table border="1"> <tr> <td>Scale:</td> <td>Horizontal</td> <td>Vertical</td> </tr> <tr> <td></td> <td>1" = 30'</td> <td>N/A</td> </tr> </table>	Scale:	Horizontal	Vertical		1" = 30'	N/A		<p>For:</p> 	<p>Title:</p> <p><b>HYDRANT LOCATION PLAN</b>  <b>SEC PERRIS BLVD &amp; AVOCADO AVE</b>  <b>PERRIS, CA</b></p>
Designed	BBB																						
Drawn	BBB																						
Checked	MTL																						
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Scale:	Horizontal	Vertical																					
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## OVERALL DEVELOPMENT PARKING EXHIBIT

CITRUS AVE



AVOCADO AVE

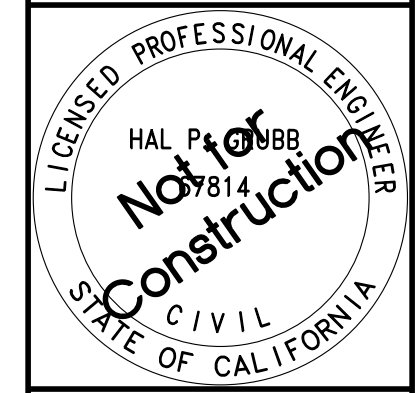
REQUIRED STALL COUNT	
BUILDINGS A&B	21,960 SF
BUILDING C & G	11,520 SF
BUILDINGS D	4,840 SF
BUILDING E	9,120 SF
DB BUILDING	1,025 SF
TOTAL SHOPPING CENTER SF - 48,465 SF	
48,465 SF / 1 SPOT PER 200 SF OF SHOPPING CENTER AREA	
243 TOTAL SPACES REQUIRED	
7 ADA SPACES REQUIRED (INCLUDED IN TOTAL OF 243 PER PERRIS MUNICIPAL CODE)	
EXISTING PARKING COUNT	
ADA STALLS	16 STALLS
STANDARD STALLS	253 STALLS
TOTAL	269 STALLS
PROPOSED PARKING COUNT	
ADA STALLS	15 STALLS
COMPACT STALLS	2 STALLS
STANDARD STALLS	228 STALLS
TOTAL	245 STALLS

Job Number  
**23734**

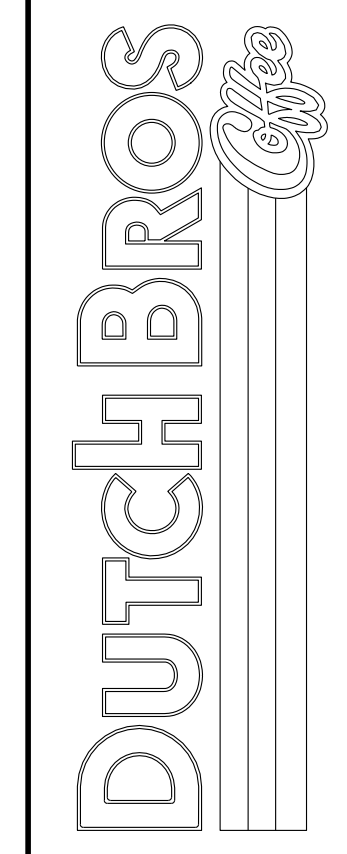
Sheet  
**SP-5**  
2019 DB  
Franchising USA, LLC

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Date: 1/15/26



For:



Title:

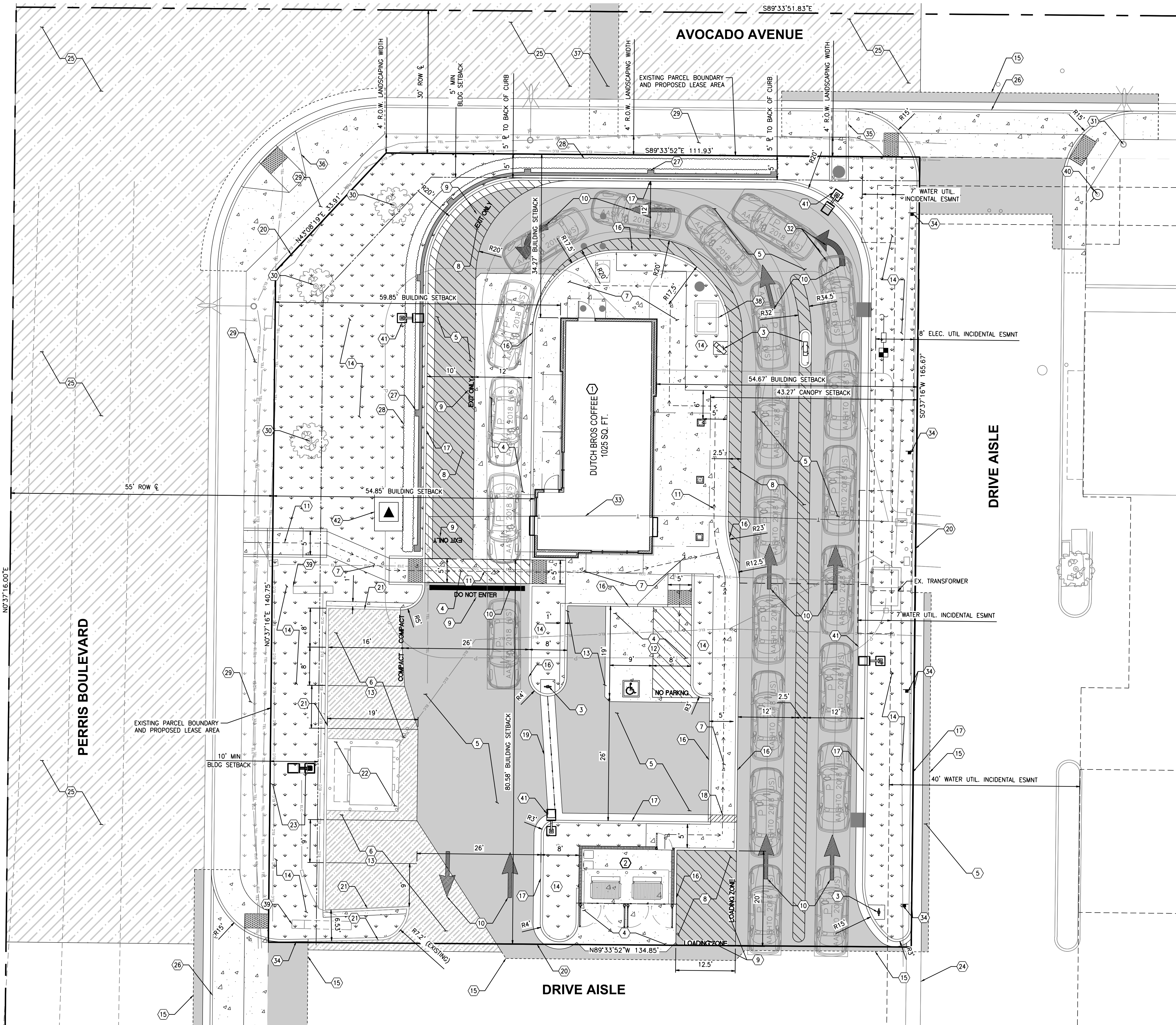
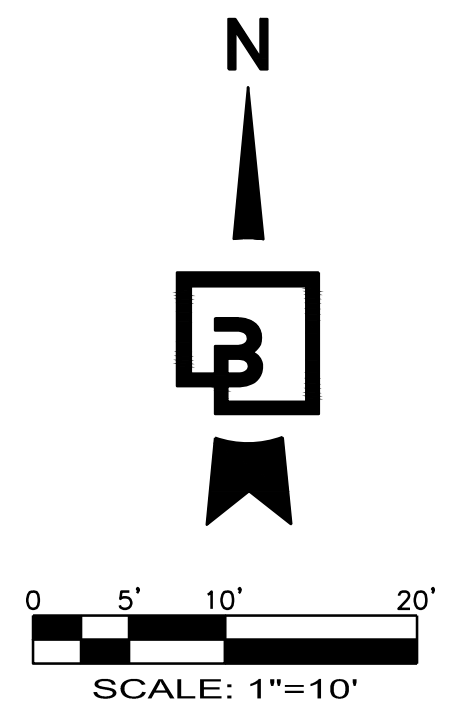
**OVERALL DEVELOPMENT PARKING EXHIBIT**  
**SEC PERRIS BLVD & AVOCADO AVE**  
**PERRIS, CA**



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# DUTCH BROS. COFFEE - CA5902, PERRIS, CA ENLARGED SITE PLAN

REFERENCE SP-1 FOR FULL EXTENTS OF PROPOSED WORK OUTSIDE LEASE BOUNDARY



REFERENCE SP-1 FOR FULL EXTENTS OF PROPOSED WORK OUTSIDE LEASE BOUNDARY

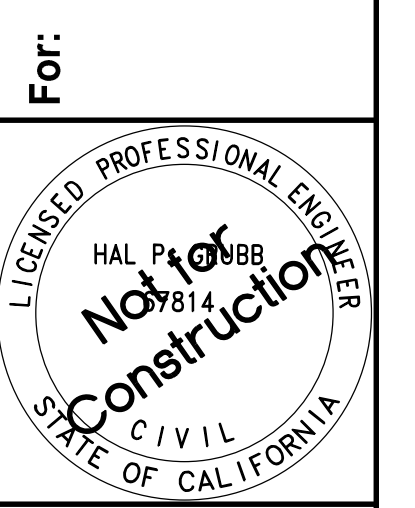
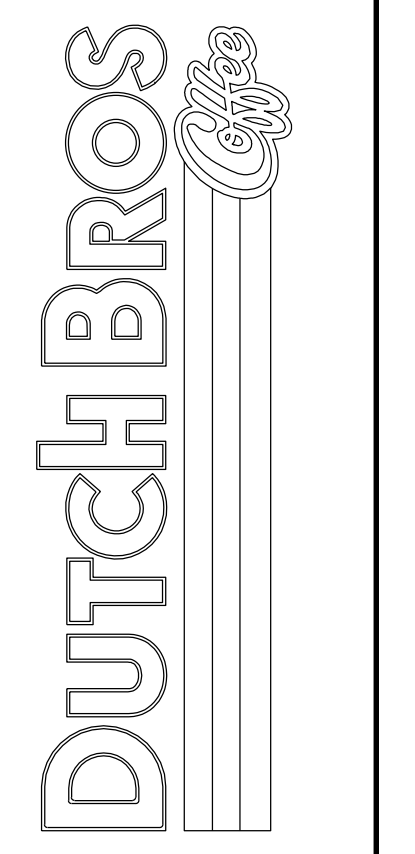
### KEY NOTES:

1. PROPOSED DUTCH BROS COFFEE STAND. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS.
2. PROPOSED TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
3. PROPOSED SIGN. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
4. PROPOSED CONCRETE PAVING.
5. PROPOSED ASPHALT PAVING.
6. PROPOSED GRIND AND OVERLAY.
7. PROPOSED CONCRETE SIDEWALK (WIDTH VARIES), TYPICAL.
8. PROPOSED PAVEMENT STRIPING, TYPICAL.
9. PROPOSED PAVEMENT LETTERING AS SHOWN.
10. PROPOSED PAVEMENT TRAFFIC MARKINGS, TYPICAL.
11. PROPOSED ACCESSIBLE PATH.
12. PROPOSED ACCESSIBLE PARKING SPACE AND AISLE WITH ALL REQUIRED SIGNAGE.
13. PROPOSED PARKING SPACES, TYPICAL.
14. PROPOSED LANDSCAPE AREA. REFER TO LP-1 AND LP-2 FOR ADDITIONAL INFORMATION.
15. PROPOSED SAWCUT LIMITS, TYPICAL.
16. PROPOSED BARRIER CURB.
17. PROPOSED CURB AND GUTTER.
18. PROPOSED SIDEWALK UNDER-DRAIN.
19. PROPOSED VALLEY GUTTER.
20. PROPOSED LEASE AREA.
21. EXISTING BARRIER CURB TO REMAIN.
22. EXISTING WATER STATION AND ASSOCIATED BOLLARDS TO REMAIN.
23. EXISTING UTILITY STRUCTURES AND ASSOCIATED LINES TO REMAIN, TYPICAL.
24. EXISTING VALLEY GUTTER TO REMAIN. REPAIR AT THE SAWCUT LIMITS AS REQUIRED.
25. PROPOSED GRIND AND OVERLAY ALONG PROPERTY FRONTAGE. ON AVOCADO AVENUE, FROM CURB TO CURB. ON PERRIS BLVD, PAVEMENT TO BE REPLACED FROM EXISTING CURB TO CENTERLINE. 2" DEPTH OF MATERIAL TO BE REMOVED AND REPLACED WITH NEW AC PAVEMENT.
26. PROPOSED REPLACEMENT OF EXISTING DRIVEWAY TO BE REBUILT TO COMPLY WITH RIVERSIDE COUNTY STANDARD NO. 207A. THESE DRIVEWAYS SHALL INCORPORATE WET-SET CONCRETE TRUNCATED DOMES IN ACCORDANCE WITH ADA REQUIREMENTS.
27. PROPOSED 36" HEIGHT PONY WALL WITH PILASTERS, TO SCREEN DRIVE-THRU LANES. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS.
28. PROPOSED 36" HEIGHT SCREENING HEDGE. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL DETAILS.
29. PROPOSED- EXISTING R.O.W. LANDSCAPING TO BE RENEWED. REFER TO LP-3 AND LP-4 FOR DETAILS.
30. PROPOSED- EXISTING TREE TO REMAIN AND BE PROTECTED.
31. PROPOSED RELOCATION OF EXISTING STREET LIGHT, DUE TO REBUILT DRIVEWAY GEOMETRY.
32. EXISTING PVC STUBS. CONTRACTOR TO POTHOLE TO VERIFY NO EXISTING UTILITIES EXIST AT THIS LOCATION.
33. EXISTING TELECOMMUNICATIONS LINE TO BE RE-ROUTED.
34. PROPOSED- PAINT FIRE LANE CURB RED, PER CITY STANDARDS. IN KIND WITH EXISTING. PROVIDE FIRE LANE ENTRANCE AND NO PARKING SIGNS TO CITY STANDARDS.
35. PROPOSED- RELOCATE AND RECONSTRUCT EXISTING PARKWAY DRAIN TO RIVERSIDE COUNTY STANDARDS.
36. PROPOSED- RECONSTRUCT EXISTING CURB RAMP TO RIVERSIDE COUNTY STANDARDS.
37. PROPOSED TRENCH FOR UTILITY WORK. REPLACE PAVEMENT IN KIND TO COUNTY STANDARDS AFTER UTILITY WORK.
38. PROPOSED MODULAR WETLAND SYSTEM. REFERENCE 1/THIS SHEET FOR ADDITIONAL DETAILS.
39. EXISTING MONUMENT SIGN TO REMAIN AND BE PROTECTED.
40. EXISTING FIRE HYDRANT.
41. APPROXIMATE LOCATION OF PROPOSED SITE LIGHT. REFER TO ELECTRICAL SITE PLAN AND PHOTOMETRIC PLAN DRAWINGS FOR FINAL LOCATION.
42. PROPOSED TRANSFORMER WITH CITY-APPROVED GRAPHIC WRAP.

### LEGEND

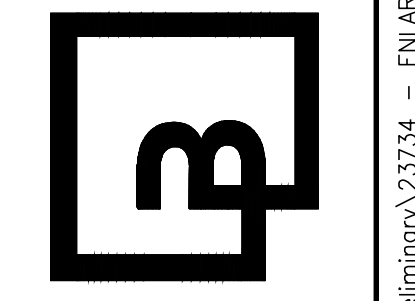
EXISTING CURB TO REMAIN	
PROPOSED CURB	
PROPOSED SAWCUT LINE	
PROPOSED LANDSCAPING	
PROPOSED CONCRETE	
PROPOSED ASPHALT	
PROPOSED SEAL COAT	
R.O.W. LANDSCAPING TO BE REVITALIZED	

Title:  
**ENLARGED SITE PLAN  
SEC PERRIS BLVD & AVOCADO AVE  
PERRIS, CA**



Scale:	Horizontal	1" = 10'	Vertical	N/A
Designed	BB			
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Date	1/15/26			

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**SP-6**  
2019 DB  
Perris, CA

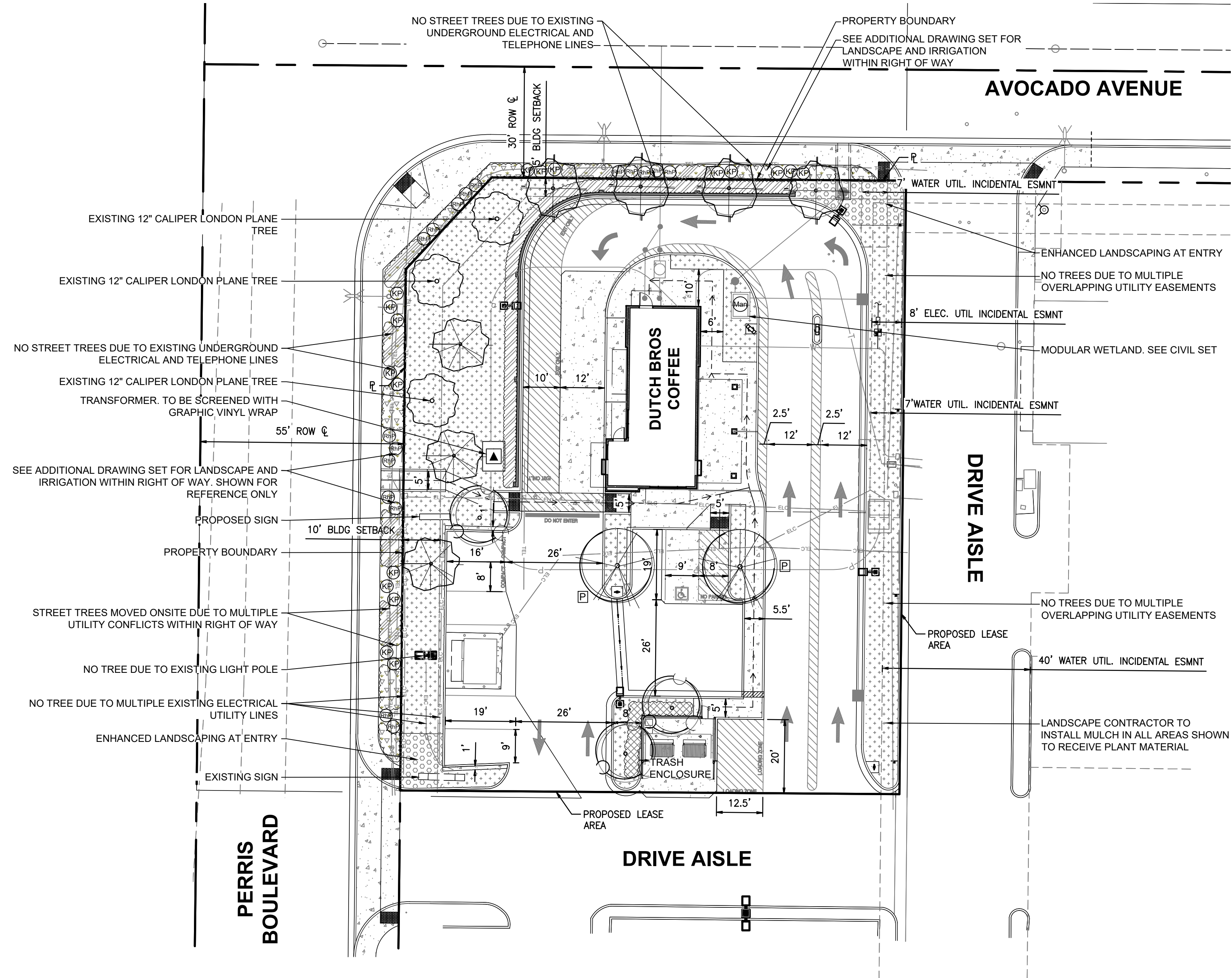
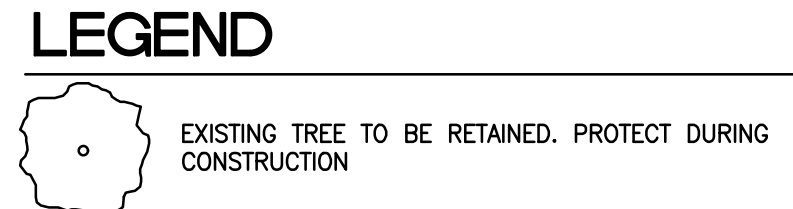
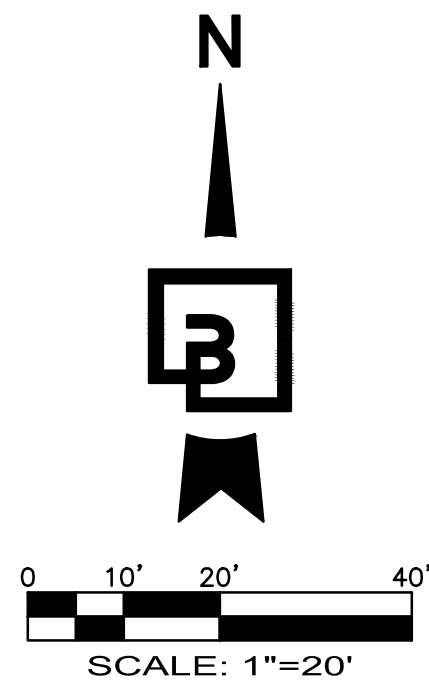
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# DUTCH BROS. COFFEE - CA5902, PERRIS, CA

## LANDSCAPE PLANTING PLAN - ONSITE



**PROJECT DATA:**

LOCATION: SEC OF PERRIS BOULEVARD AND AVOCADO AVENUE, PERRIS CA 92571

APN #: 320-130-007

ZONING: COMMUNITY COMMERCIAL (CC)

AREAS:

PARCEL AREA: 231,543 SF (5.32 AC)

PROJECT AREA: 22,055 SF (0.506 AC)

BUILDING: 1,025 S.F.

TRASH ENCL: 12' X 20'

**PLANT SCHEDULE**

SYMBOL	BOTANICAL/COMMON NAMES	SIZE	CONDITION	SPACING	QTY	WUCOLS #	REMARKS
	TREES: PARKSONIA FLORIDA / BLUE PALM VERDE EVERGREEN	24" BOX	AS SHOWN	AS SHOWN	2	LOW	STAKE & GUY ONE GROWING SEASON. NURSERY GROWN, BRANCHED AT 5'
	Olea Europaea MAJESTIC / FRUITLESS OLIVE EVERGREEN	15 GAL & 36" BOX	AS SHOWN	AS SHOWN	2	LOW	STAKE & GUY ONE GROWING SEASON. NURSERY GROWN
PER 17.56.050.B.2 MINIMUM 30% OF STREET AND PARKING LOT TREES TO BE EVERGREEN 100% OF TREES ARE EVERGREEN PER 17.56.060.C MINIMUM 30% OF TREES TO BE 36" BOX							
	STREET TREES: PLATANUS HISPANICA / LONDON PLANE	24" BOX	AS SHOWN	AS SHOWN	3	MOD	STAKE & GUY ONE GROWING SEASON. NURSERY GROWN, BRANCHED AT 5'
	ACACIA SPHENOPHYLLA / SHEERING ACACIA	24" BOX	AS SHOWN	AS SHOWN	4	LOW	STAKE & GUY ONE GROWING SEASON. NURSERY GROWN, BRANCHED AT 5'
	SHRUBS: OLEA EUROPAEA 'MONTRA' / 'LITTLE OLIVE' DWARF OLIVE	5 GALLON	AS SHOWN	AS SHOWN	LOW	LOW	FULL & BUSHY; INSTALL DOUBLE ROW AT 3.5' O.C., MAINTAIN AT 36" HT.
	OLEA EUROPAEA 'MONTRA' / 'LITTLE OLIVE' DWARF OLIVE	5 GALLON	AS SHOWN	AS SHOWN	LOW	LOW	FULL & BUSHY; INSTALL SINGLE ROW AT 4' O.C., MAINTAIN AT 6' HT.
	ORNAMENTAL GRASSES: BROUTIELLA GRACILIS / BLUE GRAMA	1 & 5 GAL	42" O.C.	AS SHOWN	LOW	LOW	FULL & BUSHY
	FESTUCA CALIFORNICA / CALIFORNIA FESCUE	1 & 5 GAL	30" O.C.	AS SHOWN	LOW	LOW	FULL & BUSHY
	STIPA PULEGIATA / PURPLE NEEDLEGRASS	1 & 5 GAL	42" O.C.	AS SHOWN	VERY LOW	LOW	FULL & BUSHY
	ANZANTHUS FLAVUS / KANGAROO PAW	1 & 5 GAL	42" O.C.	AS SHOWN	LOW	LOW	FULL & BUSHY
	KNIPHOFIA UVULA / RED HOT POKER	1 & 5 GAL	42" O.C.	AS SHOWN	LOW	LOW	FULL & BUSHY
MINIMUM BOX OF SHRUBS TO BE 5-GAL							
	GROUND COVER: LANTANA MONTEVIDEOENSIS / PURPLE TRAILING LANTANA	1 GALLON	36" O.C.	AS SHOWN	LOW	LOW	FULL & BUSHY; TRIANGULAR SPACING
	MYOPORUM PARVIFOLIUM / MYOPORIUM	1 GALLON	36" O.C.	AS SHOWN	LOW	LOW	FULL & BUSHY; TRIANGULAR SPACING
ENHANCED LANDSCAPING AT CORNER. PLANT SPECIES FROM LIST ABOVE BUT DESIGNED IN A MORE FORMAL PATTERN TO EMPHASIZE THE TWO ENTRIES							
	MODULAR WETLAND: ARCTOSTAPHYLOS DENSIFLORA / 'HORNED MCHERRY' MANCINIETA	1 GALLON	AS SHOWN	AS SHOWN	1	LOW	FULL & BUSHY; TRIANGULAR SPACING

**LANDSCAPE REQUIREMENTS**

19.70.060.6.c. COMMERCIAL LANDSCAPING REQUIREMENTS

**PARKING AREAS**

TREE SIZE: MINIMUM 15-GALLON, 30% OF TREES SHALL BE 36" BOX, MINIMUM OF ONE 24" BOX TREE PER SIX PARKING STALLS

11 STALLS PROPOSED = MINIMUM 2 TREES REQUIRED

3 TREES PROPOSED. SEE PLAN FOR LOCATIONS

ADDT'L TREES SHOWN TO MEET OTHER REQUIREMENTS

☐ DENOTES PARKING LOT TREE

INSTALL ROOT BARRIER PANELS IN ALL ISLAND PLANTERS

PARKING AREAS AND DRIVE-THRU LANES SHALL BE SCREENED BY A 36-INCH HEIGHT SHRUB BORDER USING A DOUBLE ROW OF FIVE-GALLON SHRUBS AT 3.5' ON-CENTER

A MINIMUM OF TEN PERCENT OF THE SITE SHALL BE LANDSCAPED

PARCEL SIZE: 22,055 SQUARE FEET

22,055 SQ FT x 10% = 2,205 SQ FT OF LANDSCAPING REQUIRED

5,932 SQUARE FEET PROVIDED ON SITE

5,932 / 22,055 = 26.9% LANDSCAPE PROVIDED

MINIMUM 1 SHRUB / 30 SQ FT OF LANDSCAPE AREA

5,932 SQ FT / 30 = 198 SHRUBS REQUIRED

198 SHRUBS PROVIDED

**TREES**

1 TREE REQUIRED / 30 LINEAL FEET OF FRONTAGE

10 TREES REQUIRED

10 TREES PROVIDED, INCLUDING 3 EXISTING LONDON PLANE TREES TO BE RETAINED

ALL STREET TREES TO BE 24" BOX

**ESTIMATED WATER USE**

ALL SHRUBS AND GROUND COVER ARE 'LOW' OR 'VERY LOW' FOR WATER USAGE

ALL PLANT MATERIAL TO RECEIVE REGULAR WATER VIA PERMANENT UNDERGROUND IRRIGATION SYSTEM: SHRUBS AND GROUND COVER WITH DRIP, TREES WITH ROOT WATERING SYSTEM

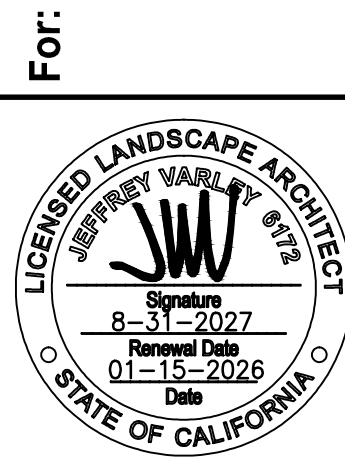
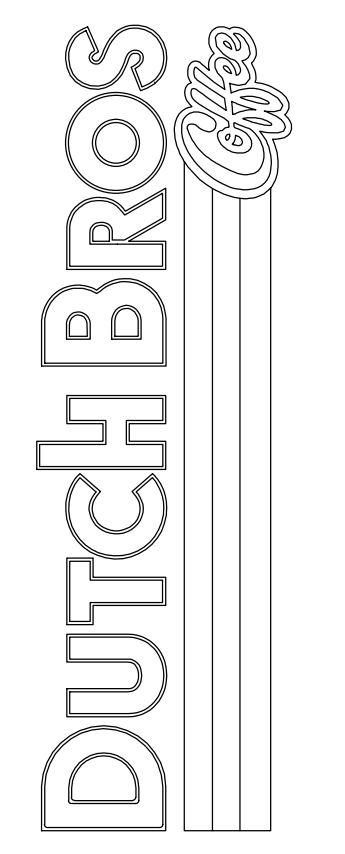
MAWA: 56.65 x 0.62 x 0.71 x 5,932 = 147,928 GALLONS PER YEAR

ETWU: 56.65 x 0.62 x 0.3 x 5,932 / 0.71 = 88,035 GALLONS PER YEAR

**MULCH**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" LAYER OF MEDIUM BARK MULCH OVER WEED BARRIER FABRIC, IN ALL PLANTING AREAS. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED

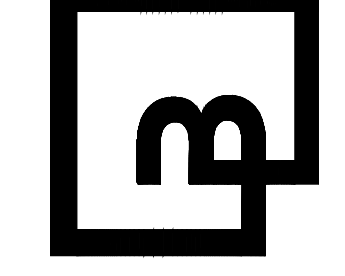
Title: **LANDSCAPE PLANTING PLAN - ONSITE**  
**SEC PERRIS BLVD & AVOCADO AVE**  
**PERRIS, CA**



Scale: Horizontal 1" = 20' Vertical N/A

Designed: J.W. Barghausen  
Drawn: J.W. Barghausen  
Checked: J.W. Barghausen  
Approved: J.W. Barghausen  
Date: 12/18/25

**Barghausen Consulting Engineers, LLC.**  
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# DUTCH BROS. COFFEE - CA5902, PERRIS, CA

## LANDSCAPE NOTES AND DETAILS - ONSITE

### LANDSCAPE PLANTING NOTES AND MATERIALS

#### SCOPE OF WORK

FURNISH ALL MATERIALS, LABOR, EQUIPMENT AND RELATED ITEMS NECESSARY TO ACCOMPLISH THE TREATMENT AND PREPARATION OF SOIL, FINISH GRADING, PLACEMENT OF SPECIFIED PLANT MATERIALS, FERTILIZER, STAKING, MULCH, CLEAN-UP, DEBRIS REMOVAL, AND 30-DAY MAINTENANCE.

**QUALIFICATIONS:**  
LANDSCAPE CONTRACTOR TO BE SKILLED AND KNOWLEDGEABLE IN THE FIELD OF WORK. CONTRACTOR TO BE LICENSED TO PERFORM THE WORK SPECIFIED WITHIN THE PRESIDING JURISDICTION.

**JOB CONDITIONS:**  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVES. ALL PLANT MATERIAL AND FINISH GRADES ARE SUBJECT TO APPROVAL BY THE OWNER.

**PROTECTION:**  
DO NOT PLANT UNTIL OTHER CONSTRUCTION OPERATIONS WHICH CONFLICT HAVE BEEN COMPLETED. AN IRRIGATION SYSTEM IS TO BE INSTALLED. DO NOT PLANT UNTIL THE SYSTEM HAS BEEN TESTED AND APPROVED. HANDLE PLANTS WITH CARE - DO NOT DAMAGE OR BREAK ROOT SYSTEM, BARK, OR BRANCHES. REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK, OR WORK NOT IN COMPLIANCE WITH PLANS AND SPECIFICATIONS, AS DIRECTED BY OWNER AT NO ADDITIONAL COST.

**30-DAY MAINTENANCE:**  
CONTRACTOR TO PROVIDE OWNER WITH A SCOPE OF WORK AT TIME OF INITIAL PROJECT BID TO PROVIDE LANDSCAPE AND IRRIGATION MAINTENANCE FOR 30 DAYS FOLLOWING COMPLETION OF PROJECT (ACCEPTANCE) OF FACILITY BY OWNER. WORK TO INCLUDE MAINTENANCE AS DESCRIBED BELOW, IN PLANTING AND IRRIGATION MAINTENANCE.

#### MATERIALS:

**PLANT MATERIALS:**  
PLANT MATERIALS TO BE GRADE NO. 1, SIZED IN ACCORDANCE WITH (AAN) AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-1996). PRUNE PLANTS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE ARCHITECT.

- A) SPECIFIED PLANT CANOPY SIZE OR CALIPER IS THE MINIMUM ACCEPTABLE CONTAINER OR BALL SIZE ESTABLISHES MINIMUM PLANT CONDITION TO BE PROVIDED.
- B) **QUALITY:**  
PLANT MATERIAL TO COMPLY WITH STATE AND FEDERAL LAWS FOR DISEASE INSPECTION, PLANTS TO BE FULLY LIVE, VIGOROUS, WELL FORMED, WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS. ROOT BALLS OF PLANTS TO BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND DESICCATION.  
PLANTS DETERMINED BY LANDSCAPE ARCHITECT TO HAVE BEEN DAMAGED; HAVE DEFORMITIES OF STEM, BRANCHES, OR ROOTS; LACK SYMMETRY, HAVE MULTIPLE LEADERS OR "Y" CROTCHES LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET SIZE OR ANSI STANDARDS WILL BE REJECTED.  
PLANT MATERIAL TO BE FROM A SINGLE NURSERY SOURCE FOR EACH SPECIFIED SPECIES/HYBRID. NURSERY SOURCES TO BE THOSE LOCATED IN THE SAME REGION AS THE JOB SITE.
- C) **SUBSTITUTION:**  
NO SUBSTITUTION OF PLANT MATERIAL, SPECIES OR VARIETY, WILL BE PERMITTED UNLESS WRITTEN EVIDENCE IS SUBMITTED TO THE OWNER FROM TWO QUALIFIED PLANT BROKERAGE OFFICES. SUBSTITUTIONS WHICH ARE PERMITTED TO BE IN WRITING FROM THE OWNER AND LANDSCAPE ARCHITECT, THE SPECIFIED SIZE, SPECIES AND NEAREST VARIETY, AS APPROVED, TO BE FURNISHED.

**SOIL PREPARATION:**  
ARE SPECIFIC TO THIS SITE. THE FOLLOWING: TOPSOIL, AMENDMENT, AND BACKFILL ARE REQUIREMENTS FOR ALL LANDSCAPE AREAS.

- A) **COMPOST AMENDMENT OF EXISTING SOILS.**  
COMPOST WILL BE AMENDED AT A MINIMUM OF 4 CUBIC YARDS PER 1,000 SQUARE FEET. CULTIVATE TO A DEPTH OF 6 INCHES.
- B) **SOIL PREPARATION**  
REMOVE FROM SITE ALL WEEDS AND DEBRIS WITHIN THE PROPOSED LANDSCAPE AREAS. VERIFY SUB-GRADES AT -5 INCHES BELOW FINISH ELEVATION IN ALL SHRUB AND GROUNDCOVER AREAS. DO NOT WORK SOIL WHEN MOISTURE CONTENT IS SO GREAT THAT EXCESS COMPACTION WILL OCCUR NOR WHEN IT IS SO DRY THAT DUST WILL FORM IN THE AIR OR THAT CLODS WILL NOT BREAK READILY. APPLY WATER IF NECESSARY TO PROVIDE IDEAL MOISTURE CONTENT FOR FILLING AND FOR PLANTING AS SPECIFIED. THOROUGHLY SCARIFY AND RIP ALL LANDSCAPE GRADES WHICH HAVE BECOME COMPACTED TO A DEPTH OF 12 INCHES WITH MULTIPLE PASSES, 90 DEGREES TO EACH OTHER. SCARIFY AREAS INACCESSIBLE TO MECHANIZED EQUIPMENT WITH HAND TOOLS.  
  
REMOVE ALL SURFACE LUMPS, ROCKS, VEGETATION AND/OR DEBRIS LARGER THAN 1-INCH FROM ALL GRADES PRIOR TO ANY SOIL PREPARATION. PLACE ADDITIONAL AMENDED SOIL AS REQUIRED TO MEET FINISH ELEVATIONS. APPLY SOIL PREPARATION MATERIALS TO ALL PLANTING AREAS AND THOROUGHLY INCORPORATE INTO INTO THE TOP 6 INCHES OF SOIL.  
  
WET SOIL THOROUGHLY AND ALLOW TO SETTLE. REPEAT THIS COMPACTING PROCEDURE UNTIL SOIL IS STABLE ENOUGH TO PERMIT AERATION AND DRAINAGE FOR PLANT MATERIAL. FINISH GRADE ALL PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE DRAINING AWAY FROM BUILDINGS AND READY FOR PLANTING. FINISH GRADE TO BE 3 INCHES BELOW FINISH SURFACE OF ADJACENT PAVEMENT IN SHRUB AND GROUNDCOVER AREAS. FINISH GRADES TO BE APPROVED PRIOR TO PLACEMENT OF ANY PLANT MATERIAL. PARKING PLANTER ISLANDS SHALL BE OVER EXCAVATED. REMOVE ALL PAVING WASTE, GRAVEL BASE AND UNDERLYING SUBSOIL TO 18 INCHES BELOW TOP OF THE PAVING. SCARIFY AND OVER EXCAVATE PIT BOTTOM 12 INCHES TO MINIMIZE STRUCTURAL COMPACTION.

**MULCH:**  
SEE MULCH NOTE ON SHEET LP-1.

**STAKES:**  
2-INCH DIAMETER, BY 8-FOOT MINIMUM TREATED LODGEPOLE PINE TREE STAKE.

#### EXECUTION:

**FINISH GRADES:**  
FINE GRADE AND REMOVE ROCKS AND FOREIGN OBJECTS OVER TWO INCHES (2") DIAMETER FROM TOP THREE INCHES (3") OF PREPARED PLANTING BED. ALL FINISH GRADES TO BE SMOOTH EVEN GRADES, LIGHTLY COMPACTED, AS SHOWN ON THE PLAN AND DETAILED. SITE CIVIL DRAWINGS IDENTIFY FINAL ELEVATIONS.

**TREES:**  
ARRANGE TREES ON SITE IN PROPOSED LOCATIONS PER DRAWINGS. EXCAVATE PIT, PLANT AND STAKE OR GUY, AS CALLED OUT AND DETAILED. ALL TREES AND SUPPORTS TO STAND VERTICAL. TREES TO BE PLACED AS SHOWN ON THE PLANTING PLAN, LOCATED AS DETAILED AND AS CALLED OUT ON PLANT LIST. BACKFILL SHALL BE PIT SPOILS. SETTLE BACKFILL USING WATER ONLY. NO MECHANICAL COMPACTION.

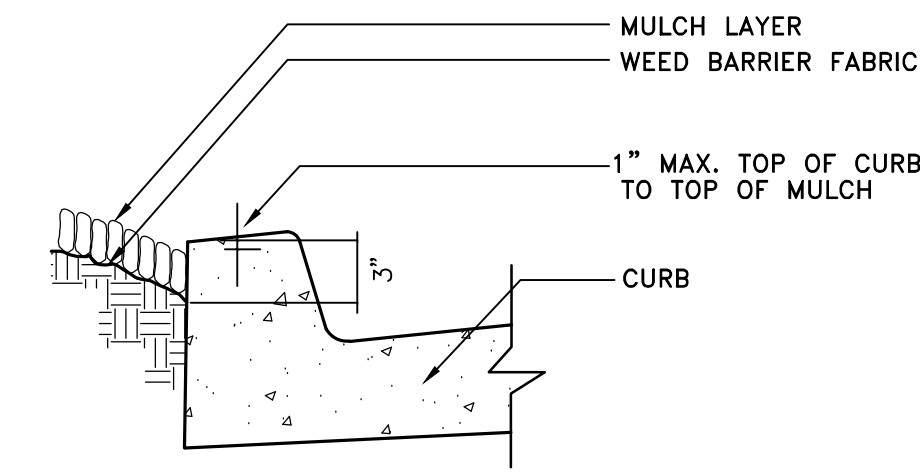
**SHRUBS:**  
INSTALL SHRUBS AS SPECIFIED FOR TREES.

**GROUNDCOVERS:**  
EXCAVATE PITS TO A MINIMUM OF THREE INCHES (3") BELOW, AND TWICE THE ROOT BALL DIAMETER. WATER THOROUGHLY AND TAKE CARE TO ENSURE THAT ROOT CROWN IS AT PROPER GRADE, AS DETAILED.

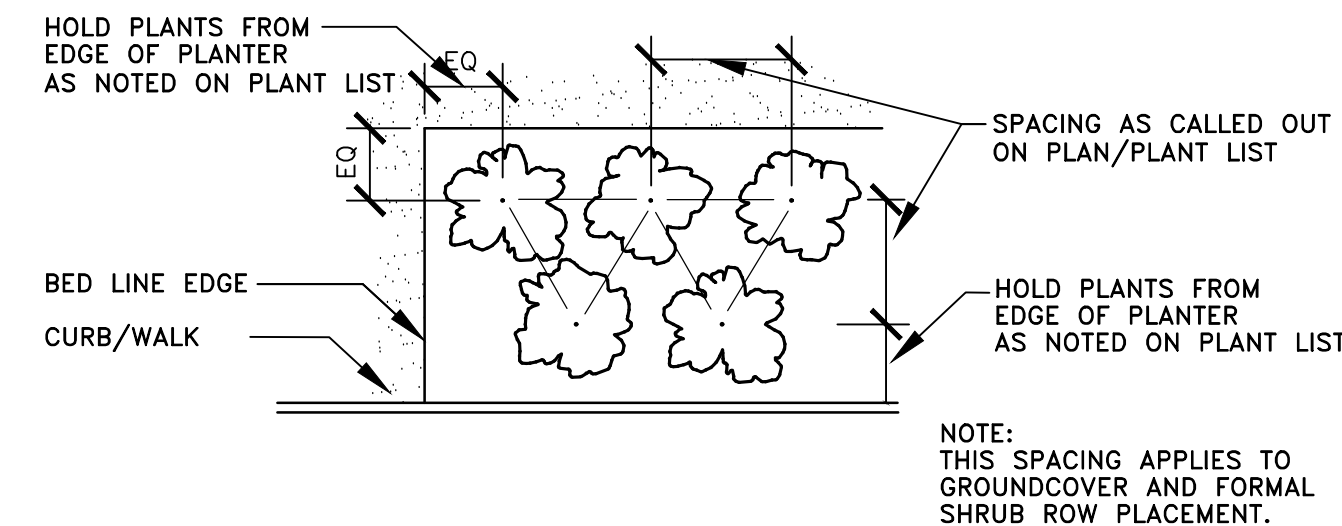
**MULCH:**  
SEE MULCH NOTE ON SHEET LP-1.

**UTILITY CLEARANCES:**  
FIELD ADJUST PLANT LOCATIONS FOR 8-FOOT SEPARATION OF TREES/SHRUBS AND 2-FOOT SEPARATION FOR GROUNDCOVER FROM FIRE HYDRANTS AND UTILITY VAULTS.

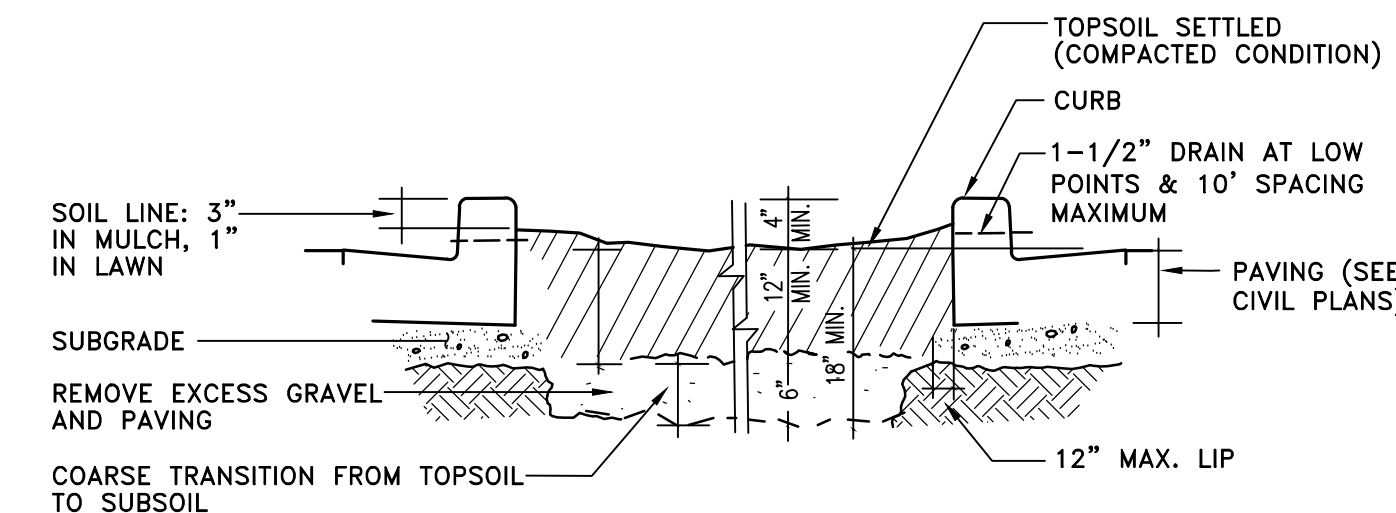
**PLANTING MAINTENANCE:**  
CONTRACTOR TO MAINTAIN PLANTINGS THROUGH COMPLETED INSTALLATION, AND UNTIL ACCEPTANCE OF LANDSCAPE INSTALLATION. PLANTING MAINTENANCE TO INCLUDE WATERING, WEEDING, CULTIVATING, TIGHTENING AND REPAIRING OF TREE GUYS, RESETTling PLANTS TO PROPER GRADES OR POSITION, AND RE-ESTABLISHING SETTING GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION. INCLUDED IS REPLACEMENT OF DEAD PLANTS AND PLANTS SHOWING LOSS OF 40 PERCENT OR MORE OF CANOPY.



**MULCH AT CURB DETAIL**  
NOT TO SCALE

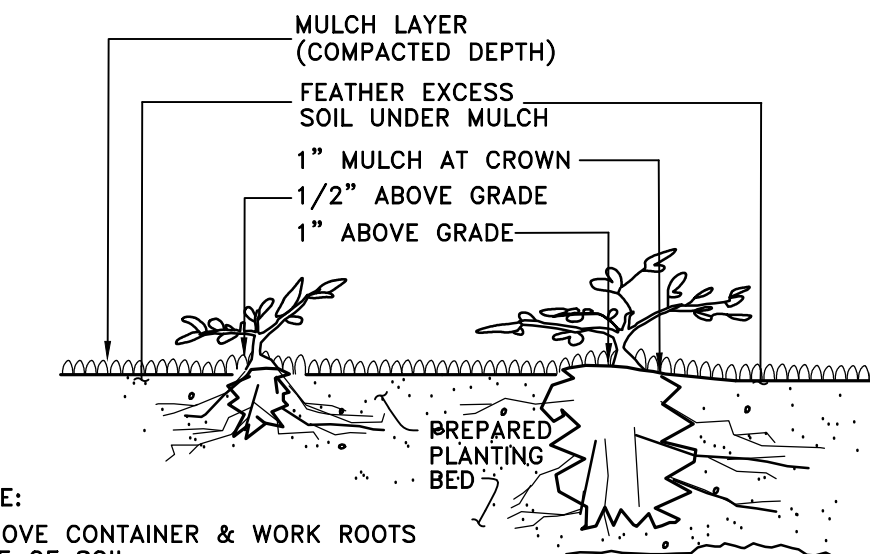


**PLANT MATERIAL SPACING DETAIL**  
NOT TO SCALE



**NOTE:**  
OVER EXCAVATE PARKING LOT PLANTERS TO LOOSEN COMPACTED SUBBASE

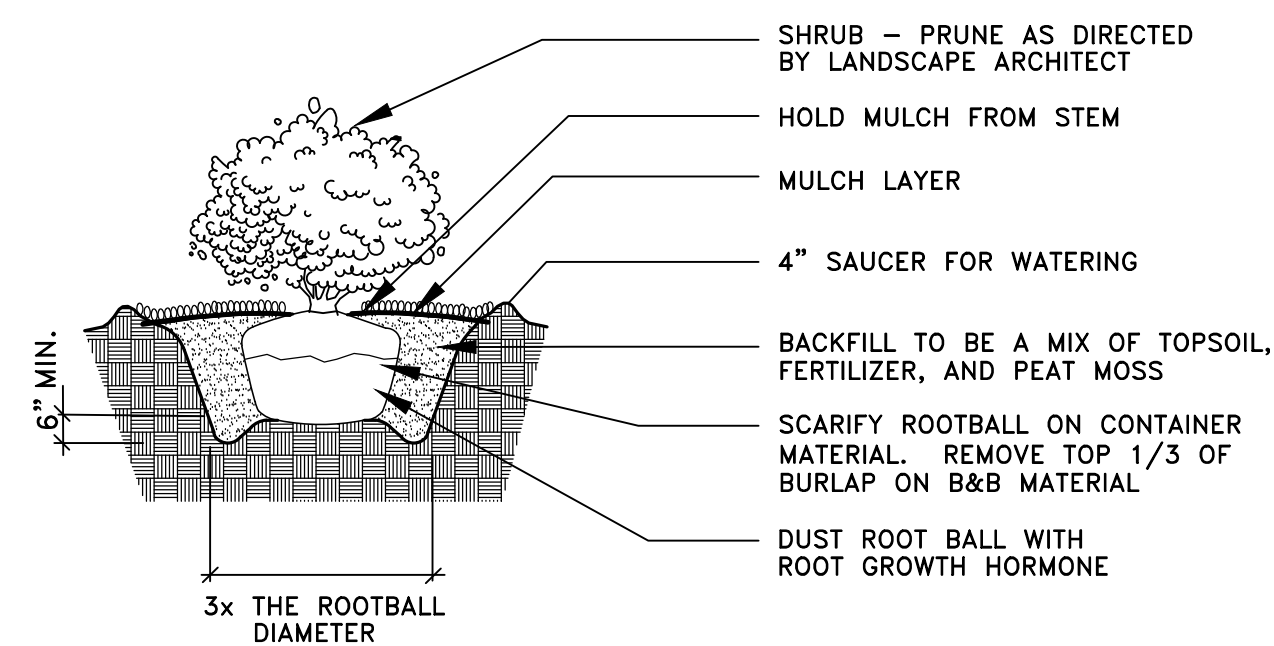
**GRADING & PARKING LOT PLANTERS DETAIL**  
NOT TO SCALE



**NOTE:**  
REMOVE CONTAINER & WORK ROOTS FREE OF SOIL.  
BACKFILL TO BE SETTLED USING WATER ONLY.  
SEE PLANT LIST FOR PLANT SPACING

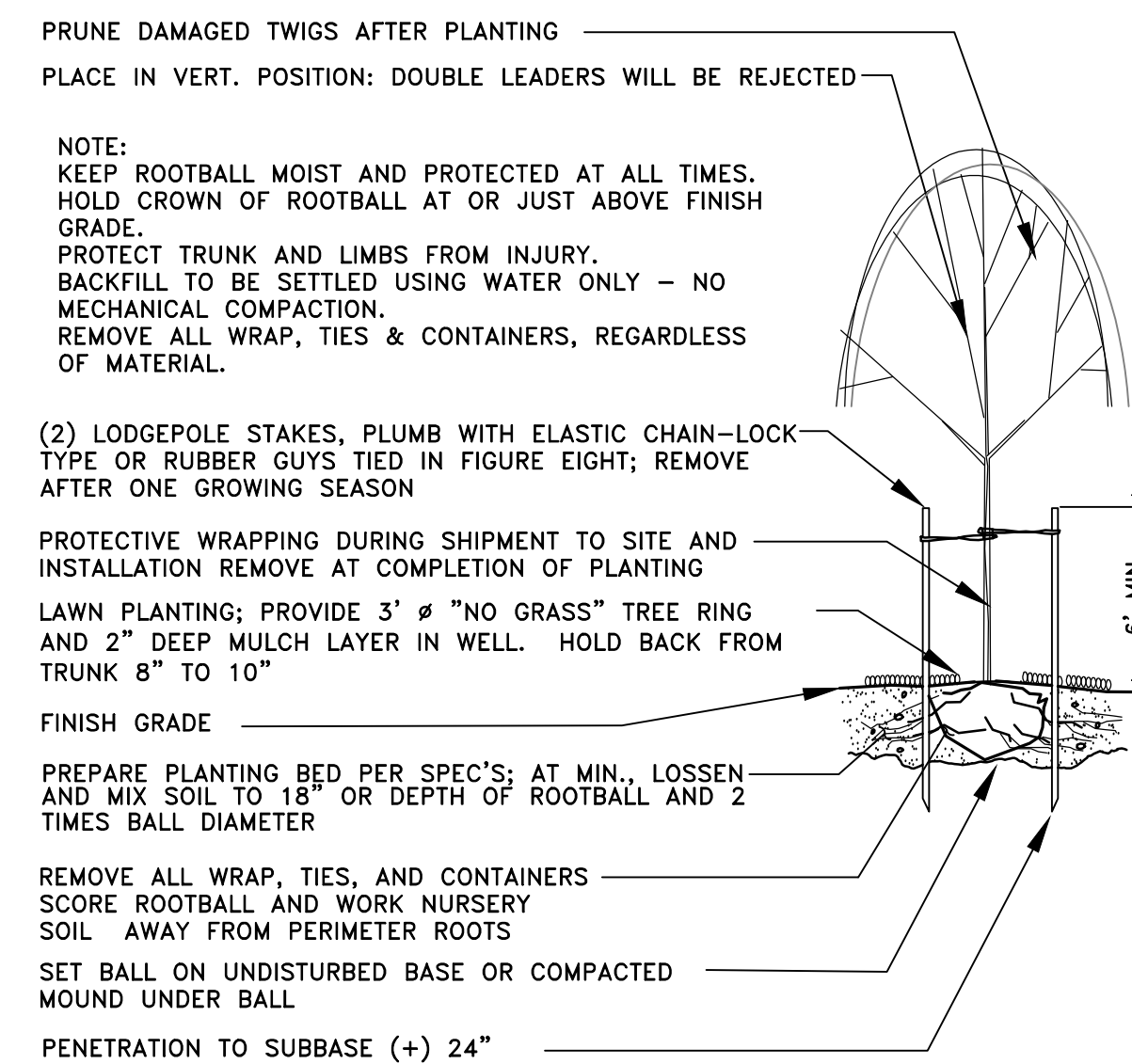
LESS THAN 1 GAL (PLANTED BEFORE MULCH)      1 GAL. CONTAINER and LARGER (PLANTED BEFORE MULCH)

**GROUNDCOVER PLANTING DETAIL**  
NOT TO SCALE



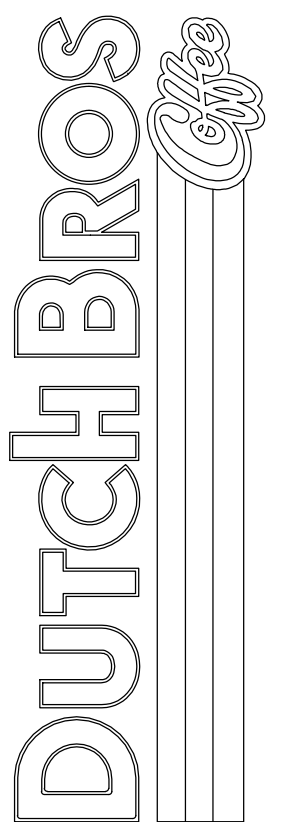
**NOTE:**  
APPLY ADDITIONAL 4 OZ. 8-32-16 FERTILIZER INTO TOP 2" OF PLANTING MIX.  
PLANT SHRUB HIGH ENOUGH TO ALLOW POSITIVE DRAINAGE AWAY FROM ROOTBALL. ROUGHEN ALL SURFACES OF PIT.  
CUT AND REMOVE BURLAP FROM ROOT BALL

**SHRUB PLANTING DETAIL**  
NOT TO SCALE



**DECIDUOUS TREE PLANTING/STAKING DETAIL**  
NOT TO SCALE

Title: **LANDSCAPE NOTES AND DETAILS - ONSITE**  
**SEC PERRIS BLVD & AVOCADO AVE**  
**PERRIS, CA**



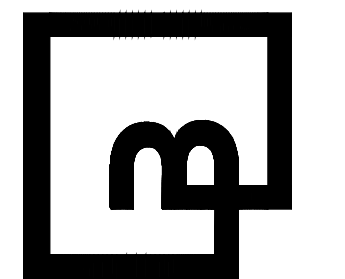
For:



Scale: Horizontal N/A, Vertical N/A

Designed: JMW, Drawn: JMW, Checked: JMW, Approved: JMW, Date: 12/19/25

**Barghausen Consulting Engineers, LLC.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222      [barghausen.com](http://barghausen.com)



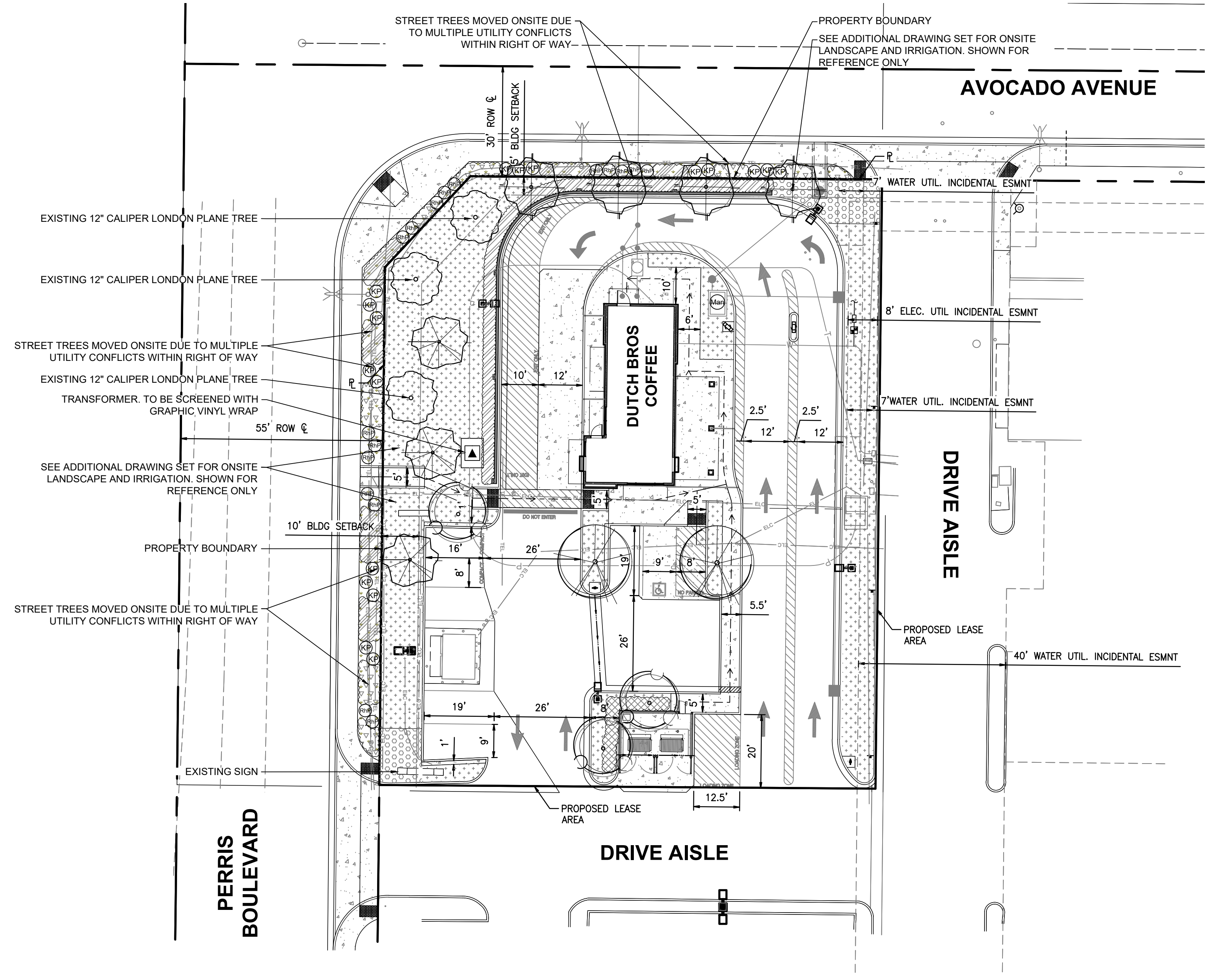
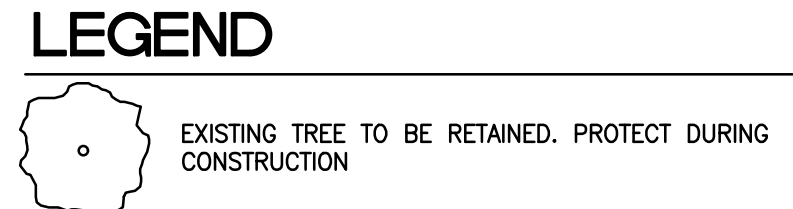
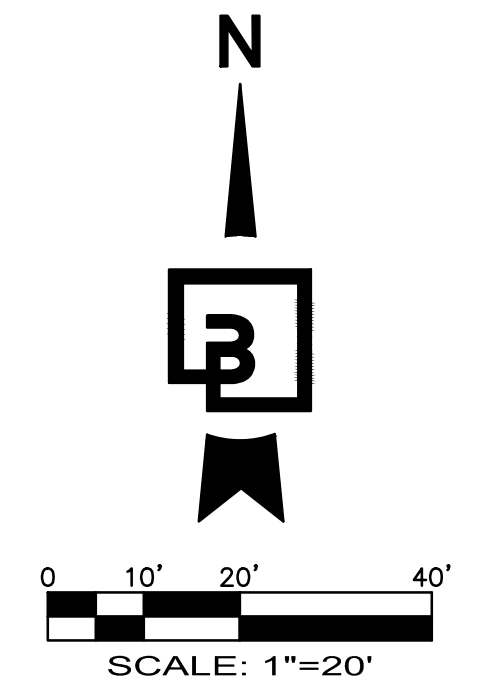
Job Number: **23734**  
Sheet: **LP-2**  
2019 DB USA, LLC

**PRELIMINARY NOT FOR CONSTRUCTION**

# DUTCH BROS. COFFEE - CA5902, PERRIS, CA

## OFF-SITE LANDSCAPE PLAN FOR CUP25-05047

Know what's below.  
Call before you dig.  
Dial 811



**MULCH**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" LAYER OF MEDIUM BARK MULCH OVER WEED BARRIER FABRIC, IN ALL PLANTING AREAS. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

IF ANY ORGANIC MULCH IS TO BE INSTALLED, IT SHALL BE PRODUCED FROM GREEN WASTE SOURCED FROM A PERMITTED/REGISTERED FACILITY UNDER 14 CCR 18993.1(4)(B)

**WEED BARRIER FABRIC**

INSTALL WEED BARRIER FABRIC THAT HAS A MINIMUM 10-YEAR LIFESPAN

**IRRIGATION PULL BOXES**

INSTALL WIRE MESH AND GRAVEL LAYER WITHIN VALVE BOXES TO PREVENT RODENT INTRUSION

**PLANT SCHEDULE**

INCLUDES ONLY AREAS WITHIN CITY OF PERRIS RIGHT OF WAY

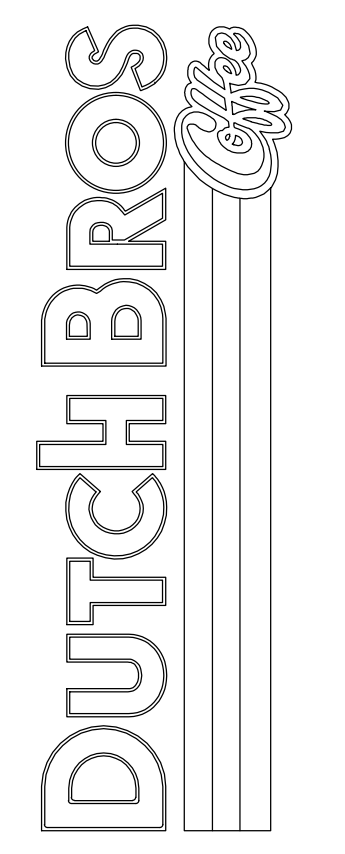
SYMBOL	BOTANICAL/COMMON NAMES	SIZE	CONDITION	SPACING	QTY	WUCOLS IV REGION 4	REMARKS
(KIP)	SHRUBS: ANIGOZANTHOS FLAVIDUS / KANGAROO PAW	5 GALLON			18	LOW	FULL & BUSHY
(RHP)	KNIPHOPHA LIVARIA / RED HOT POKER	5 GALLON			17	LOW	FULL & BUSHY
(Hatched Box)	GROUND COVER: LANTANA MONTEVIDENSIS / PURPLE TRAILING LANTANA	1 GALLON		36" O.C.	AS REQ'D	LOW	FULL & BUSHY; TRIANGULAR SPACING
(Dotted Box)	MYOPORUM PARVIFOLIUM / MYOPORUM	1 GALLON		36" O.C.	AS REQ'D	LOW	FULL & BUSHY; TRIANGULAR SPACING

**LANDSCAPE INSPECTIONS**

**Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for only "OFF-SITE" landscape and irrigation inspections at the appropriate stages of construction. Inspections shall be scheduled for at least two working days (Monday through Friday) during normal staff hours, prior to the actual inspection. Contact Public Works Special Districts Division at (951) 657-3280 to schedule inspections.

- **Inspection #1** – Trenches open, irrigation installed, and system pressurized to 150 PSI for four hours.
- **Inspection #2** – Soil prepared, and plant materials positioned and ready to plant.
- **Inspection #3** – Landscaping installed, with all equipment and irrigation system fully operational.
- **Inspection #4** – A joint inspection with the Development Inspector and LMD Inspector and Applicant to request for sign off, with all required turn-over submittal items provided to Public-Works Special Districts Division.

Title: OFF-SITE LANDSCAPE PLAN FOR CUP25-05047  
SEC PERRIS BLVD & AVOCADO AVE  
PERRIS, CA



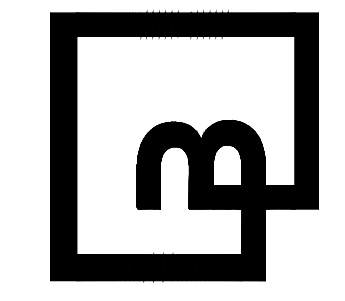
For:



Scale: Horizontal 1" = 20', Vertical N/A

Designed: JMW, Drawn: JMW, Checked: JMW, Approved: JMW, Date: 01/15/26

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Job Number: 23734  
Sheet: LP-3  
2019 DB  
Franchising USA, LLC

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Know what's below.  
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Dial 811

# DUTCH BROS. COFFEE - CA5902, PERRIS, CA

## OFF-SITE LANDSCAPE PLAN FOR CUP25-05047

### LANDSCAPE PLANTING NOTES AND MATERIALS

#### SCOPE OF WORK

FURNISH ALL MATERIALS, LABOR, EQUIPMENT AND RELATED ITEMS NECESSARY TO ACCOMPLISH THE TREATMENT AND PREPARATION OF SOIL, FINISH GRADING, PLACEMENT OF SPECIFIED PLANT MATERIALS, FERTILIZER, STAKING, MULCH, CLEAN-UP, DEBRIS REMOVAL, AND 30-DAY MAINTENANCE.

**QUALIFICATIONS:**  
LANDSCAPE CONTRACTOR TO BE SKILLED AND KNOWLEDGEABLE IN THE FIELD OF WORK. CONTRACTOR TO BE LICENSED TO PERFORM THE WORK SPECIFIED WITHIN THE PRESIDING JURISDICTION.

**JOB CONDITIONS:**  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVES. ALL PLANT MATERIAL AND FINISH GRADES ARE SUBJECT TO APPROVAL BY THE OWNER.

**PROTECTION:**  
DO NOT PLANT UNTIL OTHER CONSTRUCTION OPERATIONS WHICH CONFLICT HAVE BEEN COMPLETED. AN IRRIGATION SYSTEM IS TO BE INSTALLED. DO NOT PLANT UNTIL THE SYSTEM HAS BEEN TESTED AND APPROVED. HANDLE PLANTS WITH CARE - DO NOT DAMAGE OR BREAK ROOT SYSTEM, BARK, OR BRANCHES. REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK, OR WORK NOT IN COMPLIANCE WITH PLANS AND SPECIFICATIONS, AS DIRECTED BY OWNER AT NO ADDITIONAL COST.

**30-DAY MAINTENANCE:**  
CONTRACTOR TO PROVIDE OWNER WITH A SCOPE OF WORK AT TIME OF INITIAL PROJECT BID TO PROVIDE LANDSCAPE AND IRRIGATION MAINTENANCE FOR 30 DAYS FOLLOWING COMPLETION OF PROJECT (ACCEPTANCE) OF FACILITY BY OWNER. WORK TO INCLUDE MAINTENANCE AS DESCRIBED BELOW, IN PLANTING AND IRRIGATION MAINTENANCE.

#### MATERIALS:

**PLANT MATERIALS:**  
PLANT MATERIALS TO BE GRADE NO. 1, SIZED IN ACCORDANCE WITH (AAN) AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-1996). PRUNE PLANTS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE ARCHITECT.

- A) SPECIFIED PLANT CANOPY SIZE OR CALIPER IS THE MINIMUM ACCEPTABLE CONTAINER OR BALL SIZE ESTABLISHES MINIMUM PLANT CONDITION TO BE PROVIDED.
- B) QUALITY:  
PLANT MATERIAL TO COMPLY WITH STATE AND FEDERAL LAWS FOR DISEASE INSPECTION, PLANTS TO BE FULLY LIVE, VIGOROUS, WELL FORMED, WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS. ROOT BALLS OF PLANTS TO BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND DESICCATION.  
PLANTS DETERMINED BY LANDSCAPE ARCHITECT TO HAVE BEEN DAMAGED; HAVE DEFORMITIES OF STEM, BRANCHES, OR ROOTS; LACK SYMMETRY, HAVE MULTIPLE LEADERS OR "Y" CROTCHES LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET SIZE OR ANSI STANDARDS WILL BE REJECTED.  
PLANT MATERIAL TO BE FROM A SINGLE NURSERY SOURCE FOR EACH SPECIFIED SPECIES/HYBRID. NURSERY SOURCES TO BE THOSE LOCATED IN THE SAME REGION AS THE JOB SITE.
- C) SUBSTITUTION:  
NO SUBSTITUTION OF PLANT MATERIAL, SPECIES OR VARIETY, WILL BE PERMITTED UNLESS WRITTEN EVIDENCE IS SUBMITTED TO THE OWNER FROM TWO QUALIFIED PLANT BROKERAGE OFFICES. SUBSTITUTIONS WHICH ARE PERMITTED TO BE IN WRITING FROM THE OWNER AND LANDSCAPE ARCHITECT. THE SPECIFIED SIZE, SPECIES AND NEAREST VARIETY, AS APPROVED, TO BE FURNISHED.

**SOIL PREPARATION:**  
ARE SPECIFIC TO THIS SITE. THE FOLLOWING: TOPSOIL, AMENDMENT, AND BACKFILL ARE REQUIREMENTS FOR ALL LANDSCAPE AREAS.

- A) COMPOST AMENDMENT OF EXISTING SOILS.  
COMPOST WILL BE AMENDED AT A MINIMUM OF 4 CUBIC YARDS PER 1,000 SQUARE FEET. CULTIVATE TO A DEPTH OF 6 INCHES.
- B) SOIL PREPARATION  
REMOVE FROM SITE ALL WEEDS AND DEBRIS WITHIN THE PROPOSED LANDSCAPE AREAS. VERIFY SUB-GRADES AT -5 INCHES BELOW FINISH ELEVATION IN ALL SHRUB AND GROUND COVER AREAS. DO NOT WORK SOIL WHEN MOISTURE CONTENT IS SO GREAT THAT EXCESS COMPACTION WILL OCCUR NOR WHEN IT IS SO DRY THAT DUST WILL FORM IN THE AIR OR THAT CLOUDS WILL NOT BREAK READILY. APPLY WATER IF NECESSARY TO PROVIDE IDEAL MOISTURE CONTENT FOR FILLING AND FOR PLANTING AS SPECIFIED. THOROUGHLY SCARIFY AND RIP ALL LANDSCAPE GRADES WHICH HAVE BECOME COMPACTED TO A DEPTH OF 12 INCHES WITH MULTIPLE PASSES, 90 DEGREES TO EACH OTHER. SCARIFY AREAS INACCESSIBLE TO MECHANIZED EQUIPMENT WITH HAND TOOLS.

REMOVE ALL SURFACE LUMPS, ROCKS, VEGETATION AND/OR DEBRIS LARGER THAN 1-INCH FROM ALL GRADES PRIOR TO ANY SOIL PREPARATION. PLACE ADDITIONAL AMENDED SOIL AS REQUIRED TO MEET FINISH ELEVATIONS. APPLY SOIL PREPARATION MATERIALS TO ALL PLANTING AREAS AND THOROUGHLY INCORPORATE INTO INTO THE TOP 6 INCHES OF SOIL.

WET SOIL THOROUGHLY AND ALLOW TO SETTLE. REPEAT THIS COMPACTING PROCEDURE UNTIL SOIL IS STABLE ENOUGH TO PERMIT AERATION AND DRAINAGE FOR PLANT MATERIAL. FINISH GRADE ALL PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE DRAINING AWAY FROM BUILDINGS AND READY FOR PLANTING. FINISH GRADE TO BE 3 INCHES BELOW FINISH SURFACE OF ADJACENT PAVEMENT IN SHRUB AND GROUND COVER AREAS. FINISH GRADES TO BE APPROVED PRIOR TO PLACEMENT OF ANY PLANT MATERIAL. PARKING PLANTER ISLANDS SHALL BE OVER EXCAVATED. REMOVE ALL PAYING WASTE, GRAVEL BASE AND UNDERLYING SUBSOIL TO 18 INCHES BELOW TOP OF THE PAVING. SCARIFY AND OVER EXCAVATE PIT BOTTOM 12 INCHES TO MINIMIZE STRUCTURAL COMPACTION.

**MULCH:**  
SEE PLANT SCHEDULE.

**STAKES:**  
2-INCH DIAMETER, BY 8-FOOT MINIMUM TREATED LODGEPOLE PINE TREE STAKE.

#### EXECUTION:

**FINISH GRADES:**  
FINE GRADE AND REMOVE ROCKS AND FOREIGN OBJECTS OVER TWO INCHES (2") DIAMETER FROM TOP THREE INCHES (3") OF PREPARED PLANTING BED. ALL FINISH GRADES TO BE SMOOTH EVEN GRADES, LIGHTLY COMPACTED, AS SHOWN ON THE PLAN AND DETAILED. SITE CIVIL DRAWINGS IDENTIFY FINAL ELEVATIONS.

**TREES:**  
ARRANGE TREES ON SITE IN PROPOSED LOCATIONS PER DRAWINGS. EXCAVATE PIT, PLANT AND STAKE OR GUY, AS CALLED OUT AND DETAILED. ALL TREES AND SUPPORTS TO STAND VERTICAL. TREES TO BE PLACED AS SHOWN ON THE PLANTING PLAN, LOCATED AS DETAILED AND AS CALLED OUT ON PLANT LIST. BACKFILL SHALL BE PIT SPOILS. SETTLE BACKFILL USING WATER ONLY. NO MECHANICAL COMPACTION.

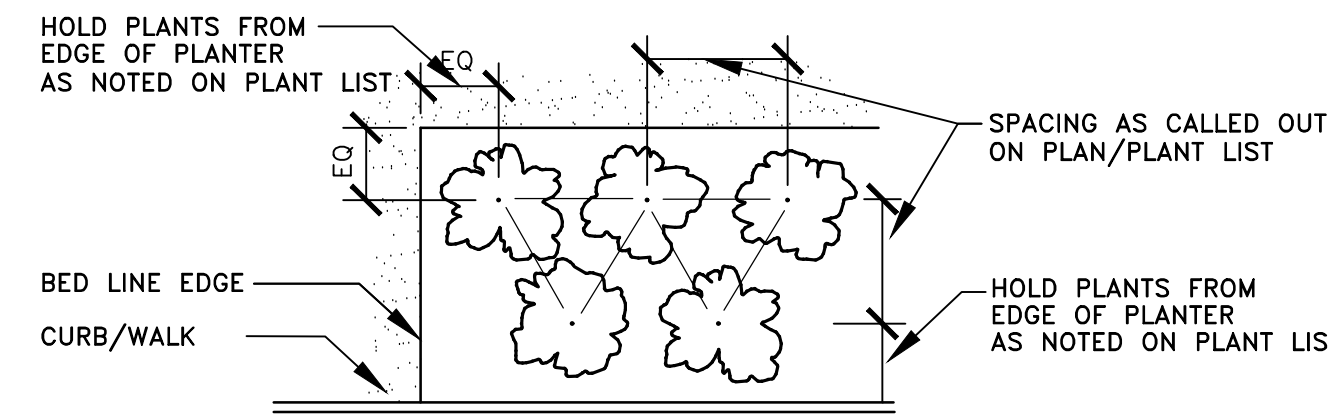
**SHRUBS:**  
INSTALL SHRUBS AS SPECIFIED FOR TREES.

**GROUNDCOVERS:**  
EXCAVATE PITS TO A MINIMUM OF THREE INCHES (3") BELOW, AND TWICE THE ROOT BALL DIAMETER. WATER THOROUGHLY AND TAKE CARE TO ENSURE THAT ROOT CROWN IS AT PROPER GRADE, AS DETAILED.

**MULCH:**  
SEE PLANT SCHEDULE.

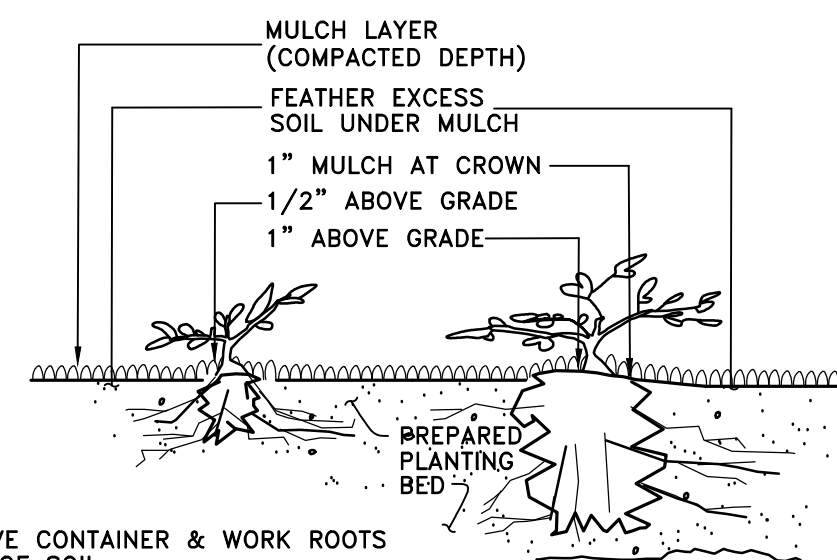
**UTILITY CLEARANCES:**  
FIELD ADJUST PLANT LOCATIONS FOR 8-FOOT SEPARATION OF TREES/SHRUBS AND 2-FOOT SEPARATION FOR GROUND COVER FROM FIRE HYDRANTS AND UTILITY VAULTS.

**PLANTING MAINTENANCE:**  
CONTRACTOR TO MAINTAIN PLANTINGS THROUGH COMPLETED INSTALLATION, AND UNTIL ACCEPTANCE OF LANDSCAPE INSTALLATION. PLANTING MAINTENANCE TO INCLUDE WATERING, WEEDING, CULTIVATING, TIGHTENING AND REPAIRING OF TREE GUYS, RESETTling PLANTS TO PROPER GRADES OR POSITION, AND RE-ESTABLISHING SETTING GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION. INCLUDED IS REPLACEMENT OF DEAD PLANTS AND PLANTS SHOWING LOSS OF 40 PERCENT OR MORE OF CANOPY.



### PLANT MATERIAL SPACING DETAIL

NOT TO SCALE

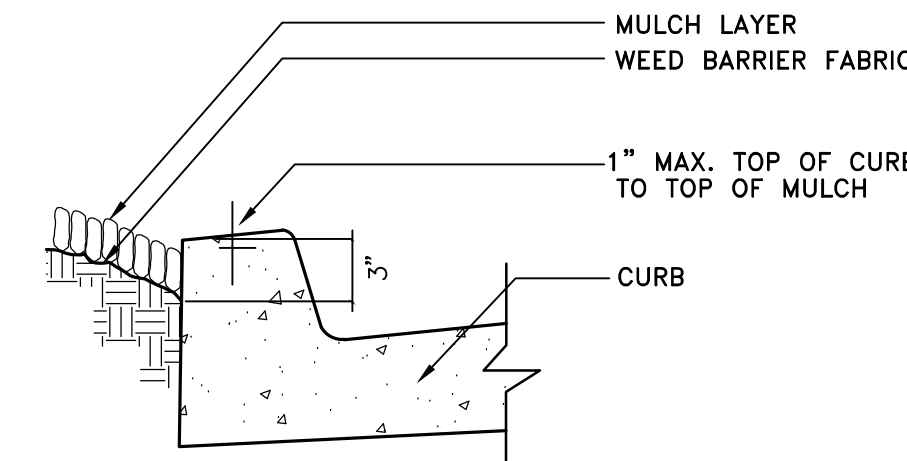


**NOTE:**  
REMOVE CONTAINER & WORK ROOTS FREE OF SOIL.  
BACKFILL TO BE SETTLED USING WATER ONLY  
SEE PLANT LIST FOR PLANT SPACING

LESS THAN 1 GAL (PLANTED BEFORE MULCH)      1 GAL CONTAINER AND LARGER (PLANTED BEFORE MULCH)

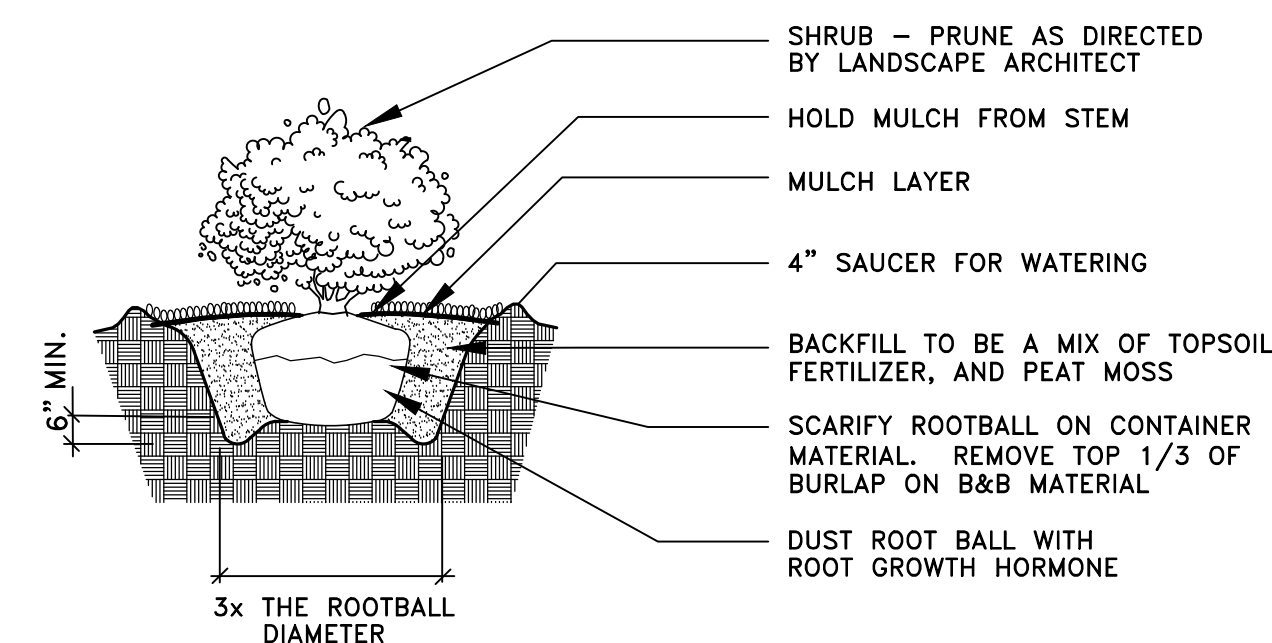
### GROUND COVER PLANTING DETAIL

NOT TO SCALE



### MULCH AT CURB DETAIL

NOT TO SCALE

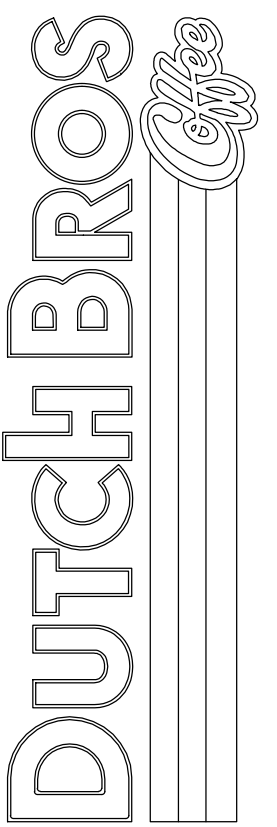


**NOTE:**  
APPLY ADDITIONAL 4 OZ. 8-32-16 FERTILIZER INTO TOP 2" OF PLANTING MIX.  
PLANT SHRUB HIGH ENOUGH TO ALLOW POSITIVE DRAINAGE AWAY FROM ROOTBALL. ROUGHEN ALL SURFACES OF PIT.  
CUT AND REMOVE BURLAP FROM ROOT BALL

### SHRUB PLANTING DETAIL

NOT TO SCALE

Title: OFF-SITE LANDSCAPE PLAN FOR CUP25-05047  
SEC PERRIS BLVD & AVOCADO AVE  
PERRIS, CA



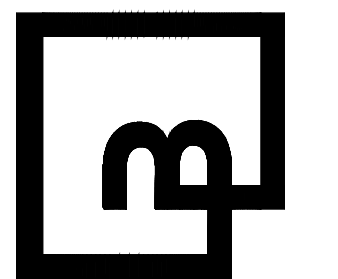
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Designed: JMW, Drawn: JMW, Checked: JMW, Approved: JMW, Date: 01/15/25

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Job Number: 23734

Sheet: LP-4  
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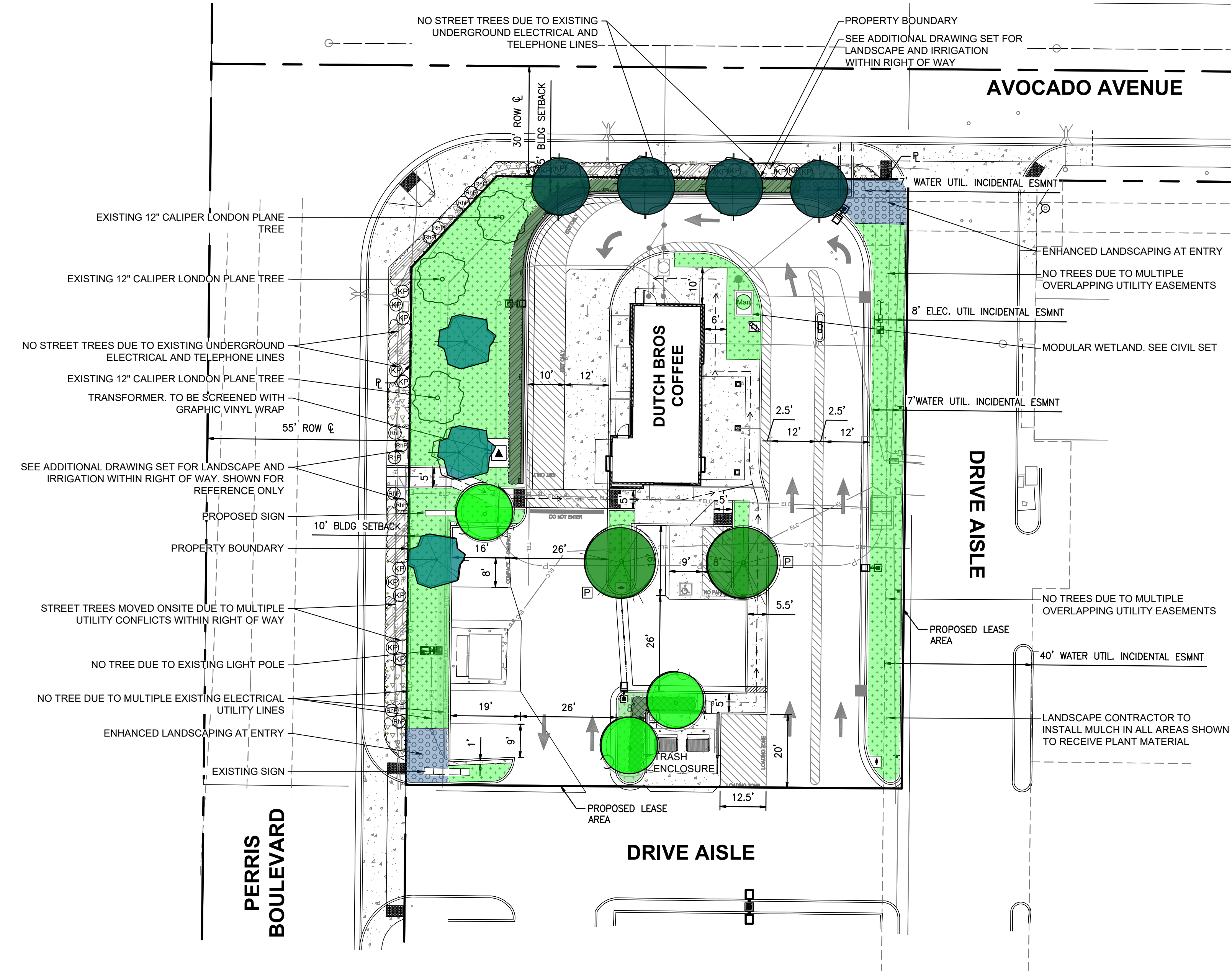
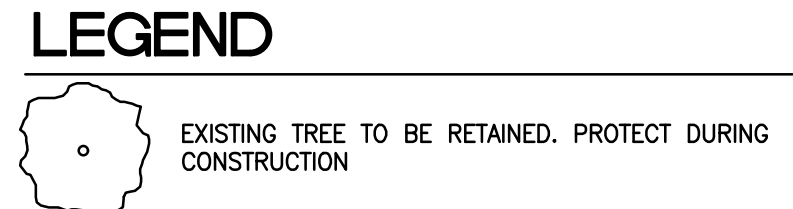
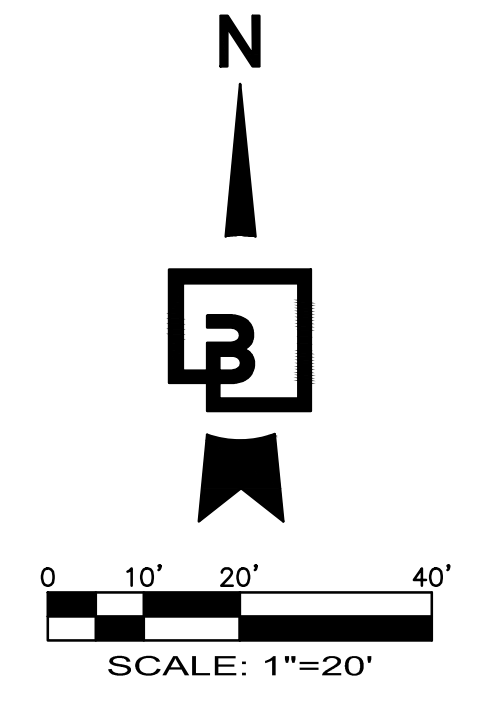
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# DUTCH BROS. COFFEE - CA5902, PERRIS, CA

## COLORED LANDSCAPE EXHIBIT - ONSITE

Know what's below.  
Call before you dig.  
Dial 811



**PROJECT DATA:**

LOCATION: SEC OF PERRIS BOULEVARD AND AVOCADO AVENUE, PERRIS CA 92571

APN #: 320-130-007

ZONING: COMMUNITY COMMERCIAL (CC)

AREAS:

PARCEL AREA: 231,543 SF (5.32 AC)

PROJECT AREA: 22,055 SF (0.506 AC)

BUILDING: 1,025 S.F.

TRASH ENCL: 12' X 20'

**PLANT SCHEDULE**

SYMBOL	BOTANICAL/COMMON NAMES	SIZE	CONDITION	SPACING	QTY	WUCOLS #	REMARKS
	TREES: PARKERSONIA FLORIDA / BLUE PALM VERDE EVERGREEN	24" BOX	AS SHOWN	AS SHOWN	2	LOW	STAKE & GUY ONE GROWING SEASON. NURSERY GROWN, BRANCHED AT 5'
	Olea EUROPAEA 'MAJESTIC' / FRUITLESS OLIVE EVERGREEN	15 GAL & 36" BOX	AS SHOWN	AS SHOWN	2	LOW	STAKE & GUY ONE GROWING SEASON. NURSERY GROWN
	STREET TREES: PLATANUS HISPANICA / LONDON PLANE	24" BOX	AS SHOWN	AS SHOWN	3	MOD	STAKE & GUY ONE GROWING SEASON. NURSERY GROWN, BRANCHED AT 5'
	ACACIA STENOPHYLLA / SHEERING ACACIA	24" BOX	AS SHOWN	AS SHOWN	4	LOW	STAKE & GUY ONE GROWING SEASON. NURSERY GROWN, BRANCHED AT 5'
	SHRUBS: OLEA EUROPAEA 'MONTRA' / 'LITTLE OLIVE' DWARF OLIVE	5 GALLON	AS SHOWN	AS SHOWN	AS REQ'D	LOW	FULL & BUSHY; INSTALL DOUBLE ROW AT 3.5' O.C., MAINTAIN AT 36" HT.
	OLEA EUROPAEA 'MONTRA' / 'LITTLE OLIVE' DWARF OLIVE	5 GALLON	AS SHOWN	AS SHOWN	AS REQ'D	LOW	FULL & BUSHY; INSTALL SINGLE ROW AT 4' O.C., MAINTAIN AT 6' HT.
	ORNBMENTAL GRASSES: BROUTILOHA GRACILIS / BLUE GRAMA	1 & 5 GAL	42" O.C.	AS SHOWN	AS REQ'D	LOW	FULL & BUSHY
	FESTUCA CALIFORNICA / CALIFORNIA FESCUE	1 & 5 GAL	30" O.C.	AS SHOWN	AS REQ'D	LOW	FULL & BUSHY
	STIPA PULCHRA / PURPLE NEEDLEGRASS	1 & 5 GAL	42" O.C.	AS SHOWN	AS REQ'D	VERY LOW	FULL & BUSHY
	ANDROPALMUS FLAVIDUS / KANGAROO PAW	1 & 5 GAL	42" O.C.	AS SHOWN	AS REQ'D	LOW	FULL & BUSHY
	KNIPHOFIA LIVANIA / RED HOT POKER	1 & 5 GAL	42" O.C.	AS SHOWN	AS REQ'D	LOW	FULL & BUSHY
	MINIMUM BOX OF SHRUBS TO BE 5-GAL						
	GROUND COVER: LANTANA MONTEVIDEENSIS / PURPLE TRAILING LANTANA	1 GALLON	36" O.C.	AS SHOWN	AS REQ'D	LOW	FULL & BUSHY; TRIANGULAR SPACING
	MYOPORIUM PARVIFOLIUM / MYOPORIUM	1 GALLON	36" O.C.	AS SHOWN	AS REQ'D	LOW	FULL & BUSHY; TRIANGULAR SPACING
	ENHANCED LANDSCAPING AT CORNER. PLANT SPECIES FROM LIST ABOVE BUT DESIGNED IN A MORE FORMAL PATTERN TO EMPHASIZE THE TWO ENTRIES						
	MODULAR WETLAND: ARCTOSTAPHYLOS DENSIFLORA / 'HOWARD MICHNEY' MANCANTA	1 GALLON	AS SHOWN	AS SHOWN	1	LOW	FULL & BUSHY; TRIANGULAR SPACING

**LANDSCAPE REQUIREMENTS**

19.70.060.6.c. COMMERCIAL LANDSCAPING REQUIREMENTS

**PARKING AREAS**

TREE SIZE: MINIMUM 15-GALLON, 30% OF TREES SHALL BE 36" BOX, MINIMUM OF ONE 24" BOX TREE PER SIX PARKING STALLS

11 STALLS PROPOSED = MINIMUM 2 TREES REQUIRED

3 TREES PROPOSED. SEE PLAN FOR LOCATIONS

ADD'L TREES SHOWN TO MEET OTHER REQUIREMENTS

☐ DENOTES PARKING LOT TREE

INSTALL ROOT BARRIER PANELS IN ALL ISLAND PLANTERS

PARKING AREAS AND DRIVE-THRU LANES SHALL BE SCREENED BY A 36-INCH HEIGHT SHRUB BORDER USING A DOUBLE ROW OF FIVE-GALLON SHRUBS AT 3.5' ON-CENTER

A MINIMUM OF TEN PERCENT OF THE SITE SHALL BE LANDSCAPED

PARCEL SIZE: 22,055 SQUARE FEET

22,055 SQ FT x 10% = 2,205 SQ FT OF LANDSCAPING REQUIRED

5,932 SQUARE FEET PROVIDED ON SITE

5,932 / 22,055 = 26.9% LANDSCAPE PROVIDED

MINIMUM 1 SHRUB / 30 SQ FT OF LANDSCAPE AREA

5,932 SQ FT / 30 = 198 SHRUBS REQUIRED

198 SHRUBS PROVIDED

**TREES**

1 TREE REQUIRED / 30 LINEAL FEET OF FRONTAGE

10 TREES REQUIRED

10 TREES PROVIDED, INCLUDING 3 EXISTING LONDON PLANE TREES TO BE RETAINED

ALL STREET TREES TO BE 24" BOX

**ESTIMATED WATER USE**

ALL SHRUBS AND GROUND COVER ARE 'LOW' OR 'VERY LOW' FOR WATER USAGE

ALL PLANT MATERIAL TO RECEIVE REGULAR WATER VIA PERMANENT UNDERGROUND IRRIGATION SYSTEM: SHRUBS AND GROUND COVER WITH DRIP, TREES WITH ROOT WATERING SYSTEM

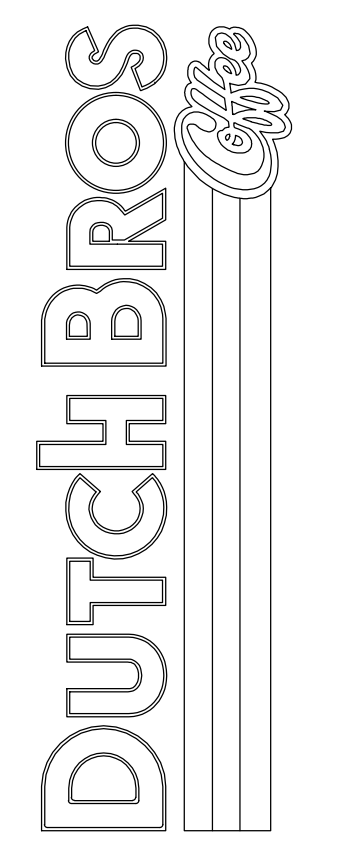
MAWA: 56.65 x 0.62 x 0.71 x 5,932 = 147,928 GALLONS PER YEAR

ETWU: 56.65 x 0.62 x 0.3 x 5,932 / 0.71 = 88,035 GALLONS PER YEAR

**MULCH**

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" LAYER OF MEDIUM BARK MULCH OVER WEED BARRIER FABRIC, IN ALL PLANTING AREAS. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED

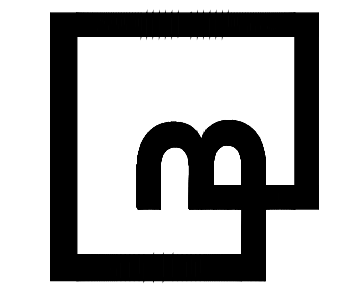
Title: **LANDSCAPE PLANTING PLAN - ONSITE**  
**SEC PERRIS BLVD & AVOCADO AVE**  
**PERRIS, CA**



Scale: Horizontal 1" = 20' Vertical N/A

Designed: J.W.W. Drawn: J.W.W. Checked: J.W.W. Approved: J.W.W. Date: 12/18/25

**Barghausen Consulting Engineers, LLC.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222 [barghausen.com](http://barghausen.com)



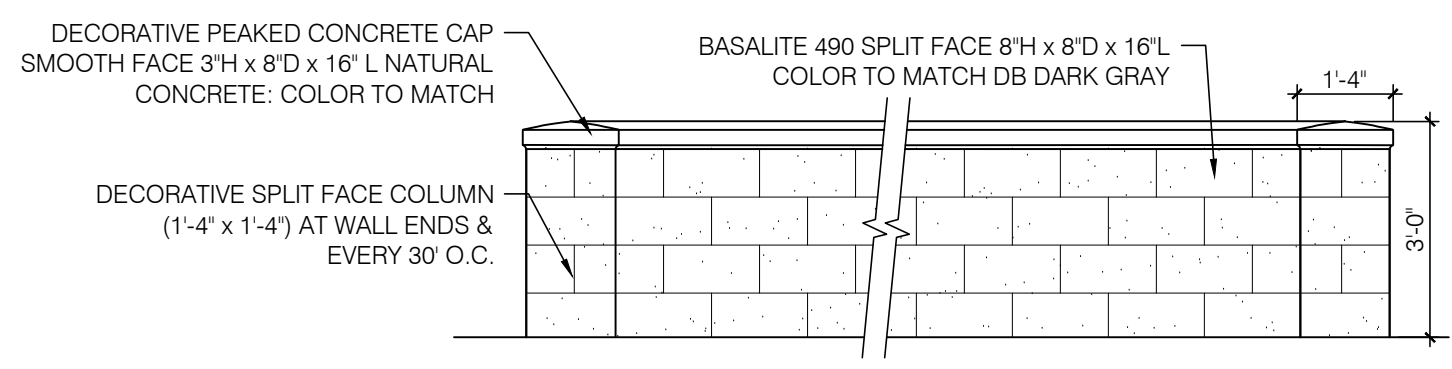
Job Number: **23734**  
Sheet: **LP-5**  
2019 DB, LLC  
Franchising USA, LLC

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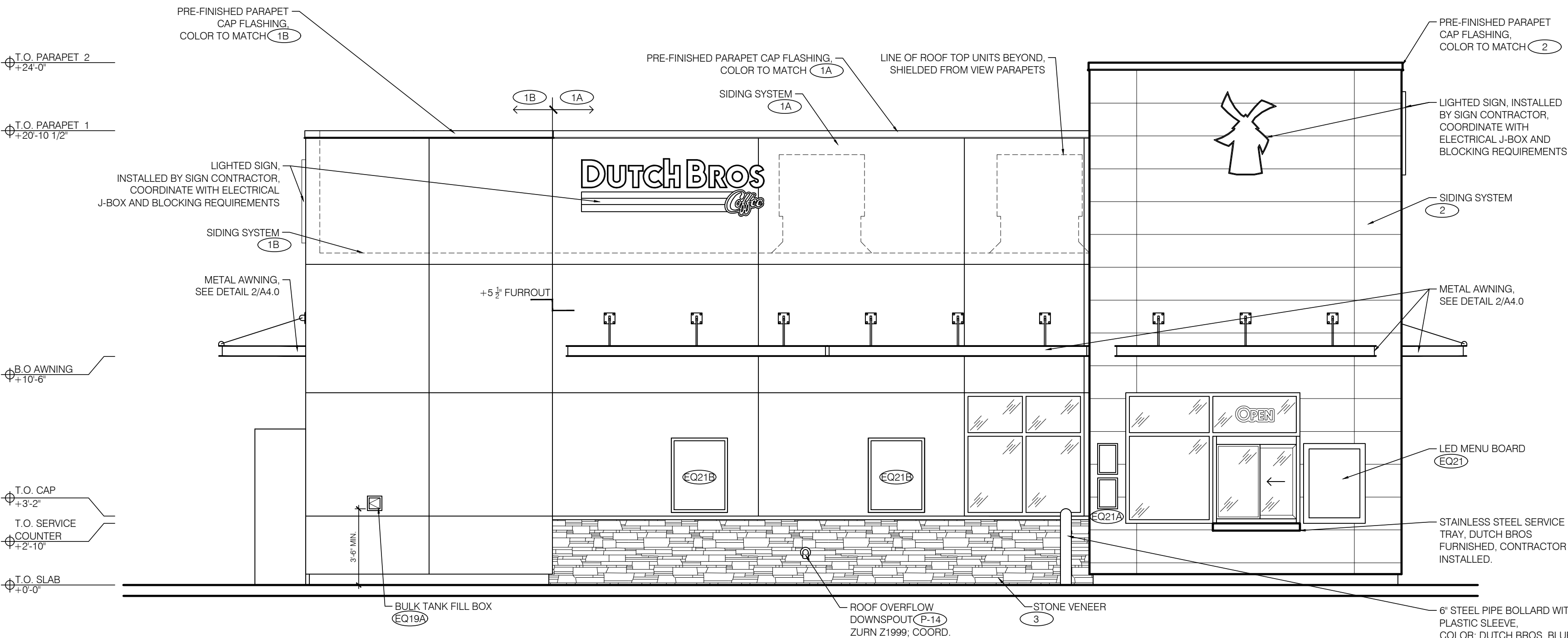
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P:\23000s\23734\preliminary\23734 - pl.dwg 1/15/2026 9:43 AM J.WARLEY

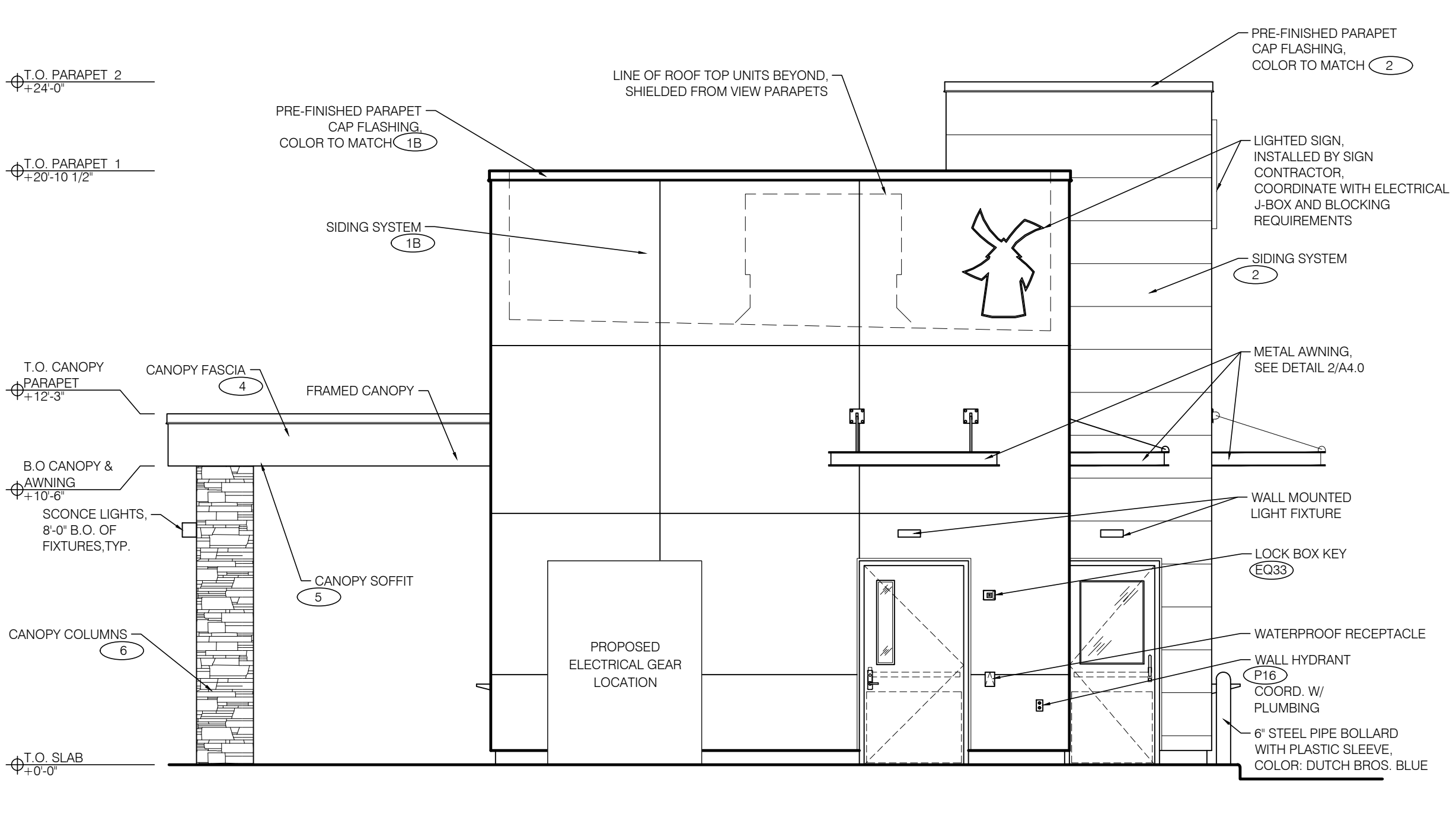
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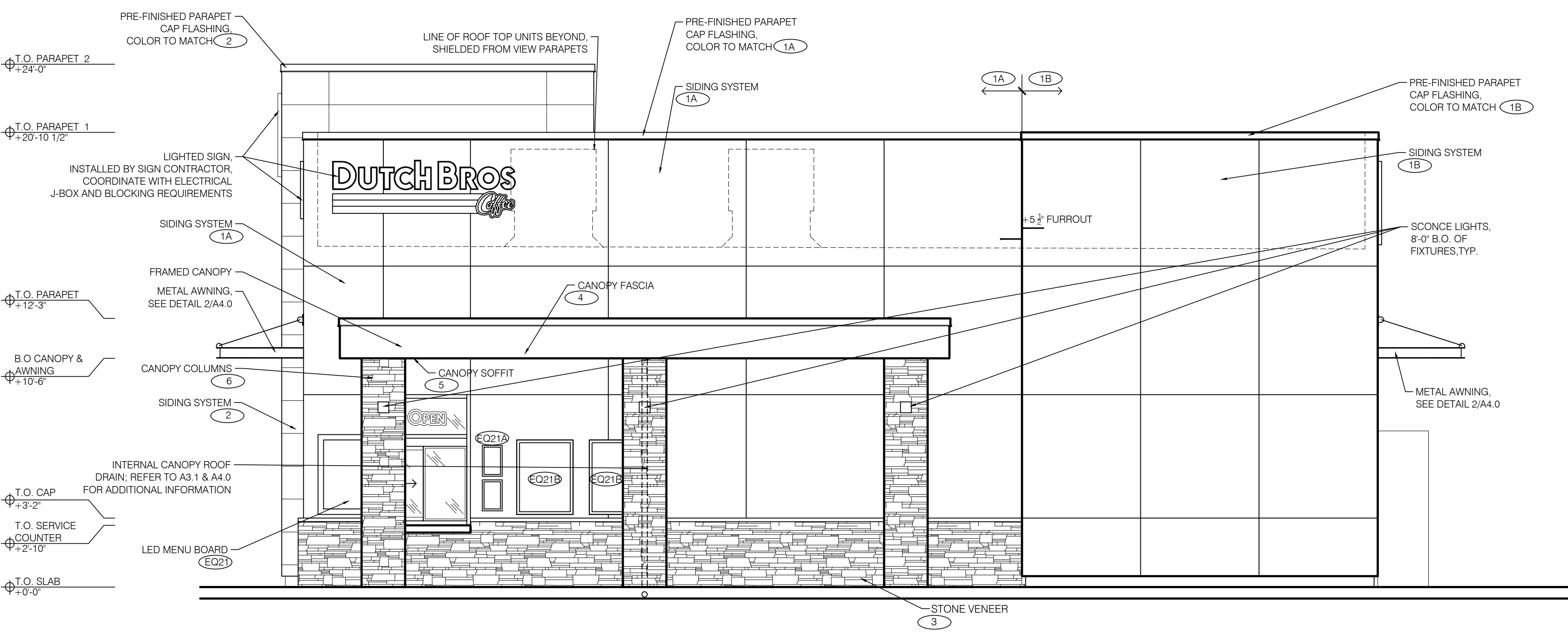
5 SCREEN WALL SCALE: 3/8" = 1'-0"



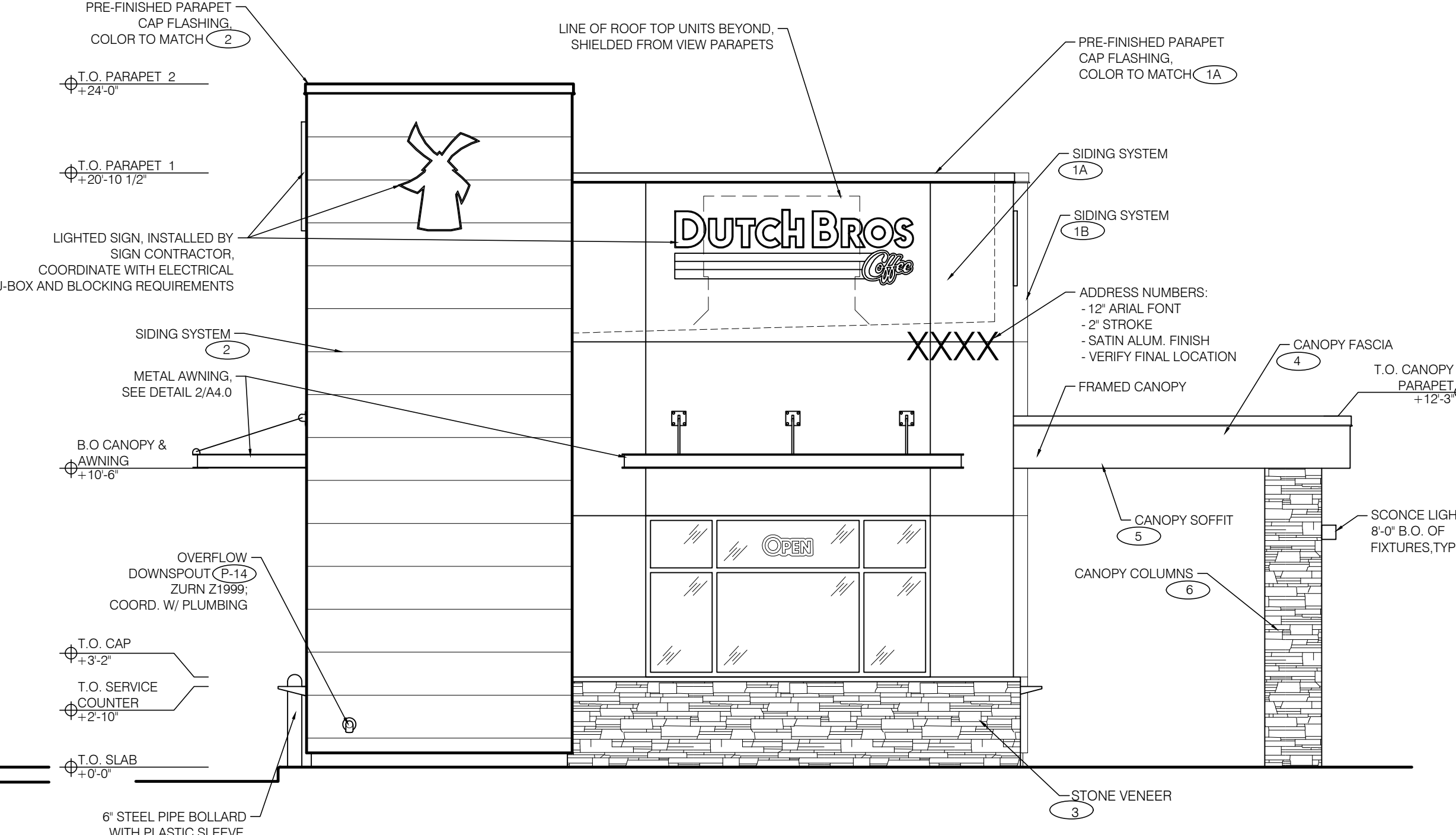
4 ELEVATION - DRIVE-THRU WINDOW SCALE: 1/4" = 1'-0"



3 REAR ELEVATION SCALE: 1/4" = 1'-0"



2 ELEVATION - WALK-UP WINDOW SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION SCALE: 1/4" = 1'-0"

ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
<b>ZONE 1 (BODY)</b>				
1A	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS	8656-11295 - BLDG DB DARK GRAY	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH; REVEALS AS SHOWN
1B	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS	8656-12046 - BLDG DB LIGHT GRAY	3-COAT SYSTEM W/ ACRYLIC MEDIUM SAND FINISH; REVEALS AS SHOWN
<b>ZONE 2 (TOWER) (Z2)</b>				
2	FIBER CEMENT SIDING	NICHIHA	ILLUMINATION, AWP 3030 W/ OPEN OUTSIDE CORNERS	GC TO ORDER PANELS UNPAINTED; OPEN OUTSIDE CORNERS AND PANELS TO BE PAINTED BY GC DB BLUE
<b>ZONE 3 (3'-2" BASE)</b>				
3	STONE VENEER	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	
	STONE VENEER SILL	ELDORADO STONE	SNAPPED EDGE WAINSCOT SILL; PEWTER	
<b>ZONE 4 (FRAMED CANOPY)</b>				
4	FASCIA	WESTERN STATES METAL ROOFING	T-GROOVE, 10"	3 SIDES; COLOR: BLDG DB DARK GRAY
5	SOFFIT	HEWEN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1X6, T&G, 1/2" REVEAL
6	COLUMNS	ELDORADO STONE	CLIFFSTONE, BANFF SPRINGS	

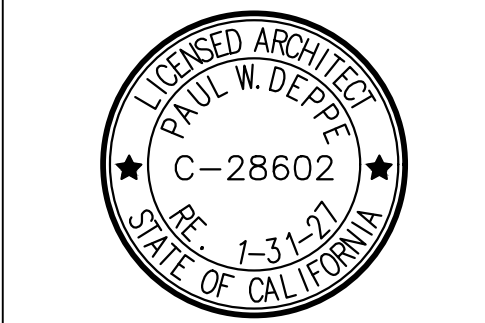
NOTE: EXTERIOR DOORS TO BE PAINTED PER A6.1



**ad**  
**ARMET DAVIS NEWLOVE & ASSOCIATES, AIA ARCHITECTS**

1330 OLYMPIC BLVD.  
 SANTA MONICA, CALIFORNIA 90404  
 PH 310 452-5533 FAX 310 450-4742

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**Project No: CA5902**  
 Dutch Bros Coffee - New Freestanding Store  
 2450 - A1 PROTOTYPE  
 SEC PERRIS BLVD. & AVOCADO AVE.  
 PERRIS, CA 92571

DATE: 05/01/2025  
 REV: DATE: DESCRIPTION:

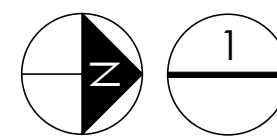
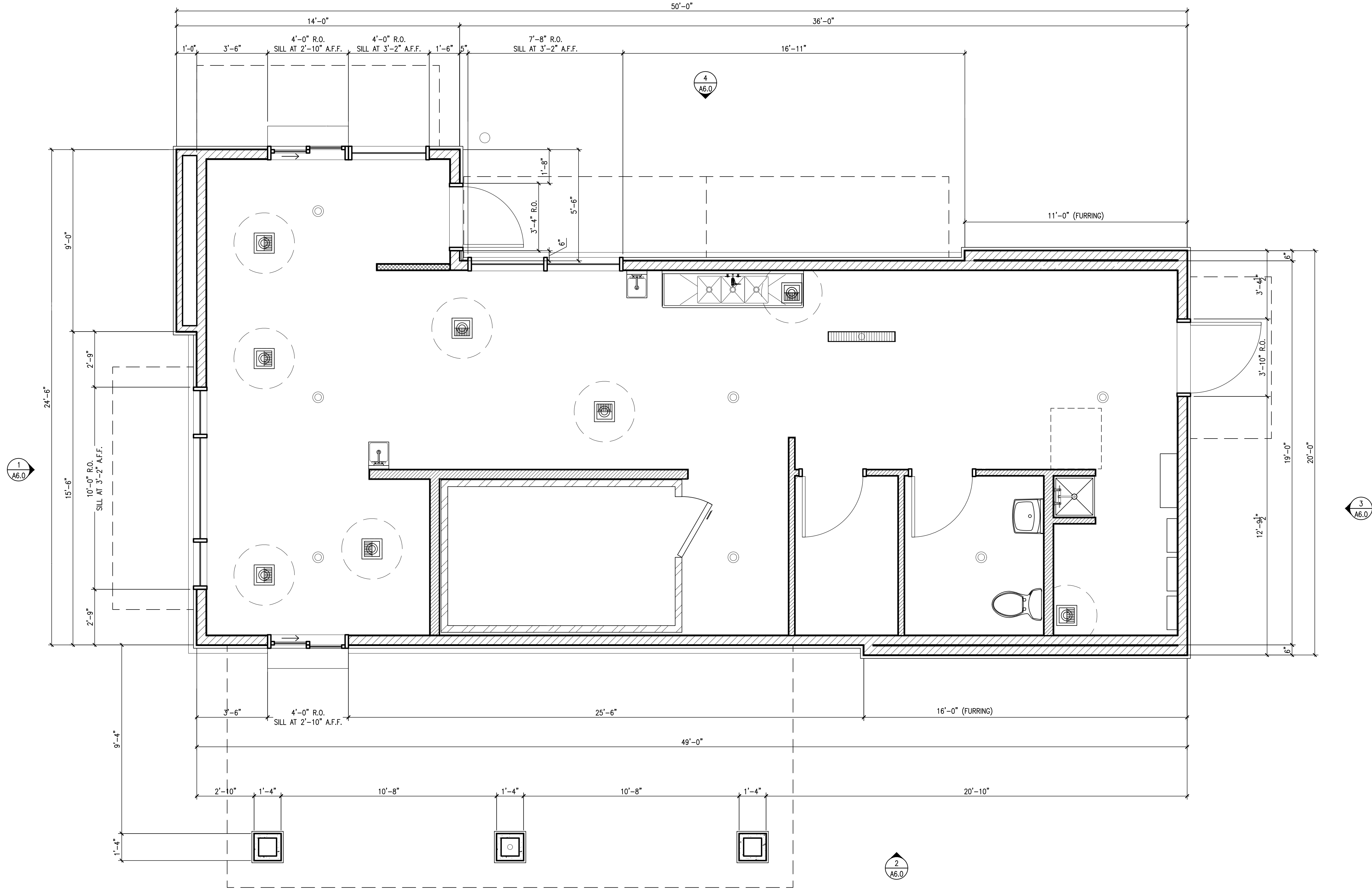
SHEET NAME:

BUILDING ELEVATIONS

SHEET NUMBER:

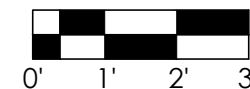
**A6.0**

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1 FLOOR PLAN

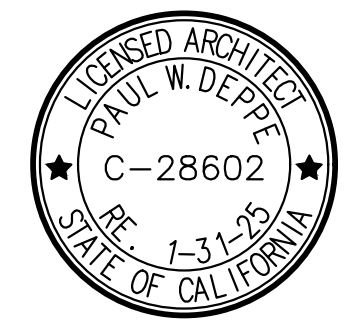
SCALE: 3/8" = 1'-0"



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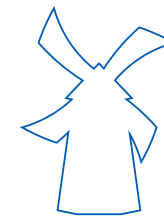


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Dutch Bros Coffee - New Freestanding Store  
2450 - A1 PROTOTYPE  
SEC PERRIS BLVD. & AVOCADO AVE.  
PERRIS, CA 92571

REV: DATE:	DESCRIPTION:

SHEET NAME:  
FLOOR PLAN/  
DETAILS/ SCHEDULES

SHEET NUMBER:  
**A2.0**



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01-25-0009  
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PAGE NO.:

3 OF 12

CLIENT:

DUTCH BROS

ADDRESS

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Perris, CA 92571

Approval Signature

DATE:

01/27/2025

PROJECT MANAGER

Joanne P.

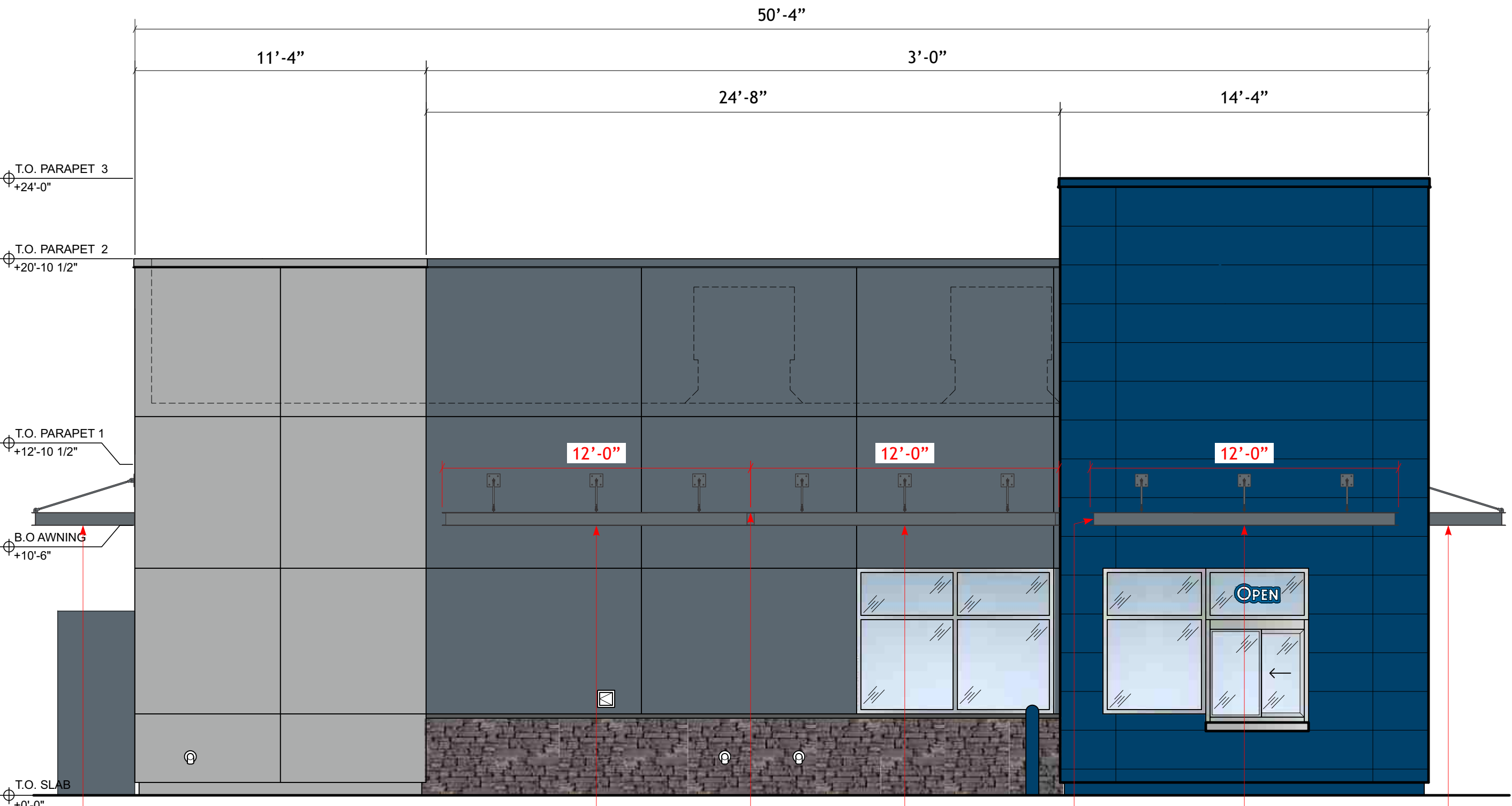
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Trong T.

REVISION DATE:

REVISION BY:

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DB/96CNPY: AWNING

DB/144CNPY: AWNING

AWNING SEAM CAP

DB/144CNPY: AWNING

CANOPY CLEARANCE SIGN

DB/144CNPY: AWNING

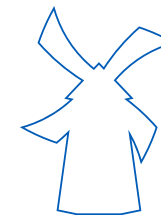
DB/144CNPY: AWNING

CONSTRUCTION MGR.

DIRECTOR

WEST ELEVATION

Scale: 1/4"=1'-0"



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4 OF 12

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Approval Signature

DATE:

01/27/2025

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Joanne P.

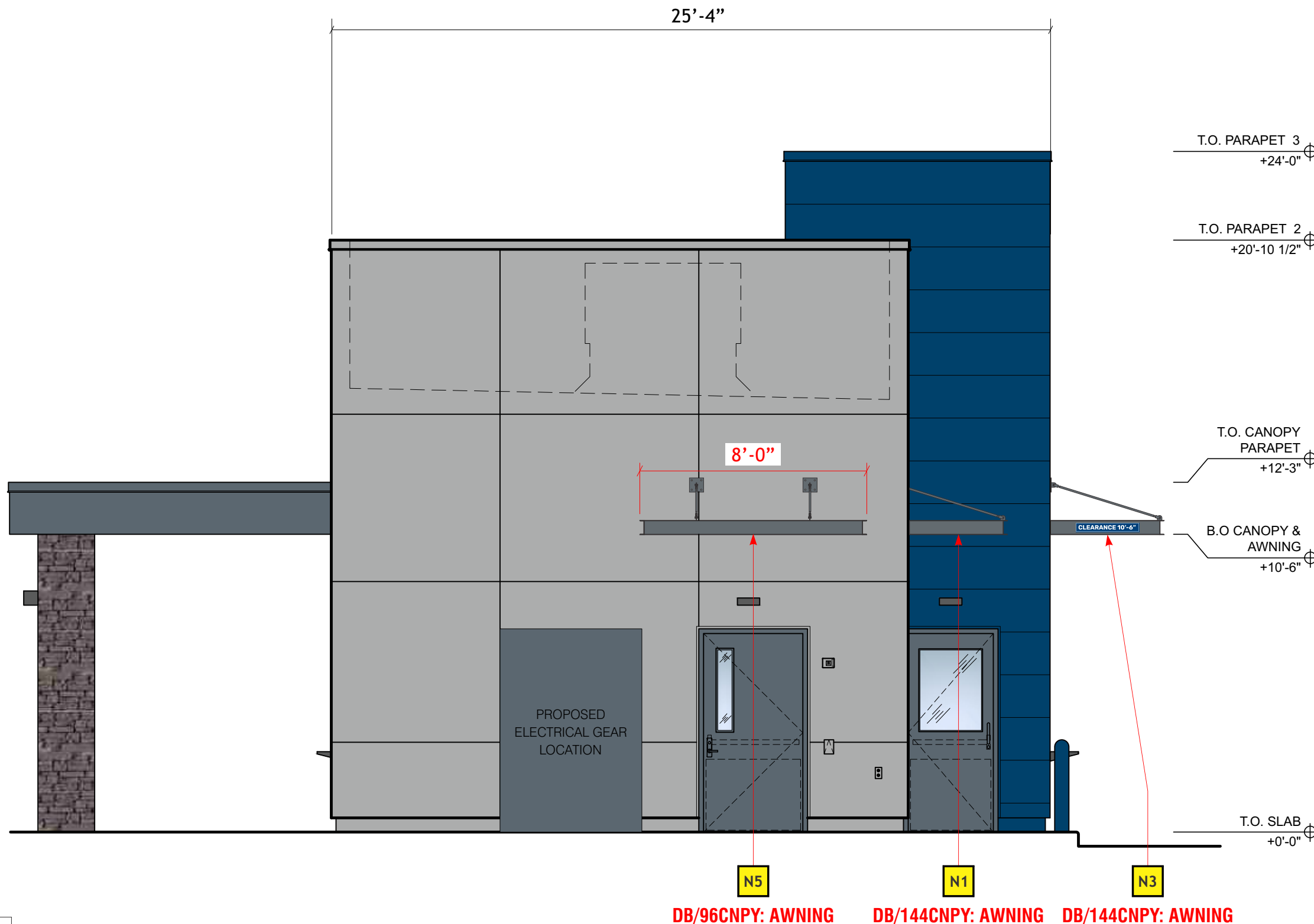
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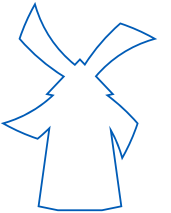


CONSTRUCTION MGR.

DIRECTOR

NORTH ELEVATION

Scale: 1/4"=1'-0"



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DATE:

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PROJECT MANAGER

Joanne P.

DESIGNER:

Trong T.

REVISION DATE:

REVISION BY:

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50'-4"

12"

33'-0"

16'-4"

T.O. PARAPET 3  
+24'-0"

T.O. PARAPET 2  
+20'-10 1/2"

T.O. PARAPET 1  
+12'-10 1/2"

B.O. AWNING  
+10'-6"

T.O. SLAB  
+0'-0"

N4

N5

DB/144CNPY: AWNING

DB/96CNPY: AWNING

CONSTRUCTION MGR.

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EAST ELEVATION

Scale: 1/4"=1'-0"



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Approval Signature

DATE:

01/27/2025

PROJECT MANAGER

Joanne P.

DESIGNER:

Trong T.

REVISION DATE:

REVISION BY:

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CONSTRUCTION MGR.

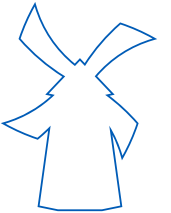
DIRECTOR

**SOUTH ELEVATION**

Scale: 1/4"=1'-0"

**SCOPE OF WORK: MANUFACTURE & INSTALL (2) METAL AWNING**

12226 Coast Drive  
Whittier, CA 90601  
Tel: (562) 946-7545  
Fax: (562) 949-5707  
St. Lic.: 894662  
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Los Angeles, CA



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**01/27/2025**

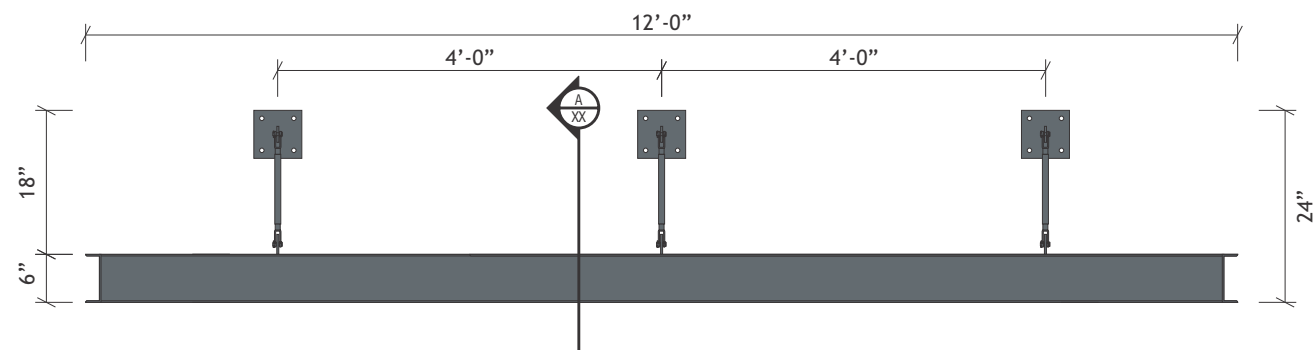
PROJECT MANAGER:  
**Joanne P.**

DESIGNER:  
**Trong T.**

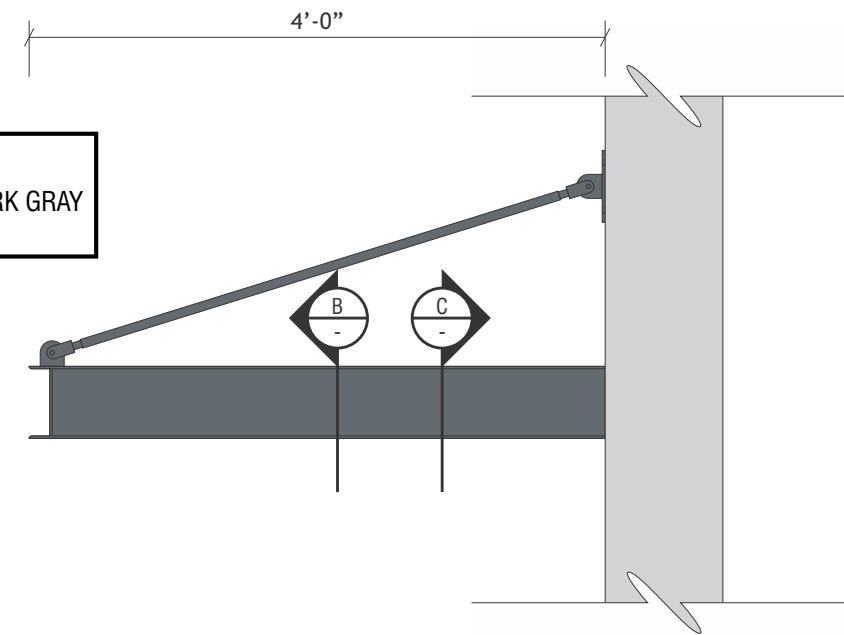
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**COLOR CODE**  
SHERWIN WILLIAMS  
8656-11295 BLDG DB DARK GRAY  
PMS 431 C



**SIDE VIEW**

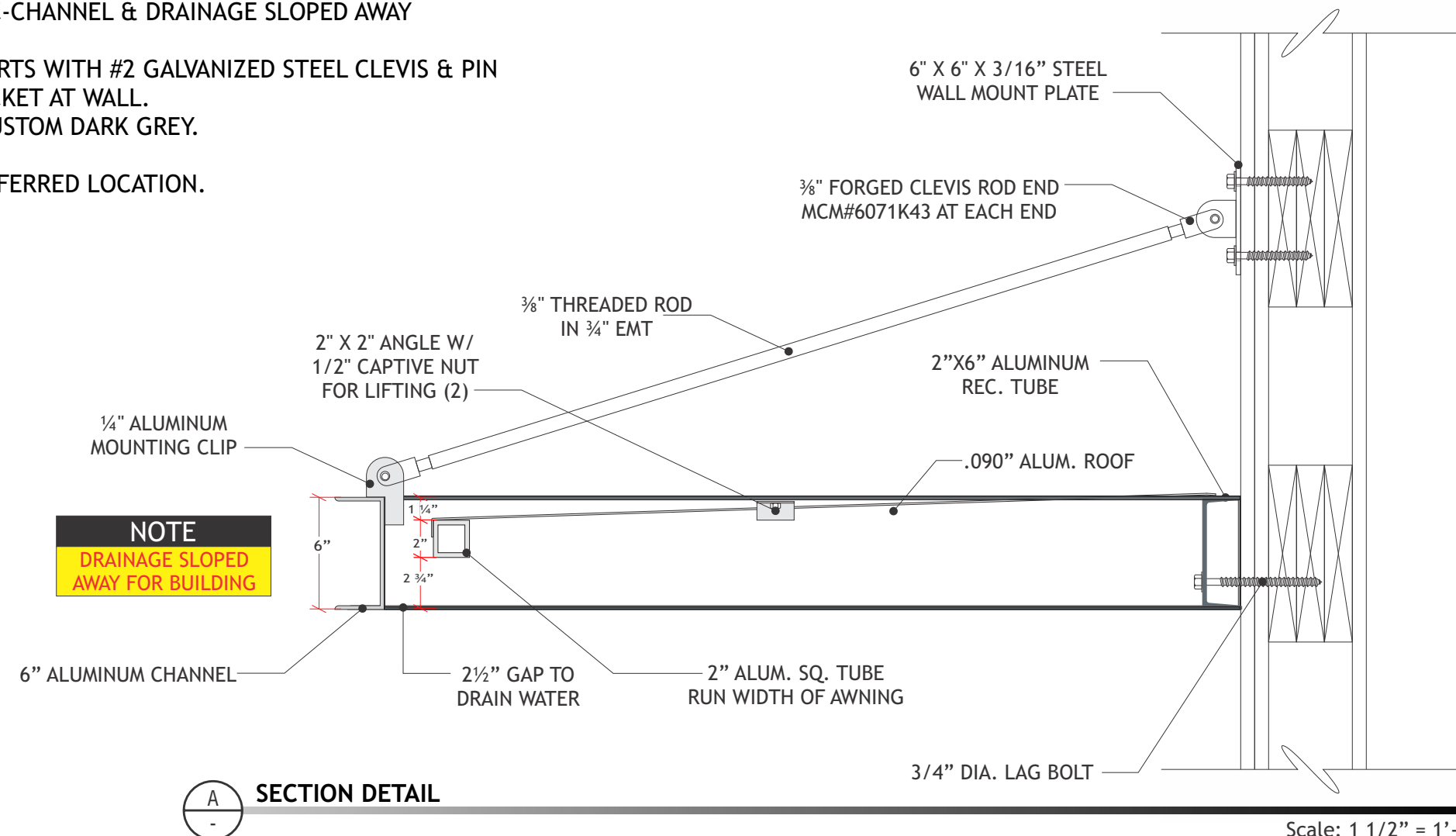
Scale: 3/4" = 1'-0"

**N1 N2 N3 N4**

**AWNING**

Scale: 1/2" = 1'-0"

6" ALUMINUM C-CHANNEL FRONT & SIDES, WITH FLANGE POINTING OUT. (C6 x 2.83)  
.090 ALUMINUM SHEET ROOFING MOUNTED INSIDE C-CHANNEL & DRAINAGE SLOPED AWAY FROM BUILDING.  
TURNBUCKLES, 5/8" GALVANIZED STEEL ROD SUPPORTS WITH #2 GALVANIZED STEEL CLEVIS & PIN ATTACHED TO 6" X 6" X 3/8" ALUMINUM PLATE/BACKET AT WALL.  
PAINT ENTIRE CANOPY, BRACKETS, SUPPORTS DB CUSTOM DARK GREY.  
INSTALLATION BY G.C.  
FUSION WILL ORGANIZE SHIPPING TO THE GC'S PREFERRED LOCATION.



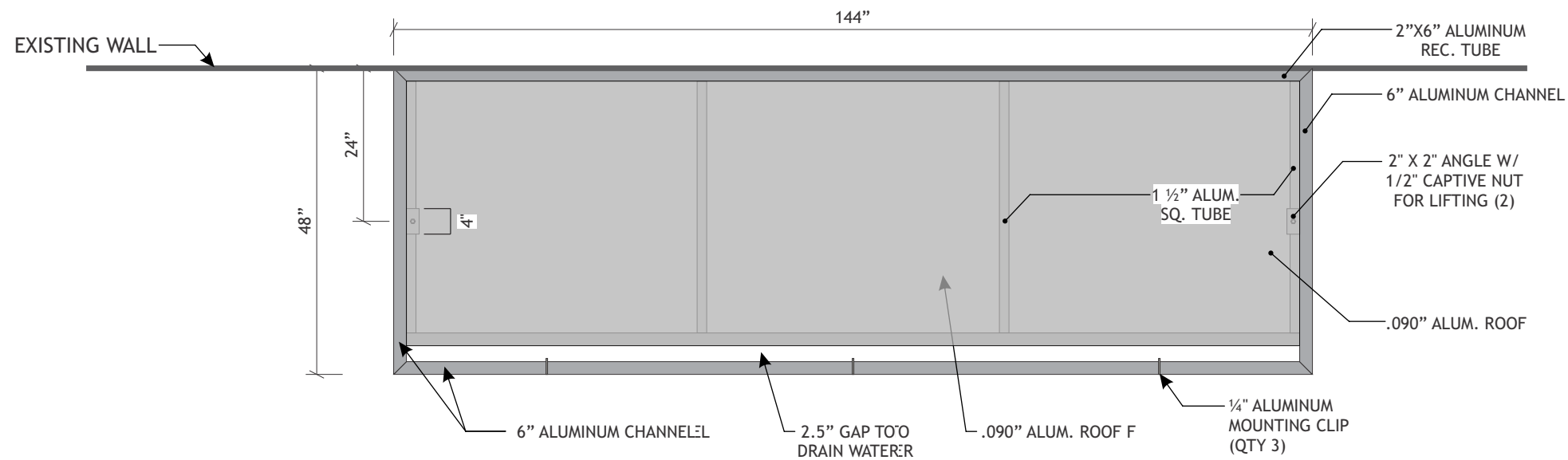
**NOTE**  
DRAINAGE SLOPED AWAY FOR BUILDING

**SECTION DETAIL**

Scale: 1 1/2" = 1'-0"

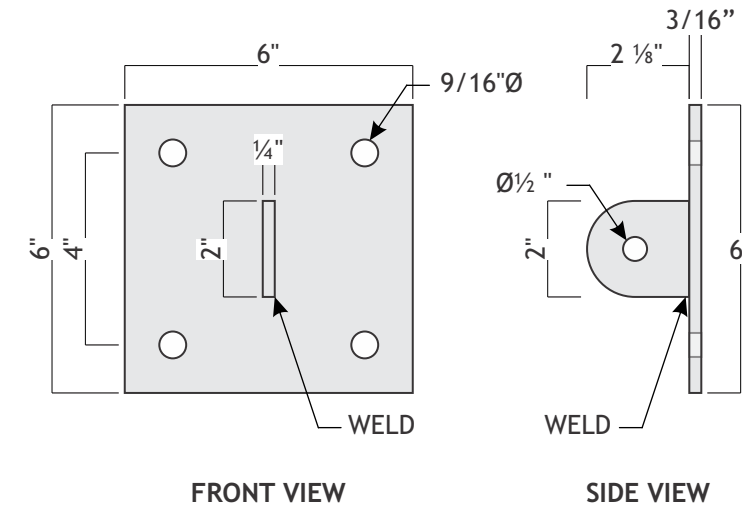
CONSTRUCTION MGR.

DIRECTOR



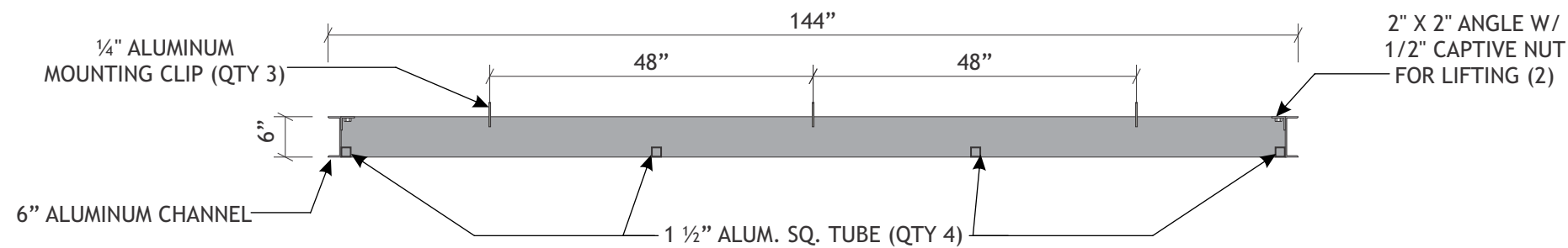
**1 AWNING DETAIL**  
TOP VIEW OF FRAME (.090" ALUM. ROOF REMOVED FOR CLARITY)

SCALE: 1/2" = 1'-0"



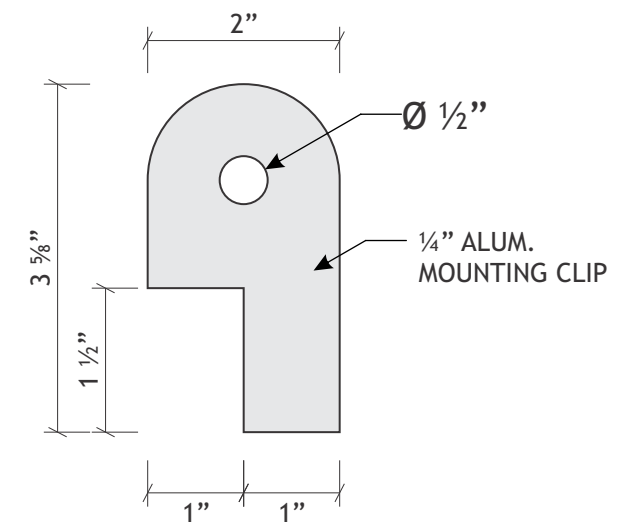
**2 3/16" STEEL SAG ROD MOUNTING PLATE**  
QTY (3) REQ'D

SCALE: 3" = 1'-0"



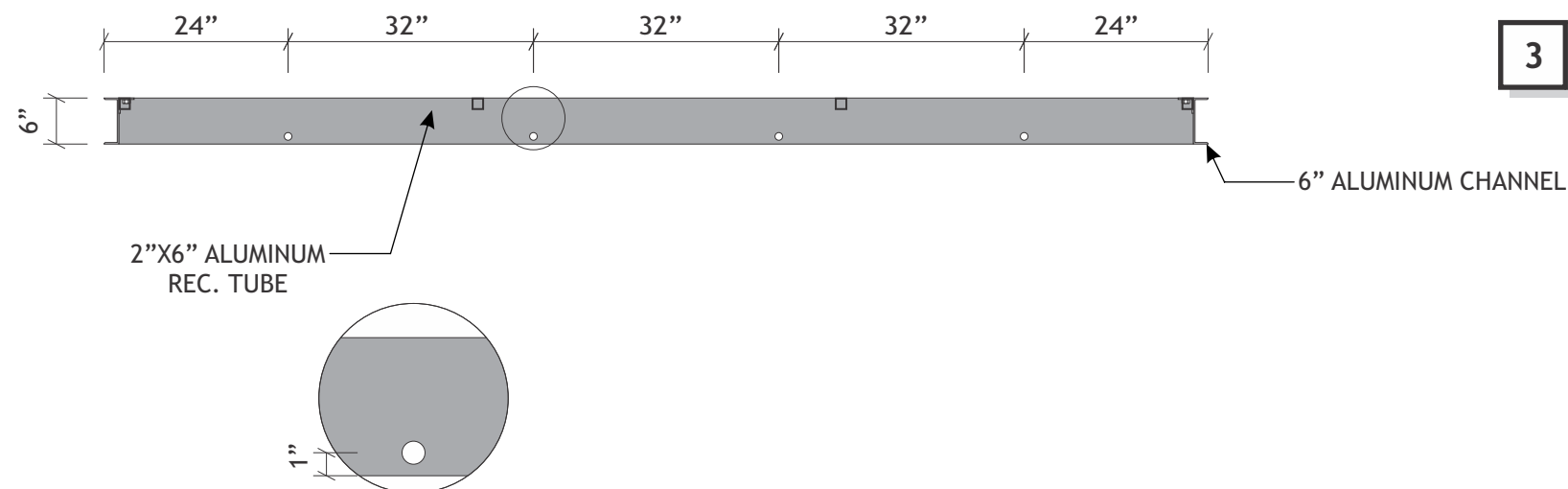
**B SECTION DETAIL**  
SECTION VIEW OF FRAME

SCALE: 1/2" = 1'-0"



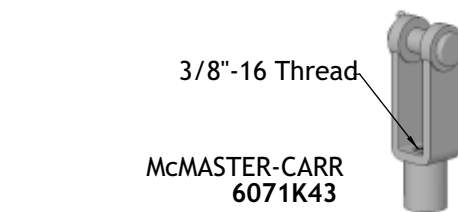
**3 1/4" ALUMINUM MOUNTING CLIP**  
QTY (3) REQ'D

SCALE: 6' = 1'-0"



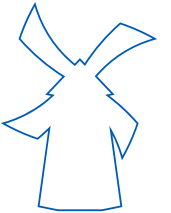
**C SECTION DETAIL**  
REAR VIEW OF FRAME

SCALE: 1/2" = 1'-0"



**4 STEEL FORGED CLEVIS**  
QTY (6) REQ'D

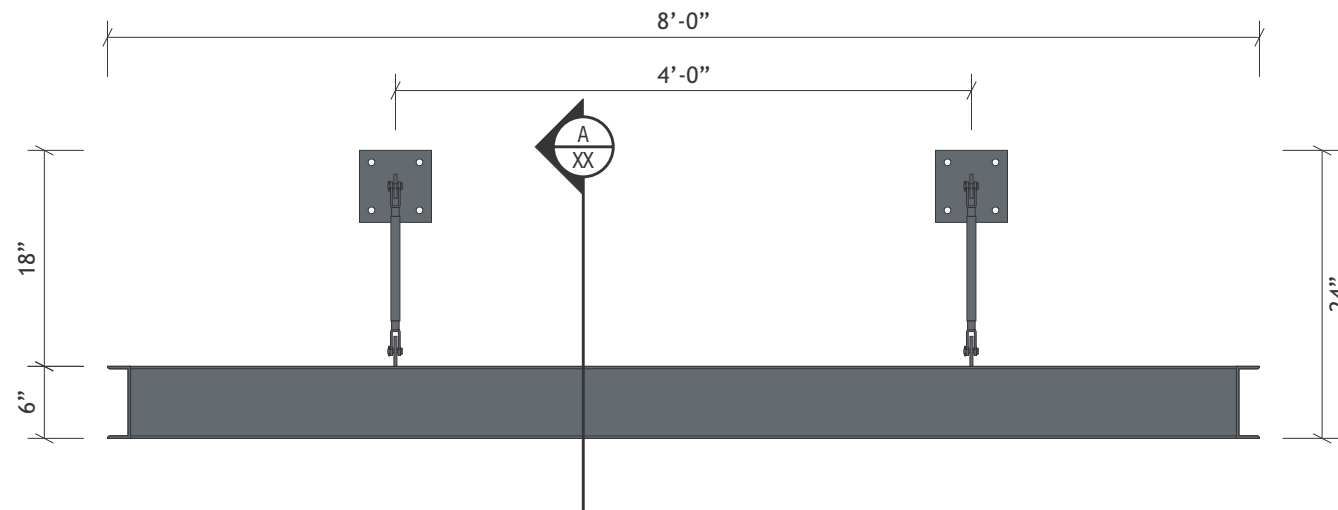
SCALE: NTS



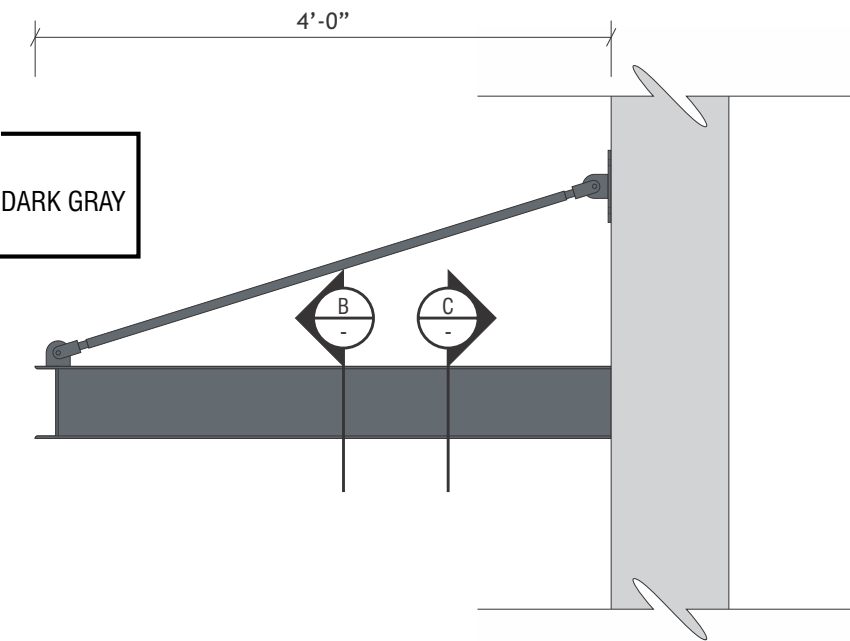
CONSTRUCTION MGR.

DIRECTOR

**SCOPE OF WORK: MANUFACTURE & INSTALL (1) METAL AWNING**



**COLOR CODE**  
 SHERWIN WILLIAMS  
 8656-11295 BLDG DB DARK GRAY  
 PMS 431 C



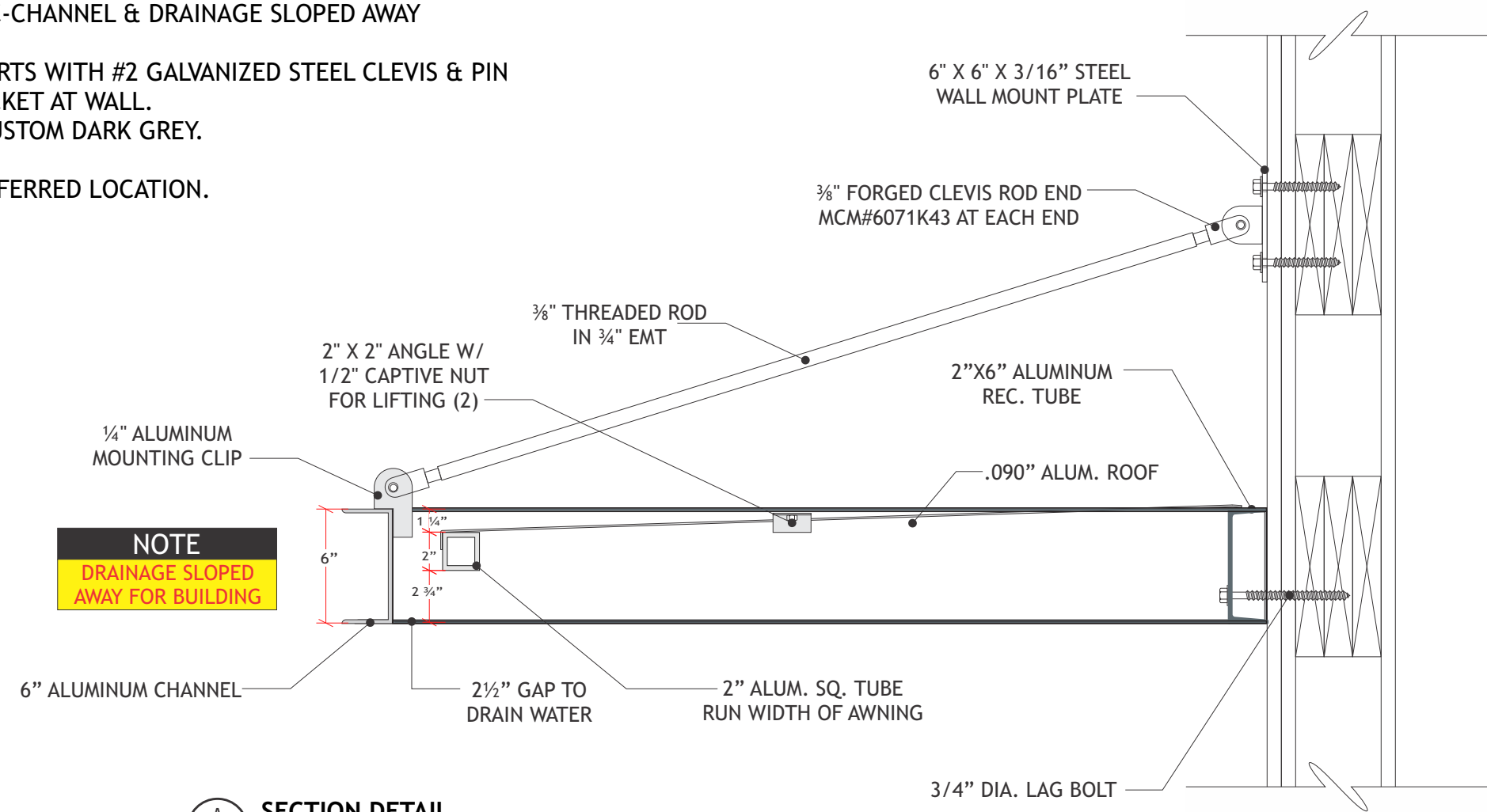
**N5** AWNING

Scale: 3/4" = 1'-0"

**SIDE VIEW**

Scale: 3/4" = 1'-0"

6" ALUMINUM C-CHANNEL FRONT & SIDES, WITH FLANGE POINTING OUT. (C6 x 2.83)  
 .090 ALUMINUM SHEET ROOFING MOUNTED INSIDE C-CHANNEL & DRAINAGE SLOPED AWAY FROM BUILDING.  
 TURNBUCKLES, 5/8" GALVANIZED STEEL ROD SUPPORTS WITH #2 GALVANIZED STEEL CLEVIS & PIN ATTACHED TO 6" X 6" X 3/8" ALUMINUM PLATE/BACKET AT WALL.  
 PAINT ENTIRE CANOPY, BRACKETS, SUPPORTS DB CUSTOM DARK GREY.  
 INSTALLATION BY G.C.  
 FUSION WILL ORGANIZE SHIPPING TO THE GC'S PREFERRED LOCATION.



**NOTE**  
 DRAINAGE SLOPED AWAY FOR BUILDING

**SECTION DETAIL**

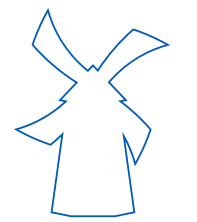
Scale: 1 1/2" = 1'-0"

CONSTRUCTION MGR.

DIRECTOR



12226 Coast Drive  
 Whittier, CA 90601  
 Tel: (562) 946-7545  
 Fax: (562) 949-5707  
 St. Lic.: 894662  
 www.fusionsign.com  
 Los Angeles, CA



DRAWING/REVISION NO.:  
 01-25-0009  
 AWNINGS

PAGE NO.:  
 9 OF 12

CLIENT:  
**DUTCH BROS**  
 ADDRESS:  
 SEC Perris Blvd & Avocado Ave  
 Perris, CA 92571

Approval Signature

DATE:  
 01/27/2025

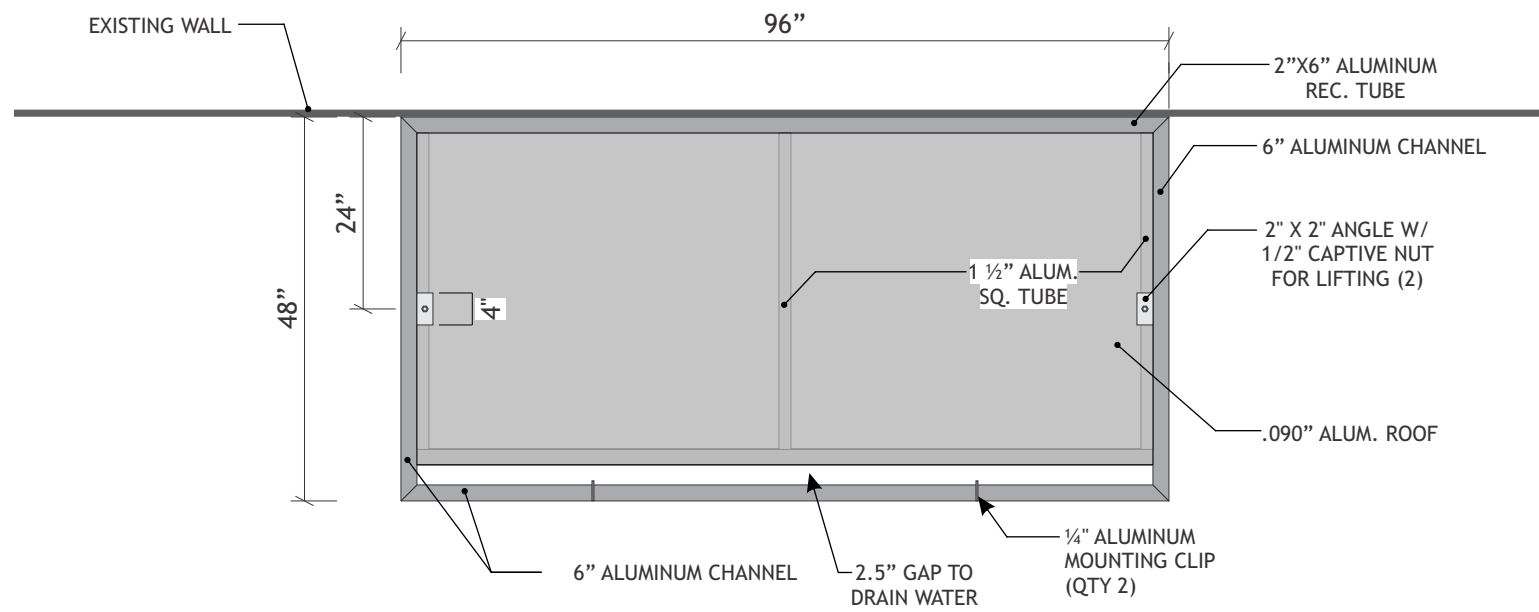
PROJECT MANAGER  
 Joanne P.

DESIGNER:  
 Trong T.

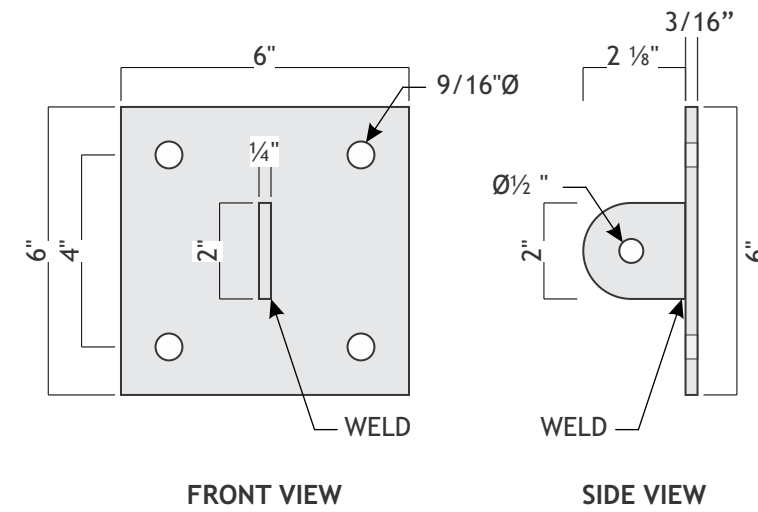
REVISION DATE:

REVISION BY:

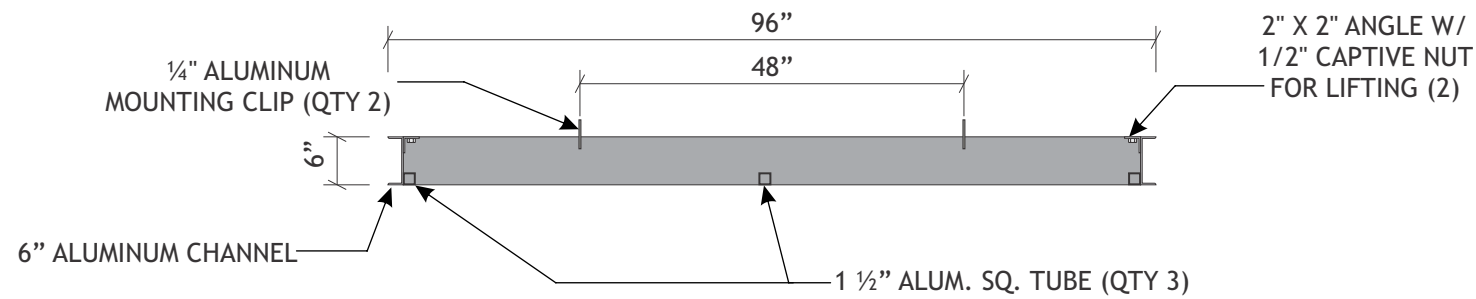
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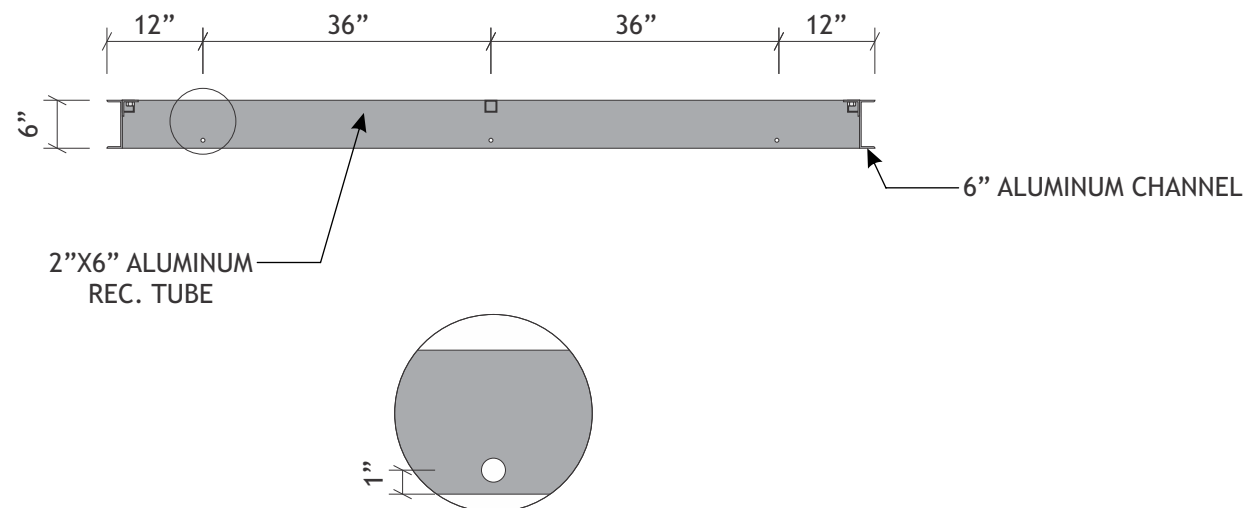
**1 CANOPY DETAIL**  
 TOP VIEW OF FRAME (.090" ALUM. ROOF REMOVED FOR CLARITY) SCALE: 1/2" = 1'-0"



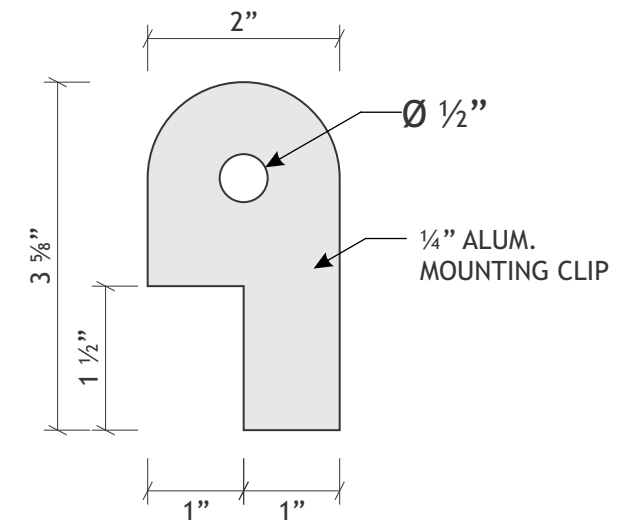
**2 3/16" STEEL SAG ROD MOUNTING PLATE**  
 QTY (3) REQ'D SCALE: 3" = 1'-0"



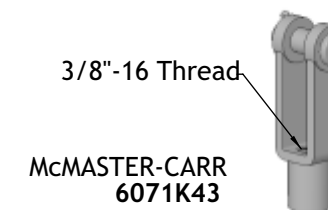
**B SECTION DETAIL**  
 SECTION VIEW OF FRAME SCALE: 1/2" = 1'-0"



**C SECTION DETAIL**  
 REAR VIEW OF FRAME SCALE: 1/2" = 1'-0"

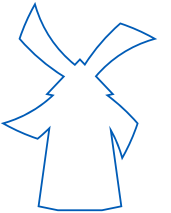


**3 1/4" ALUMINUM MOUNTING CLIP**  
 QTY (2) REQ'D SCALE: 6' = 1'-0"



**4 STEEL FORGED CLEVIS**  
 QTY (6) REQ'D SCALE: NTS

CONSTRUCTION MGR.  
 DIRECTOR



AWNING-MOUNTED CLEARANCE SIGN



**N6**

**AWNING-MOUNTED CLEARANCE SIGN**

Scale: 3 = 1'-0"

COLOR CODE

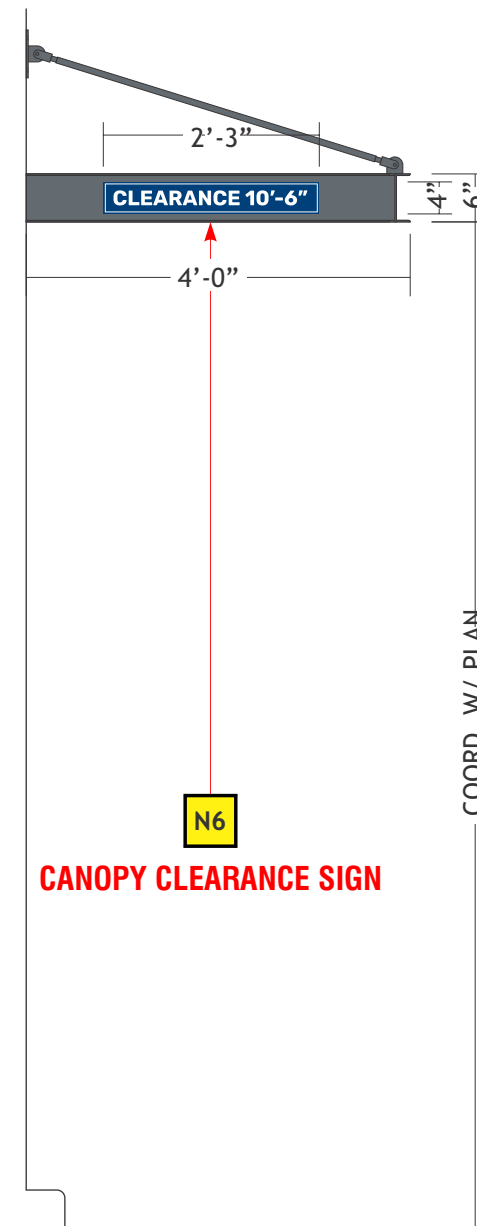
- REFLECTIVE WHITE PSV
- DB CUSTOM DARK BLUE

3MM ACM SIGN PANEL PAINTED DB CUSTOM DARK BLUE.  
 WHITE REFLECTIVE VINYL COPY & BORDER (NUMBERS SHIPPED LOOSE & FIELD APPLIED).  
 MOUNT DIRECTLY TO ALUMINUM AWNING DRIVE-THRU ENTRANCE SIDE TO BE AFFIXED  
 WITH EXTERIOR GRADE 3M VHB TAPE &/OR MECHANICAL SCREWS AS NEEDED.

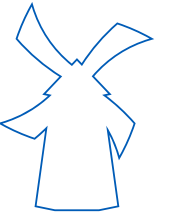
CONSTRUCTION MGR.

DIRECTOR

ELEVATION  
 SCALE: 1/2"=1'-0"



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CLIENT:

DUTCH BROS

ADDRESS

SEC Perris Blvd & Avocado Ave  
 Perris, CA 92571

Approval Signature

DATE:

01/27/2025

PROJECT MANAGER

Joanne P.

DESIGNER:

Trong T.

REVISION DATE:

REVISION BY:

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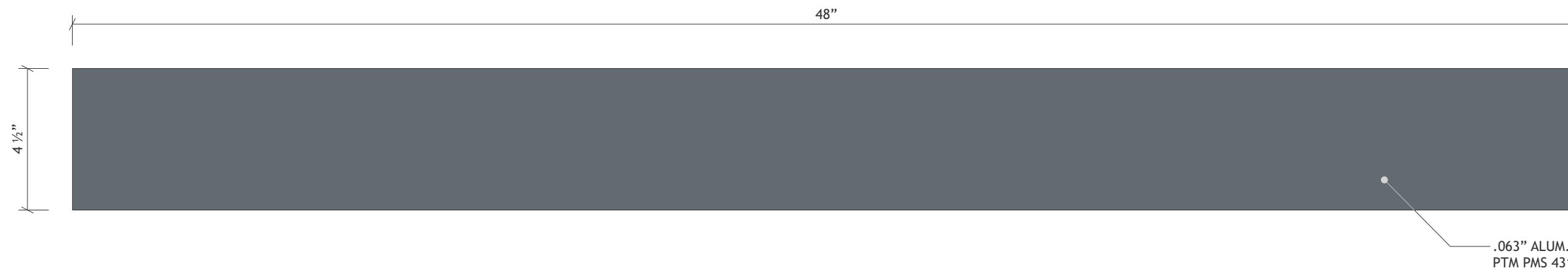
DESIGNER:

Trong T.

REVISION DATE:

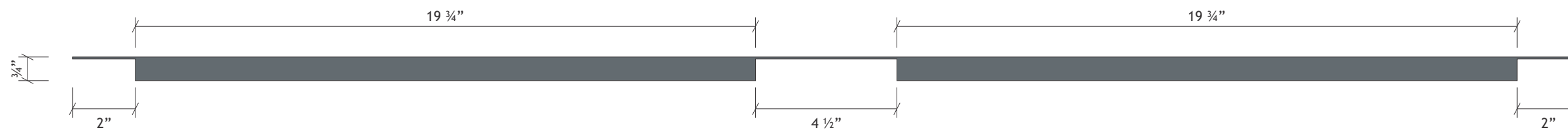
REVISION BY:

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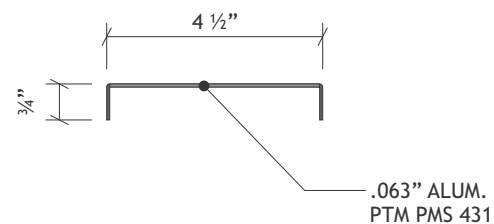
**AWNING SEAM CAP (TOP VIEW)**

Scale: 3" = 1'-0"



**AWNING SEAM CAP (SIDE VIEW)**

Scale: 3" = 1'-0"

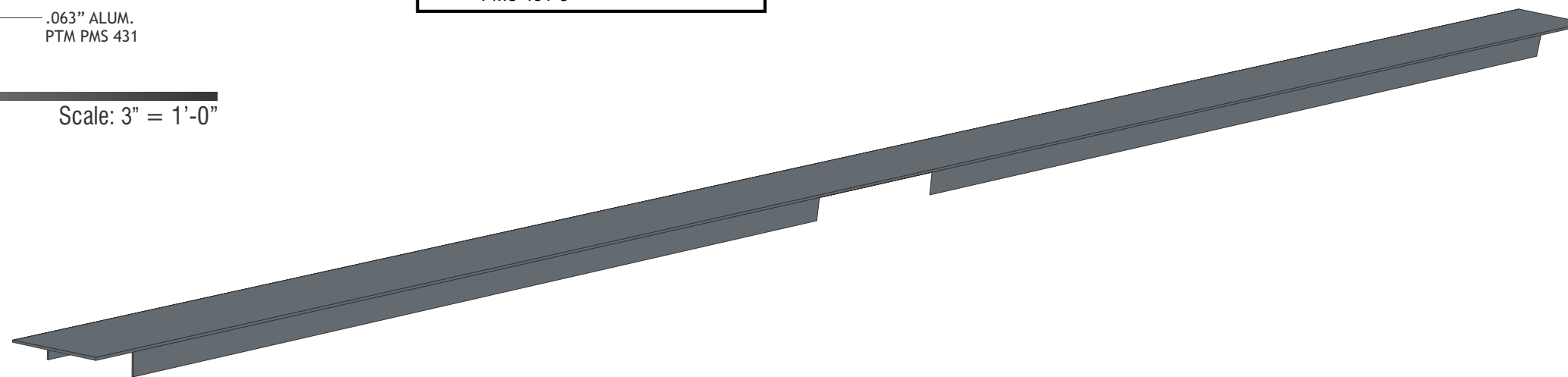


**AWNING SEAM CAP (END VIEW)**

Scale: 3" = 1'-0"

**COLOR CODE**

■ SHERWIN WILLIAMS  
8656-11295 BLDG DB DARK GRAY  
PMS 431 C



**N7 AWNING SEAM CAP (ISOMETRIC VIEW)**



CONSTRUCTION MGR.

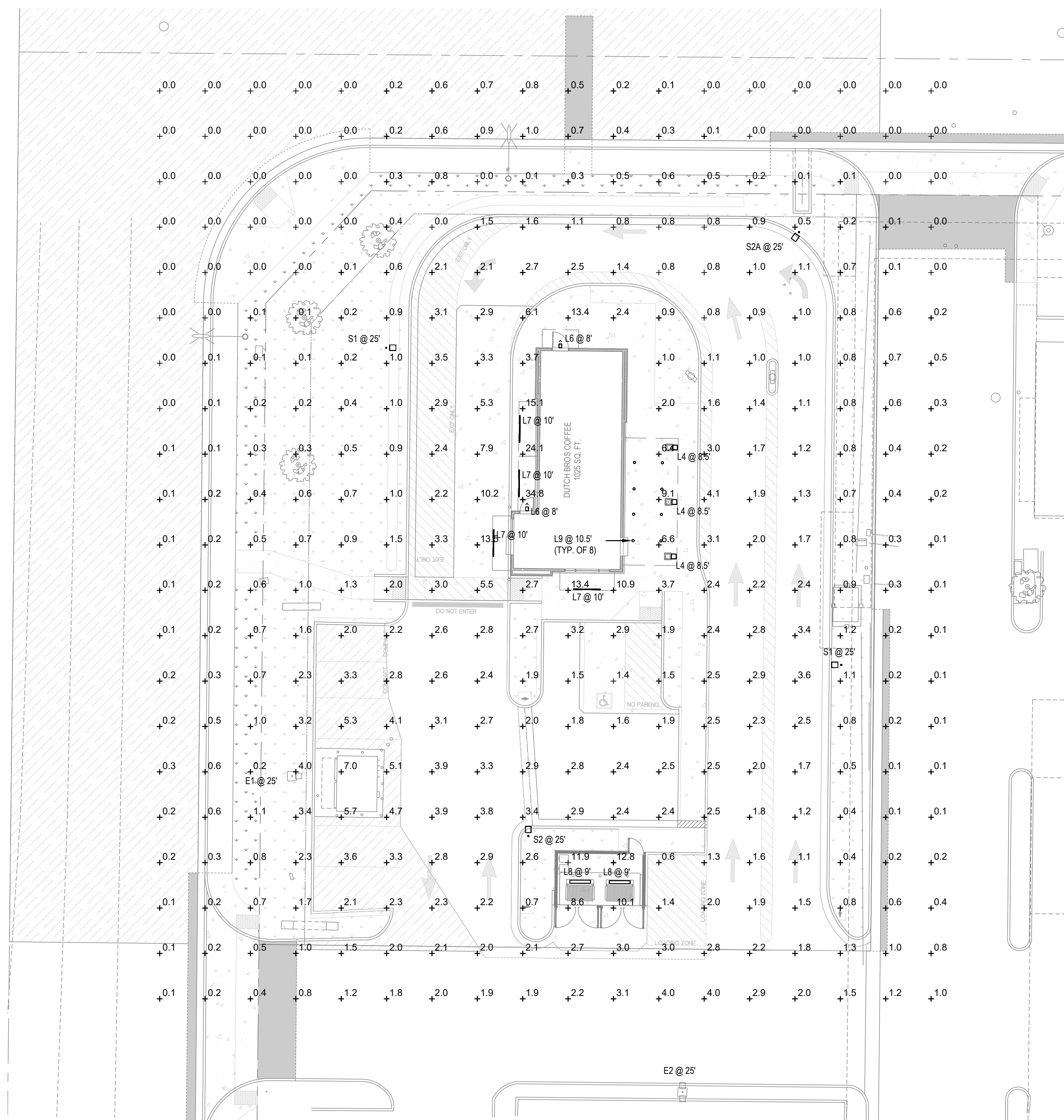


DIRECTOR

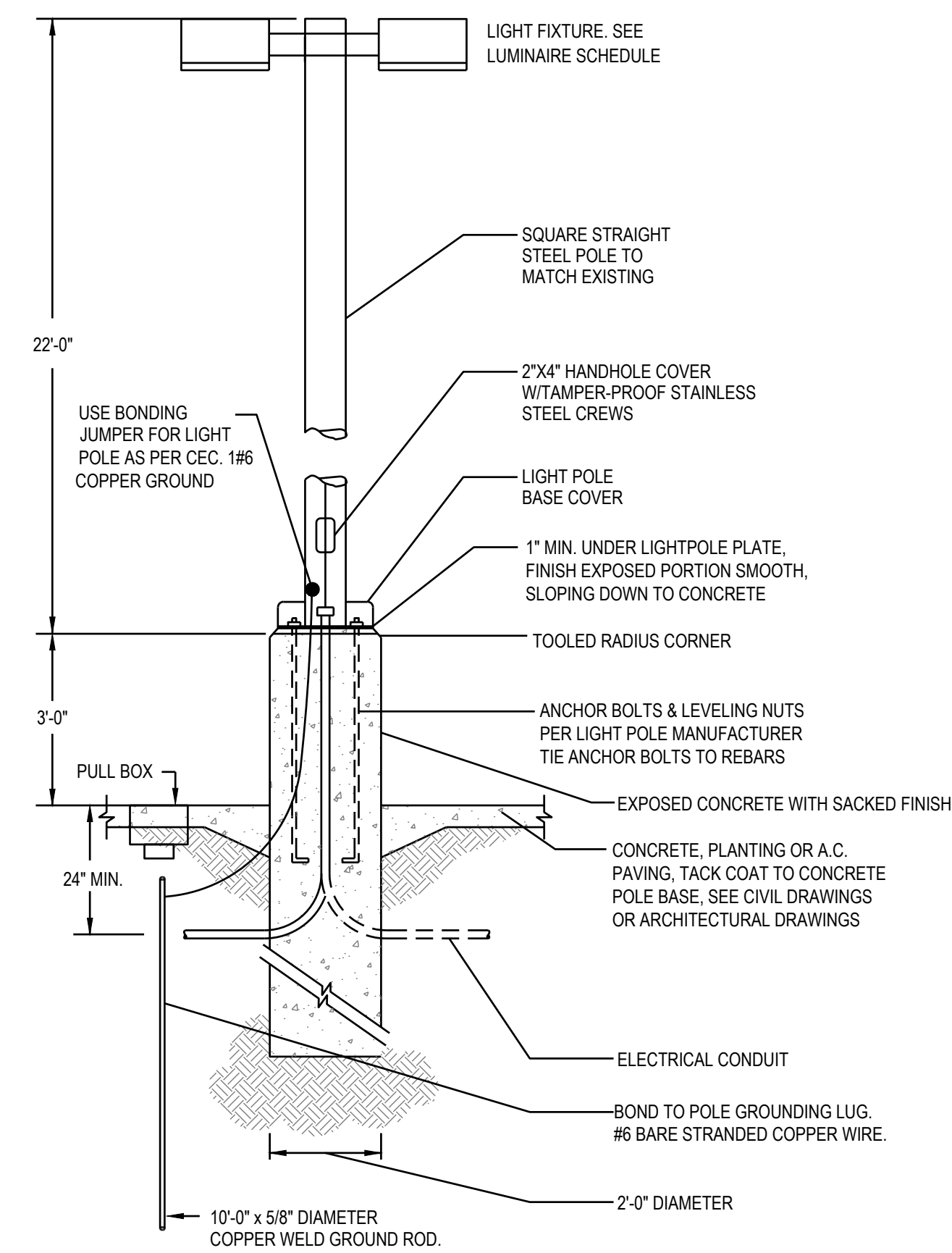
NTS



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**1 ELECTRICAL PHOTOMETRIC PLAN**  
SCALE: 1/16" = 1'-0"  
NORTH



**POLE BASE DETAIL**  
SCALE: N.T.S.

**NOTE:**  
REFER TO STRUCTURAL DETAIL FOR FOOTING INFORMATION AND ARCHITECTURAL DETAIL FOR ADDITIONAL REQUIREMENTS.

STATISTICS						
DESCRIPTION	SYMBOL	AVE	MAX	MIN	MAXMIN	AVE/MIN
DRIVE THRU	✕	2.5fc	13.5fc	0.8fc	16.5:1	3.1:1
GENERAL HARDSCAPE	+	1.8fc	34.8fc	0.0fc	N/A	N/A
PARKING & DRIVEWAY	✕	2.7fc	5.3fc	1.4fc	3.8:1	1.9:1
TRASH ENCLOSURE	✕	12.8fc	12.8fc	11.9fc	1.1:1	1.0:1

SCHEDULE									
SYMBOL	LABEL	QUANTITY	MANUFACTURER	CATALOG NUMBER UNDER CANOPY OR BUG RATING	DESCRIPTION	NUMBER OF LAMPS	LUMENS PER LAMP	LIGHT LOSS FACTOR	WATTAGE
⬆	L4	3	LIGMAN LIGHTING	MT-31426-N-W40 (UNDER CANOPY)	MATRIX 4 SQUARE WALL DOWN LIGHT LED	1	1100	0.92	14.3
⬆	L6	2	RAB LIGHTING INC.	WPLED26Y-WPLED26Y/D10 (WALLPACK) - ALED26Y-ALED26Y/D10 (AREA LIGHTER) (UNDER CANOPY)	CAST FINNED METAL HOUSING, MOLDED PLASTIC REFLECTOR WITH SEMI-SPECULAR FINISH B1-U0-G1	1	3295	0.92	29.7
—	L7	4	SELF	CROWN-L144-120V 940_BA110 (UNDER CANOPY)	AWNING LIGHTING	1	3886	0.92	60.0
—	L8	2	LITHONIA LIGHTING	VAP-4000LM-FST-MD-40K-80CRI (UNDER CANOPY)	VAP LED WITH BLT GEN 2 BOARD	1	3887	0.92	32.9
○	L9	8	DMF LIGHTING	DRDS-4R-07930 (UNDER CANOPY)	DRDS-4R-07930	1	757	0.92	8.37
□	S1	2	NLS LIGHTING	NV-1-T3-32L-1-40K-HSS (BUG RATING: B1 - U0 - G2)	OUTDOOR LED AREA LIGHT	1	7585	0.92	106
□	S2	1	NLS LIGHTING	NV-1-T4-32L-1-40K-UNV (BUG RATING: B2 - U0 - G2)	OUTDOOR LED AREA LIGHT	1	12821	0.92	106
□	S2A	1	NLS LIGHTING	NV-1-T4-16L-1-40K-HSS (BUG RATING: B0 - U0 - G1)	OUTDOOR LED AREA LIGHT	1	3811	0.92	56
□	E1	1	EXISTING	EXISTING SINGLE HEAD SHOE BOX POLE MOUNTED FIXTURE		1			
□	E2	1	EXISTING	EXISTING DOUBLE HEAD SHOE BOX POLE MOUNTED FIXTURE		2			



**ARMET DAVIS NEWLOVE & ASSOCIATES, AIA ARCHITECTS**

1330 OLYMPIC BLVD.  
SANTA MONICA, CALIFORNIA 90404  
PH 310 452-5533 FAX 310 450-4742

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**ACIES ENGINEERING**  
400 N. McCarthy Blvd., Suite 250  
Milpitas, CA, 95035  
ph: (408) 522-5255 | fx: (408) 522-5260  
info@acies.net | Copyright © 2025



**Project No: CA5902**  
Dutch Bros Coffee - New Freestanding Store  
2450 - A1 PROTOTYPE  
SEC PERRIS BLVD. & AVOCADO AVE.  
PERRIS, CA 92571

DATE: 05/01/2025  
REV: DATE: DESCRIPTION:


SHEET NUMBER:

PHOTOMETRIC SITE PLAN

SHEET NUMBER:  
**E0.02**



### UMT-31426 Matrix 4 Surface



**Construction**  
**Abstract:** 1/8" copper concrete - Marine Grade 304L stainless steel & LME Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.  
**Details:** 8 step degrease and phosphate process that includes acidulating and etching as well as a zinc and nickel phosphate process before powder painting.  
**Memory Retentive Silicon Coated:** Provides great exterior finish for porous long life high temperature memory retentive silicon pastels. Maintains the particle's exact profile and seal over years of use and compression.  
**Thermal Management:** LME Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The unique thermal heat sink design by Ligman used in conjunction with the driver controls thermal below critical temperature range to ensure maximum lumens. Plus output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.  
**Surge Suppression:** Standard surge suppressor provided with all fixtures.  
**UV Rating:** 81 - UL1-60  
**Finish:** All Ligman products go through an extensive finishing process that includes finishing to improve paint adherence.  
**UV Substrate:** 4MM thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in saltwater.  
**Inspired by Nature Finishes:** The Inspired by Nature Finishing is a unique system of decorative powder coating. Our metal decoration process can easily transform the appearance of aluminum product into a wood grain finish.  
This patented technology enables the simulation of wood grain, and even marbled or granite finishes through the use of decorative powder coating.  
The wood grain finish is so realistic that it's almost undistinguishable from real wood, even from a close visual inspection. The system of coating permeates the entire thickness of the coat and as a result, the coating cannot be removed by normal rubbing, chipping or scratching.  
**The Coating Process:** After pre-treatment the prepared parts are powder coated with a specially formulated polyurethane powder. This powder provides protection against wear, abrasion, impact and corrosion and acts as the primer base color for the finished metal decoration.  
The component is then wrapped with a sheet of non-porous film with the selected decoration pattern printed on it using special high temperature ink.  
This printed film transfer is vacuum sealed to the surface for a complete thermo print, and then transferred into a customized oven. The oven transforms the ink into different forms when the paint layer before it becomes solid. Finally, the film is removed, and a solid timber look of aluminum remains.  
Wood grain coating can create beautiful wood-looking products of any size. Wood grains can be made with different colors, designs, etc.  
Our powder coatings are certified for indoor and outdoor applications and are backed by a comprehensive warranty. These coatings rise to the highest conceivable standard of performance excellence and design innovation.  
**Added Benefits:**  
- Resistance to salt and acid rain, accelerated aging  
- Rotting water, lime and condensed water resistant  
- Acidic rain, and sea, Anti-Microbial, Anticorrosion  
- Super durable (UV resistant)  
- 100% free lead  
**Hardware:**  
Pre-finished hardware in Marine grade 316 Stainless steel.  
**Anti Static Screen Holder:**  
Support holes are infused with a special anti static compound designed to prevent static of threaded connectors, due to electrolysis from heat, corrosive atmospheres and moisture.  
**Crystal Clear Low Iron Glass Lens:**  
Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.  
**Optical & LED:**  
Precision optics design provides exceptional light control and precise distribution of light. CCT = 90  
**Lumen Maintenance Life:**  
L80 B10 at 50,000 hours (This means that at least 90% of the LEDs still achieve 90% of their original flux)

### LIGMAN LIGHTING USA

**Square surface wall-mounted architectural lighting range. Family of lighting effects sanctioning imagination and inspiration to reign in designs.**


A small profile wall mounted compact cubic luminaire with up & downward light distributions. The Matrix is designed with five light distribution options, namely narrow, medium, wide, very wide and spike.

The Matrix uses high efficiency, long life LEDs and is designed to illuminate the wall and surfaces in front of the wall, as well as light accents on vertical and horizontal surfaces. The Matrix is suitable for indoor and outdoor applications.

This luminaire is available with decorative spikes and can be used with various combinations of light distribution optics.

This luminaire can be mounted at different angles to produce interesting decorative lighting effects on the side of the building facade.

The standard Matrix is designed to mount over a 3" octagonal j-box, a 4" j-box cover plate is available upon request.



### UMT-31426 Matrix 4 Surface

PROJECT		DATE
QUANTITY	TYPE	NOTE

ORDERING EXAMPLE || UMT - 31426 - 14w - N - W30 - 02 - 120/277v - Options

UMT-31426	14W	N	W30	02	120/277												
<b>LAMP</b>	<b>BEAM</b>	<b>LED COLOR</b>	<b>FINISH COLOR</b>	<b>VOLTAGE</b>													
14w COB 1128 Lumens	N - Narrow 20° M - Medium 25° W - Wide 36° VW - Very Wide 74°	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify													
<p><b>INSPIRED BY NATURE FINISHES</b></p> <table border="0" style="width: 100%;"> <tr> <td>SW01 - OAK FINISH</td> <td>SW02 - WALNUT FINISH</td> <td>SW03 - PINE FINISH</td> <td>DF - DOUGLAS FIR FINISH</td> <td>CV - CHERRY WOOD FINISH</td> <td>NW - NATIONAL WALNUT FINISH</td> </tr> <tr> <td>SW01 - CONCRETE FINISH</td> <td>SW02 - SOFTSCAPE FINISH</td> <td>SW03 - STONE FINISH</td> <td>SW04 - CORTEN FINISH</td> <td colspan="2"> <p>THIS IS AN ADDITIONAL color for other finishes</p> </td> </tr> </table>						SW01 - OAK FINISH	SW02 - WALNUT FINISH	SW03 - PINE FINISH	DF - DOUGLAS FIR FINISH	CV - CHERRY WOOD FINISH	NW - NATIONAL WALNUT FINISH	SW01 - CONCRETE FINISH	SW02 - SOFTSCAPE FINISH	SW03 - STONE FINISH	SW04 - CORTEN FINISH	<p>THIS IS AN ADDITIONAL color for other finishes</p>	
SW01 - OAK FINISH	SW02 - WALNUT FINISH	SW03 - PINE FINISH	DF - DOUGLAS FIR FINISH	CV - CHERRY WOOD FINISH	NW - NATIONAL WALNUT FINISH												
SW01 - CONCRETE FINISH	SW02 - SOFTSCAPE FINISH	SW03 - STONE FINISH	SW04 - CORTEN FINISH	<p>THIS IS AN ADDITIONAL color for other finishes</p>													

**ADDITIONAL OPTIONS**


NAT - Natatorium Rated  
P - Frosted Lens  
DJM - Mounting Rate for 4" Junction Box  
DIM - 0-10v Dimming

**COLORLED DICHOIC FILTERS**


RD - Red Lens  
BL - Blue Lens  
CR - Green Lens  
AM - Amber Lens  
(Specify Other Color)

**More Custom Finishes Available Upon Request**  
Consult factory for pricing and lead times.

Oak	Cherry	Beech	Carbon
Walnut	Chestnut	Bamboo	Galvanized
Pine	Mahogany	Birch	Steel



Example: Inspired by Nature Finish




**L6**

Job: Dutch Brothers Coffee Prototype

Descr: Exterior Wallpack

### WPLED26Y/E



26 Watt LED wallpack with emergency backup battery that will last for 90 minutes during power interruption. Patent Pending thermal management system. 100,000 hour L70 lifespan. 5 Year Warranty.

Color: Bronze      Weight: 14.0 lbs

Project:	Type:
Prepared By:	Date:

Driver Info	LED Info
Type: 120V	Watts: 26W
208V: 0.25A	Color Temp: 3000K
240V: 0.15A	Color Accuracy: 71 CRI
277V: 0.12A	L70 Lifespan: 100000
Input Watts: 29W	Lumens: 3286
Efficiency: 85%	Efficacy: 112 LPMW

**Technical Specifications**

**Other:**  
**Battery Backup:** Minimum starting temperature is 0°C/32°F.  
**Patents:** The WPLED design is protected by U.S. Patent D634878 and Patents pending in the U.S., Canada, China, Taiwan and Mexico.  
**Equivalency:** Equivalent to T5W Metal Halide.  
**ETC Country of Origin:** This product was assembled in the USA by RAB using imported components.  
**Buy American Act Compliance:** This product complies with the Buy American Act.  
**Listings:** DUL Listed  
This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.  
DLC Product Code: P00001750  
**UL Listing:** Suitable for Wet Locations as downlight. Wet Mount. Only Battery Backup UL 924 Listed Emergency Lighting Power Supply.


**LED Characteristics:**  
**Lifespan:** 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.  
**LED:** Two (2) 13W high-output, long-life LEDs.  
**Color Consistency:** 3-step MacAdam Ellipse binning to achieve consistent future-to-future color.  
**Color Stability:** LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.  
**Color Uniformity:** RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.  
**Electrical:**  
**Battery Mode:** Light output uses LLD of 75 to simulate light output during battery mode operation.  
**Driver:** Constant Current, Class 2, 50/60 Hz, 120 - 277VAC 0.4 Arms.

**Battery Backup:**  
**Backup Battery:** Two field-replaceable, high-temperature, maintenance-free, nickel-cadmium batteries.  
**Construction:**  
**Ambient Temperature:** Suitable for use in 35°C (95°F) ambient temperatures.  
**Gaskets:** High temperature silicones.  
**Housing:** Precision die-cast aluminum housing, lens frame and mounting arm.  
**Finish:** Formulated for high-durability and long lasting color.  
**Green Technology:** Mercury and LV free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.  
**Optical:**  
**BUG Rating:** B1 ULG G0

Need help? Tech help line: (888) RAB-1000 Email: sales@rabweb.com Websites: www.rabweb.com  
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Page 1 of 2

### S Series



Project:	Type:
Product Code:	Date:

V050624

#### 4" Surface Mount Downlight


F4NC 4" New Construction Fire Rated Shallow Junction Box

- Thinnest-in-class S Series delivers the pure, smooth light and the elegant look of a high-end recessed downlight
- Features multiple ratings to meet the demands of a wide range of situations
- The 4" Round and Square lights match the appearance of recessed lights

INSTALLATION	LIGHT OUTPUT & DISTRIBUTION	RATINGS & CERTIFICATIONS
<b>Ceiling Thickness</b> SurfaceFrame: 0" up to 1 1/2" SurfaceFrame (Emergency): 1/2" up to 1 1/2" <b>Ceiling Material</b> Drywall	<b>Module</b> Downlight <b>Lumens (Power)</b> 750 lm (9.0W), 1000 lm (12.0W) <b>Color Quality</b> 90+ CRI, <3-step SDCM <b>Color Temperature</b> 2700K 3000K 3500K <b>Optics</b> General	<b>Housing</b> IC (Insulation Contact) Rated ASTM E283 Certified Air Tight Code compliant for use in fire-rated assemblies up to a maximum of 2-hours STC/IIC Sound Rated RoHS Compliant UL Listed for Wet Location UL Closet Rating Compliant (750 lm only)
PHYSICAL	POWER & CONTROLS	Additional Options
<b>Housing</b> 4" Round Junction Box <b>Application</b> New Construction <b>Shape</b> Round, Square <b>Finish</b> White	<b>Input Voltage</b> 120V only (TRIAC/ELV), 120/277V (0-10V) <b>Dimming</b> TRIAC/ELV (8%), 0-10V (1%) <b>Emergency Lighting</b> Optional Emergency LED Driver with integrated Test Switch for lighting up to 90 minutes in event of power failure	<b>Warranty</b> 5 year limited warranty; 50,000 hours Non-Conductive Dead Front

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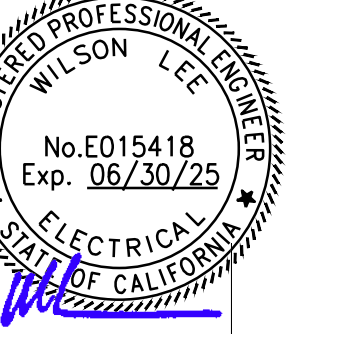
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SANTA MONICA, CALIFORNIA 90404  
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Dutch Bros Coffee - New Freestanding Store  
2450 - A1 PROTOTYPE  
SEC PERRIS BLVD. & AVOCADO AVE.  
PERRIS, CA 92571

DATE: 05/01/2025  
REV: DATE: DESCRIPTION:

SHEET NAME:  
EXTERIOR LIGHTING CUTSHEETS

SHEET NUMBER:  
E0.04

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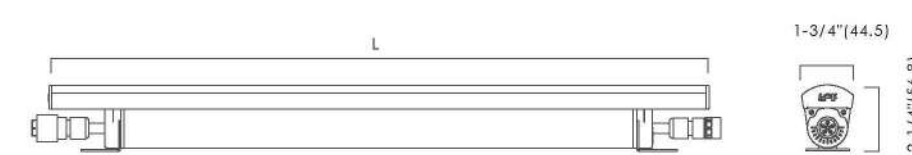
## Outdoor Cove Lighting CROWN



- Quick connection
- Dimmable, 1-10V dimming to 10%-100%
- Linkable, max. linkable length: 72" @ 120VAC, 156" @ 277VAC
- Lockable, precision aiming adjustment: .85° vertical rotation
- IP rating: IP66 (for wet locations)
- Lifetime: 50,000hrs (at 90%, 35°C)
- Ta: -13°F to 122°F (-22°C to 50°C)
- 10W/ft, 1050lm/ft
- Material: Aluminum alloy
- Other color temp available



Dimensions: inches, (mm)



How to order using our catalog numbers  
Example: CROWN-1230K1055

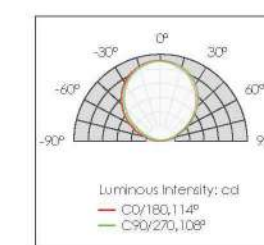
Series	Length	CCT (K)	Beam Angle	Finish	Installation
CROWN	12 - 11.8\"/>				

### Specifications

Catalog No.	Model	Rated Input (VAC)	Ra	Power (W)	Luminous flux (TYP@4000K)lm
CROWN-1230K1055	CROWN-L24-277V	120-277	90	10	1050
CROWN-1235K1055					
CROWN-1240K1055					
CROWN-4730K1055	CROWN-L90-277V	120-277	90	40	4200
CROWN-4735K1055					
CROWN-4740K1055					
CROWN-7030K1055	CROWN-L144-277V	120-277	90	60	6300
CROWN-7035K1055					
CROWN-7040K1055					

\* Included: 1 pc LED fixture, 2 pcs screws.

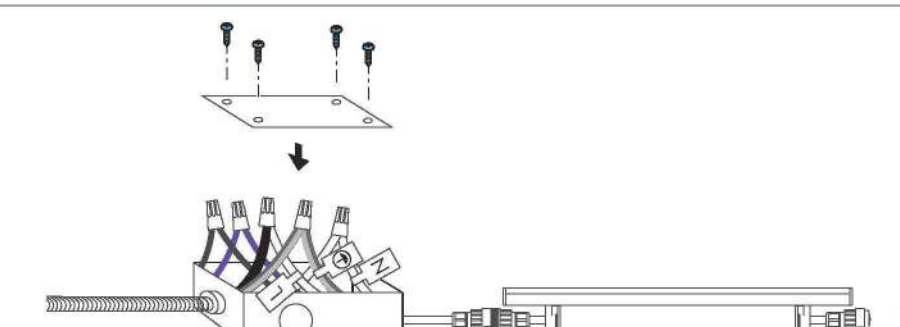
### Photometrics



www.self-electronics.com • SELF •

## Outdoor Cove Lighting CROWN/CROWN NARROW

### Wiring Diagram



AC connection:

Black: " L "

White: " N "

Yellow/green: " G "

Dimming connection:

Violet: " + "

Gray: " - "

### Accessories

Catalog No.	Description	Length (inch)
IC-CROWN-59	Input cable	59"
IC-CROWN-84	Input cable	84"
IC-CROWN-180	Input cable	180"

### Accessories (optional)

Catalog No.	Description	Length (inch)
SC-CROWN-12	Self connector	12"
SC-CROWN-48	Self connector	48"
SC-CROWN-96	Self connector	96"

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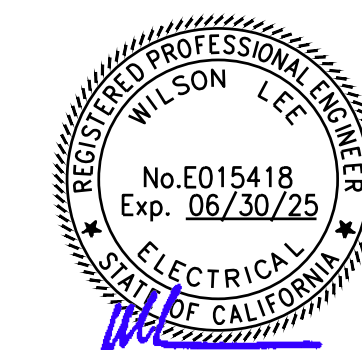
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ENGINEERING

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Dutch Bros Coffee - New Freestanding Store  
2450 - A1 PROTOTYPE  
SEC PERRIS BLVD. & AVOCADO AVE.  
PERRIS, CA 92571

DATE: 05/01/2025  
REV: DATE: DESCRIPTION:

SHEET NAME:

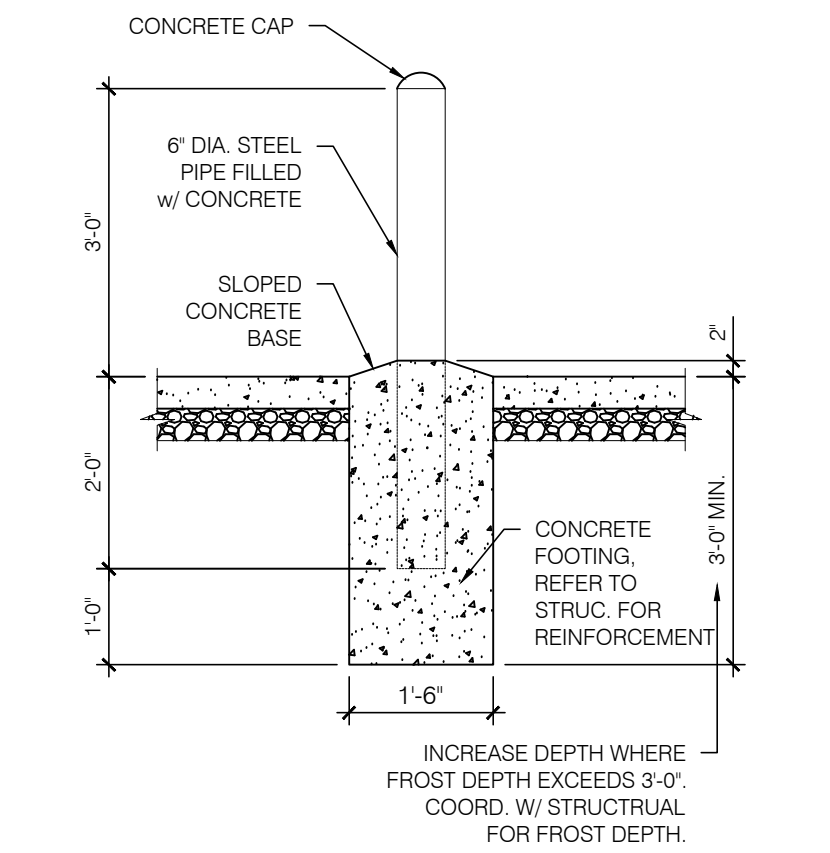
EXTERIOR LIGHTING  
CUTSHEETS

SHEET NUMBER:

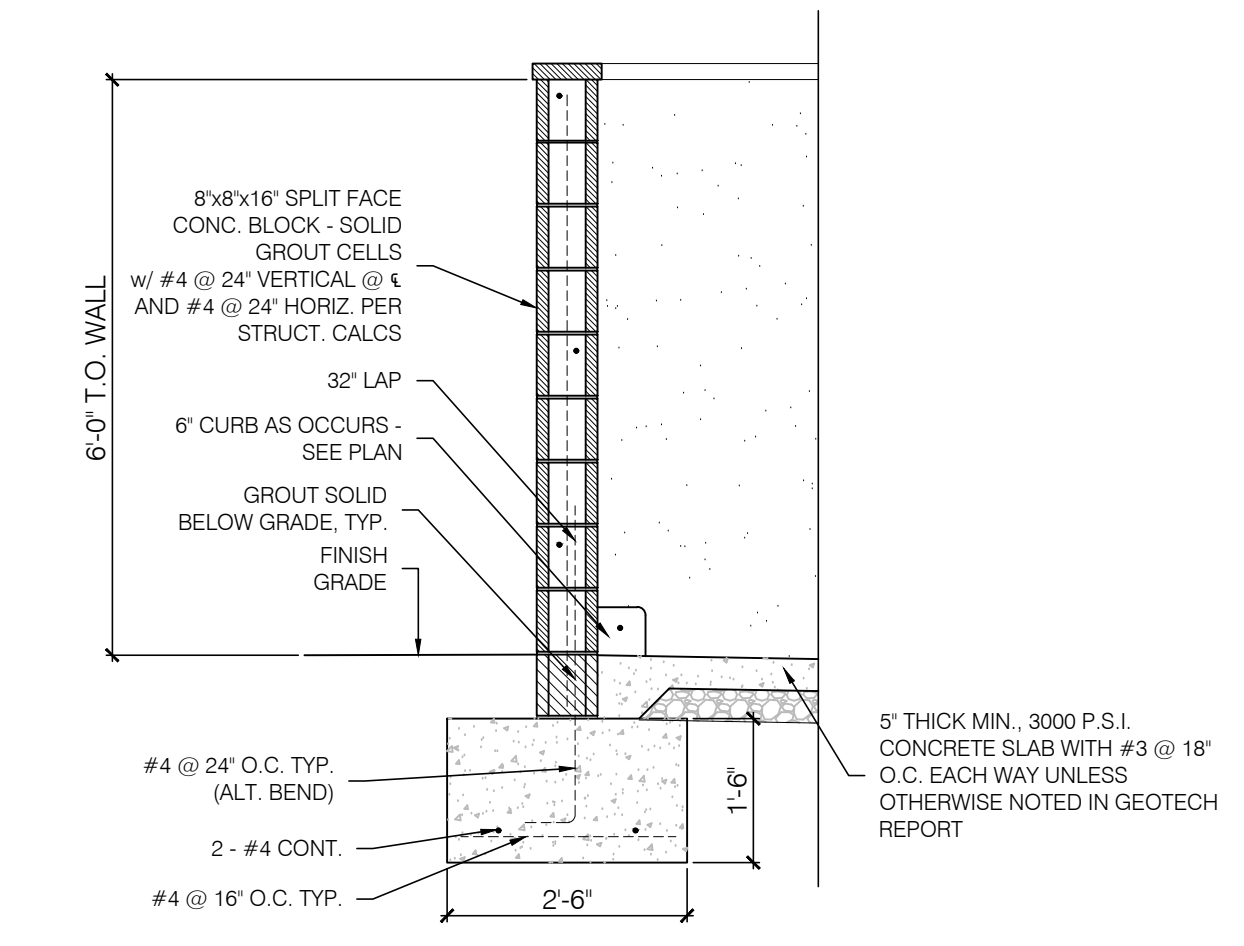
E0.05

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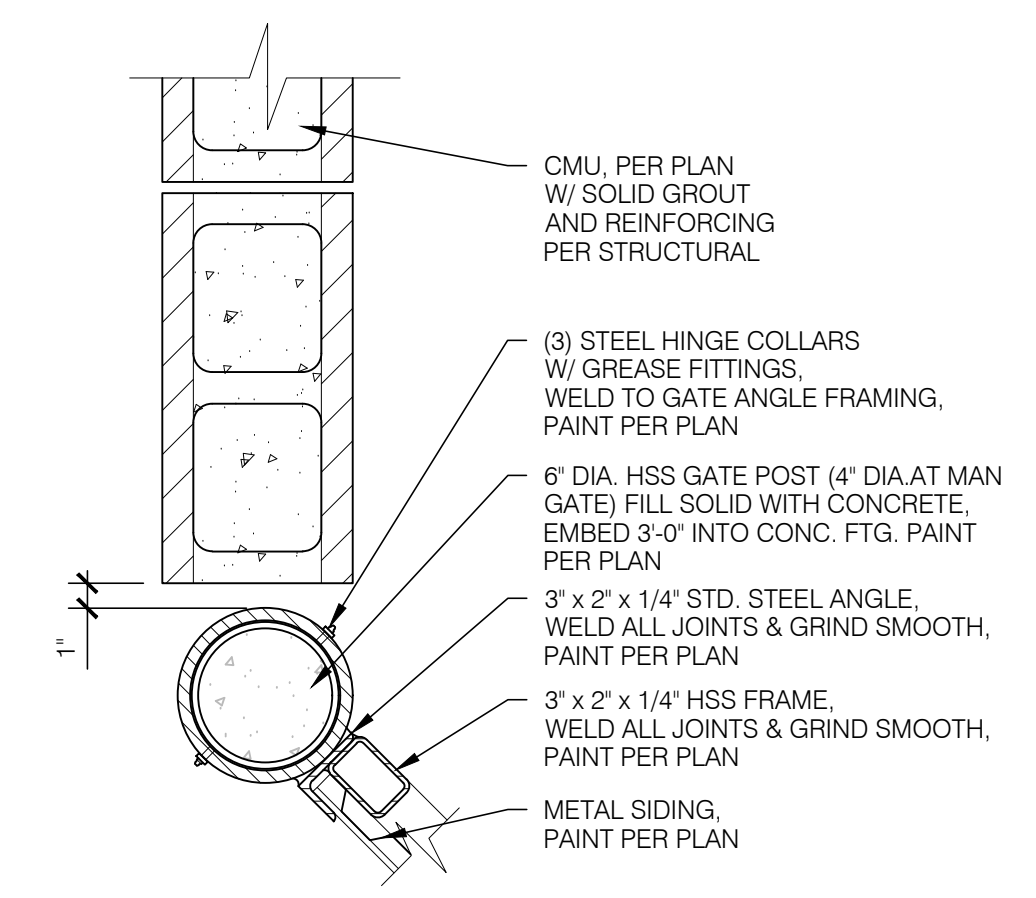
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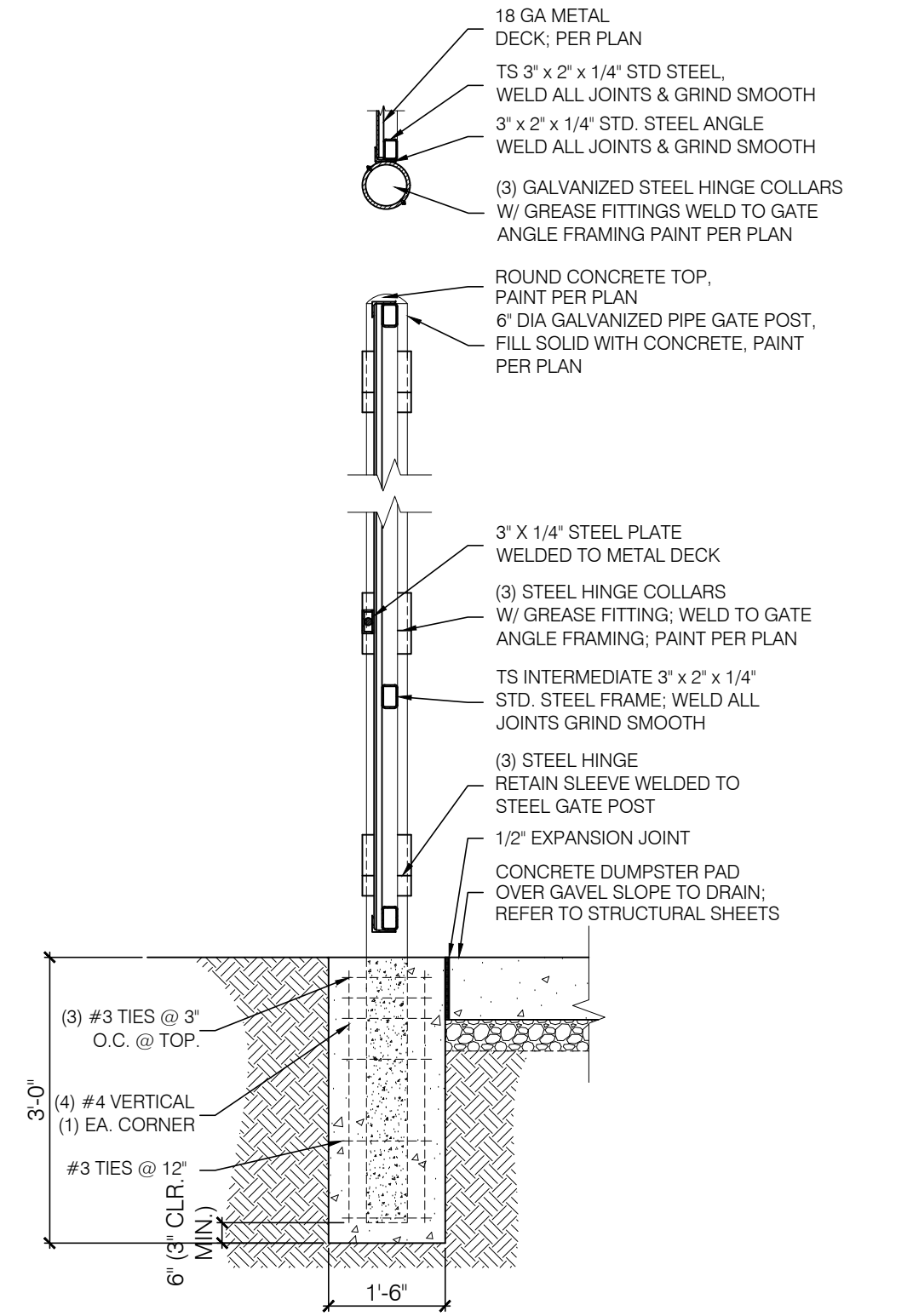
5 BOLLARD DETAIL  
SCALE: 1/2" = 1'-0"



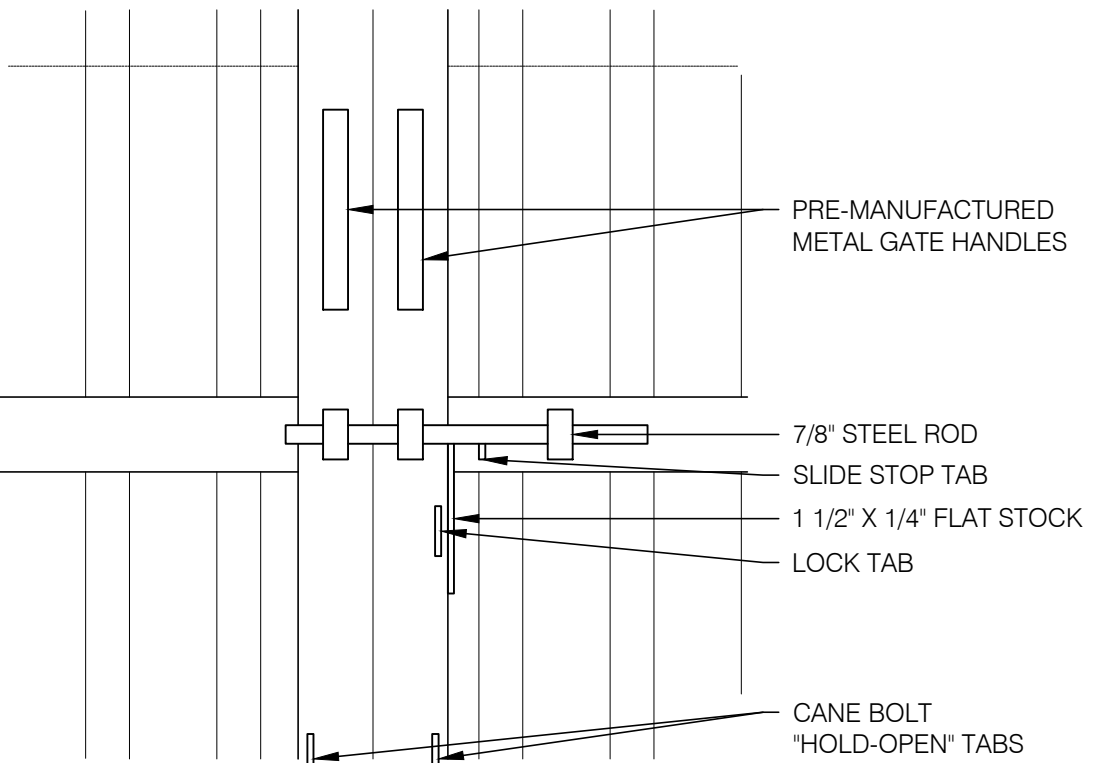
6 TRASH ENCLOSURE SECTION  
SCALE: 1/2" = 1'-0"



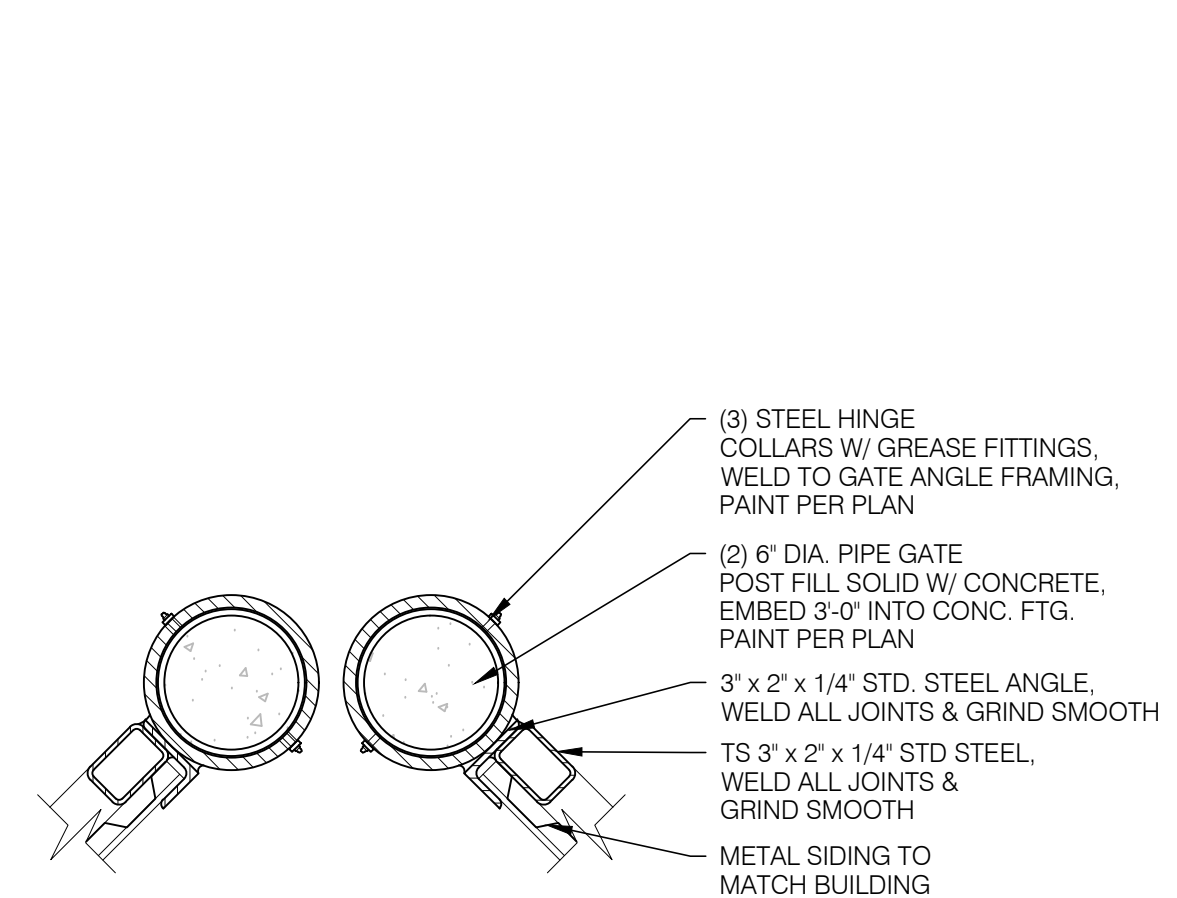
7 TRASH ENCLOSURE GATE JAMB DETAIL  
SCALE: 1-1/2" = 1'-0"



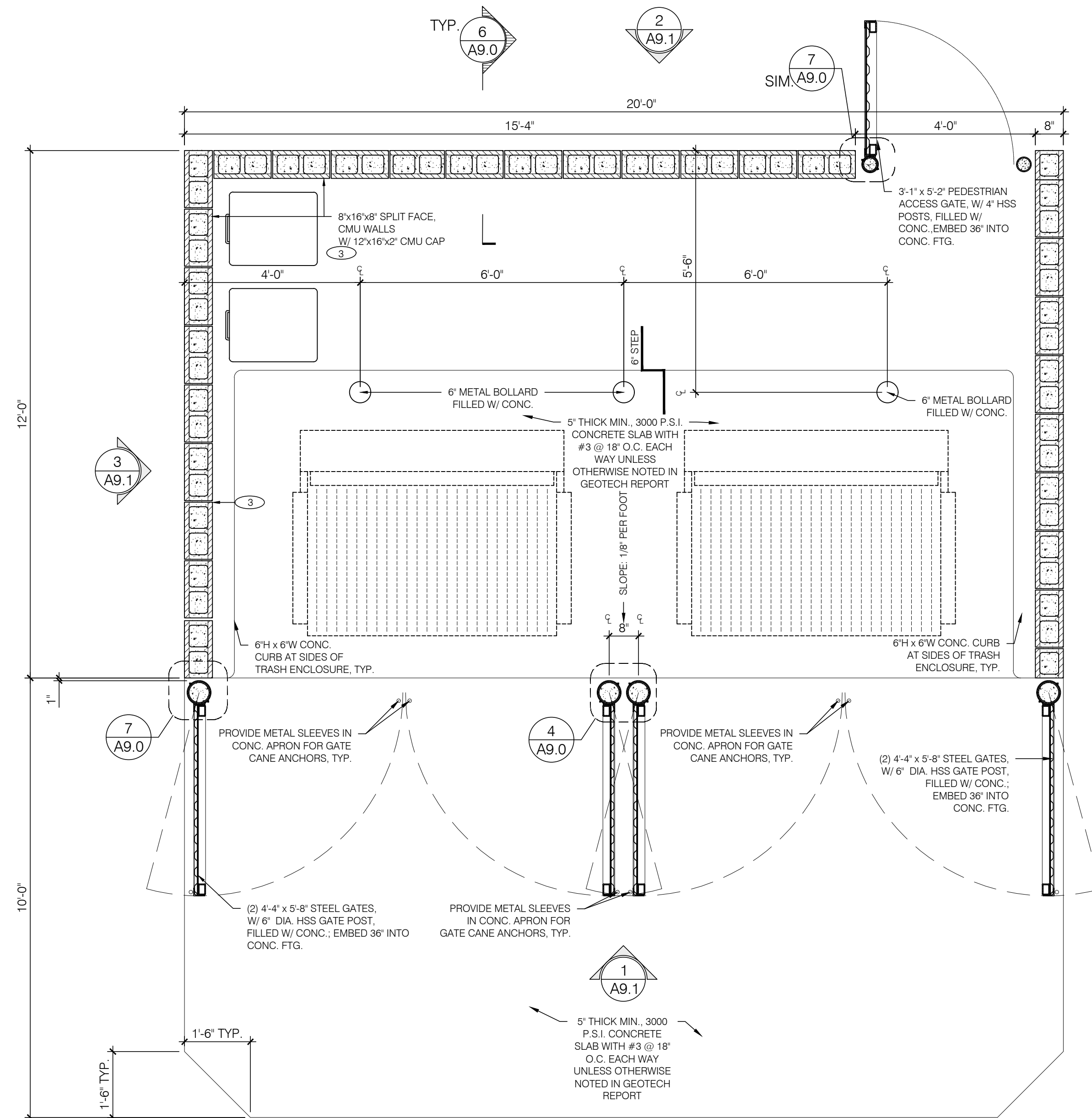
2 TRASH ENCLOSURE GATE JAMB DETAIL  
SCALE: 1/2" = 1'-0"



3 TRASH ENCLOSURE GATE LOCKING HANDLE  
SCALE: 1-1/2" = 1'-0"



4 TRASH ENCLOSURE GATE JAMB DETAIL  
SCALE: 1-1/2" = 1'-0"



1 TRASH ENCLOSURE PLAN  
SCALE: 1/2" = 1'-0"

TRASH ENCLOSURE GENERAL NOTES:

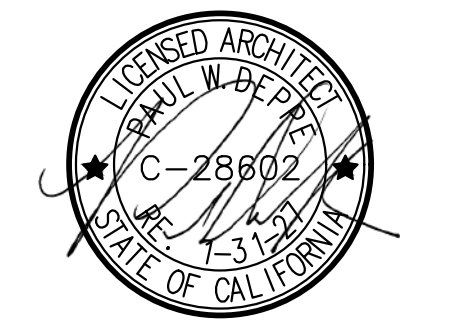
1. REFER TO STRUCTURAL FOR MASONRY, CONCRETE, STRUCTURAL STEEL AND REINFORCING STEEL FOR SPECIFICATIONS.
2. PROVIDE LOCKING MECHANISM ON GATES AND PEDESTRIAN GATE.
3. PROVIDE SITE LIGHTING AT TRASH ENCLOSURE. MIN. 5 FOOT CANDLE.
4. GATE TO BE BUILT WITH 3"x 2" SQUARE STEEL TUBING WITH ALL JOINTS FULLY WELDED TOGETHER AND 1 CROSS MEMBER PER GATE. FRAME TO BE PRIMED AND PAINTED PER PLAN.



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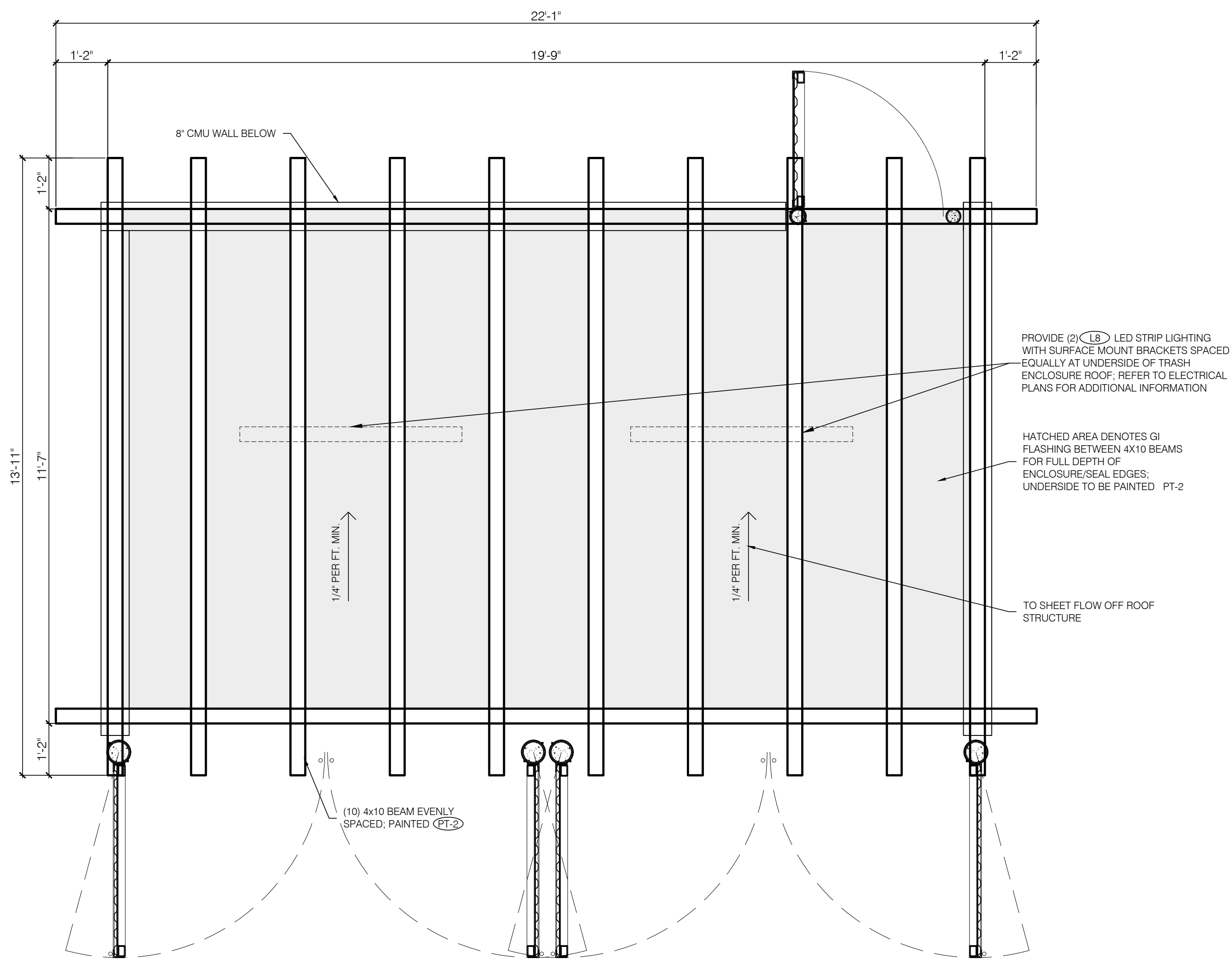
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Dutch Bros Coffee - New Freestanding Store  
2450 - A1 PROTOTYPE  
SEC PERRIS BLVD. & AVOCADO AVE.  
PERRIS, CA 92571

DATE: 05/01/2025  
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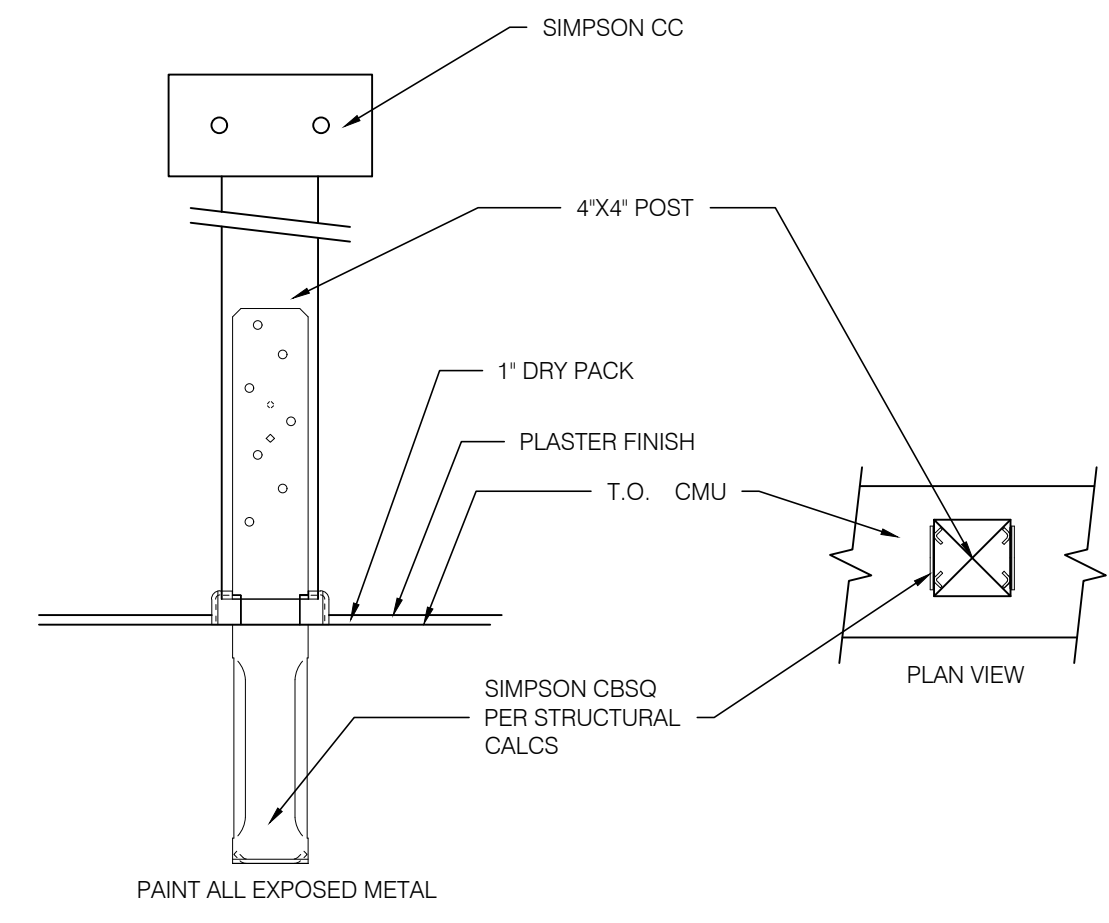
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TRASH ENCLOSURE  
PLAN/ ELEVATIONS

SHEET NUMBER:  
A9.0

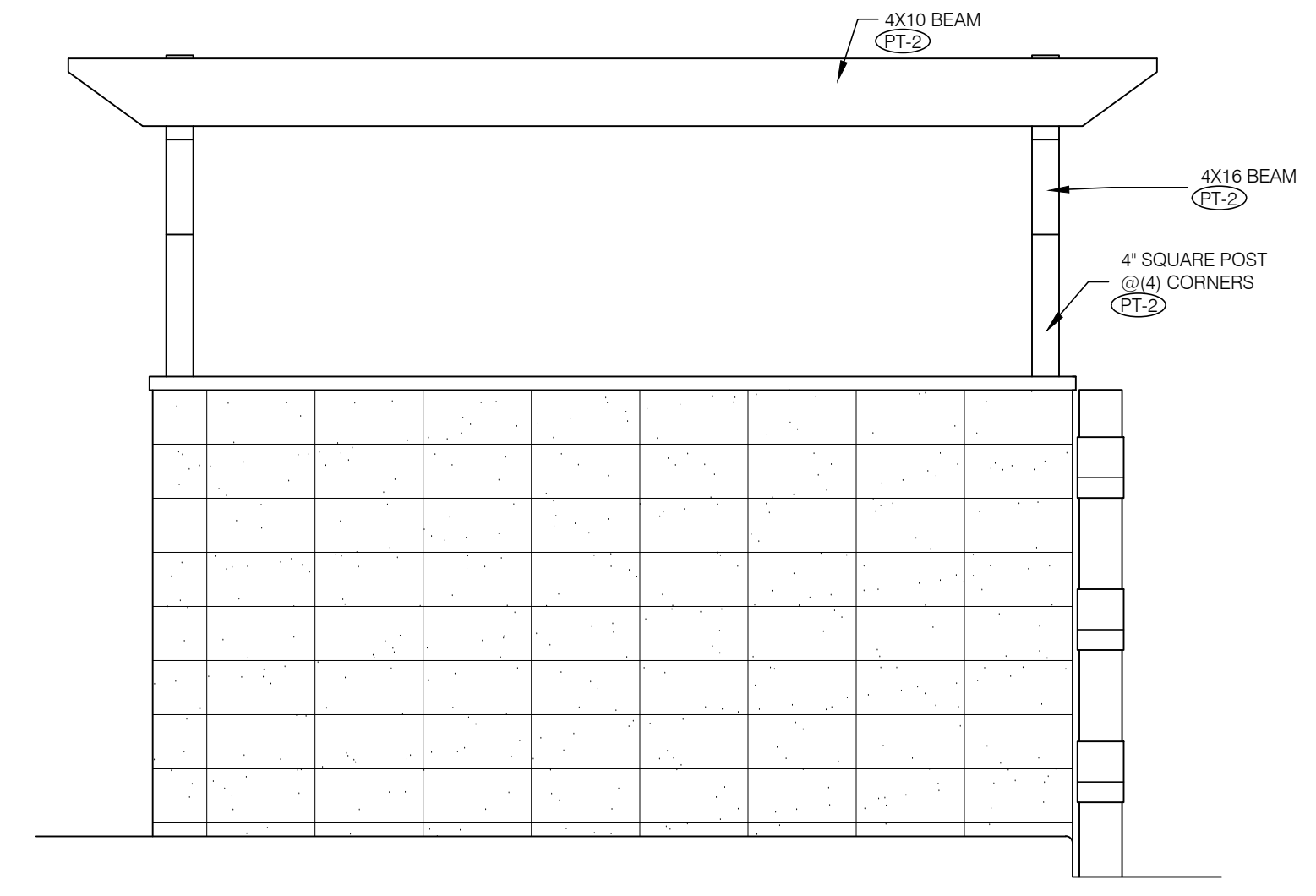
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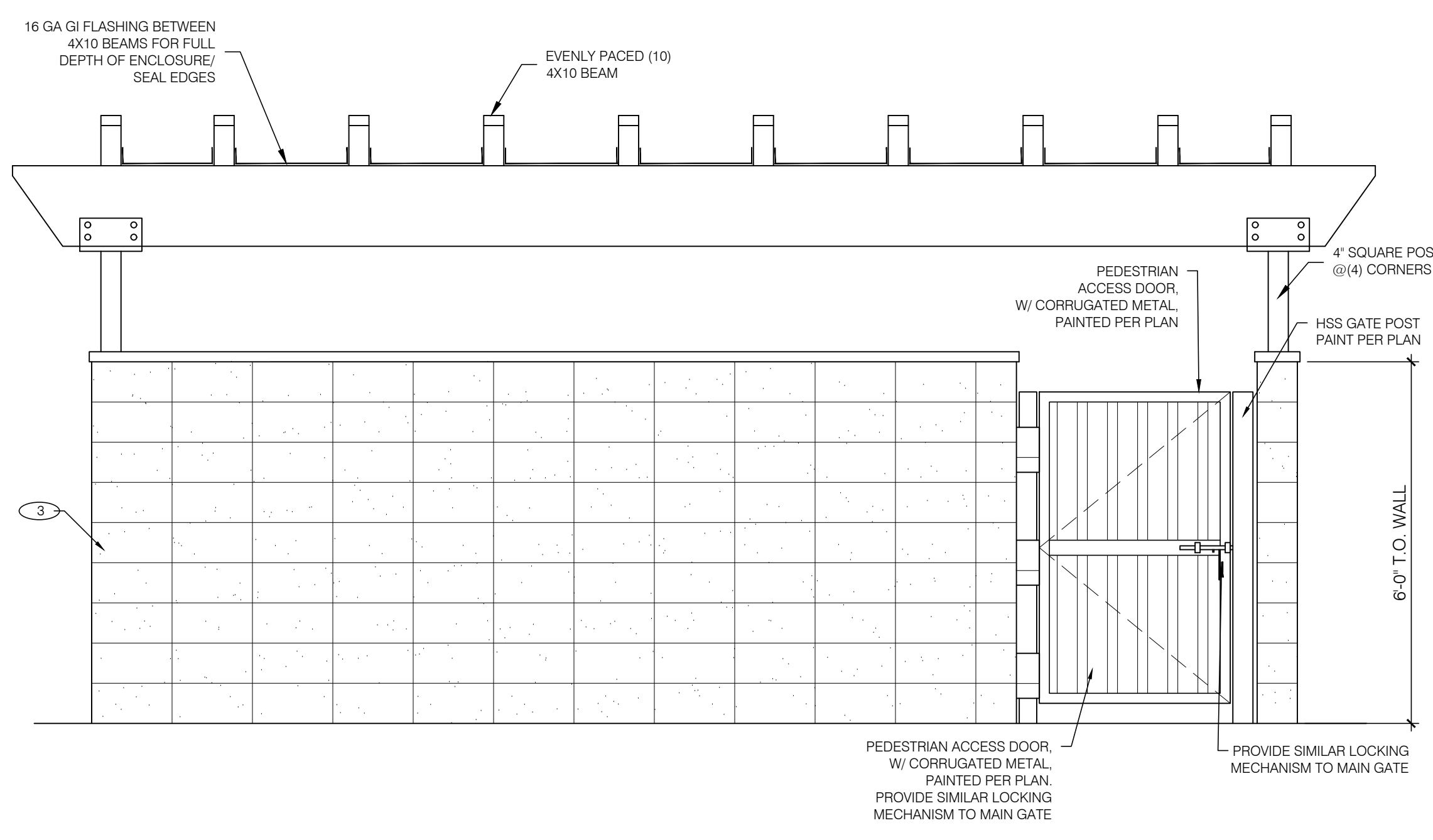
5 TRASH ENCLOSURE CANOPY - PLAN  
SCALE: 1/2" = 1'-0"



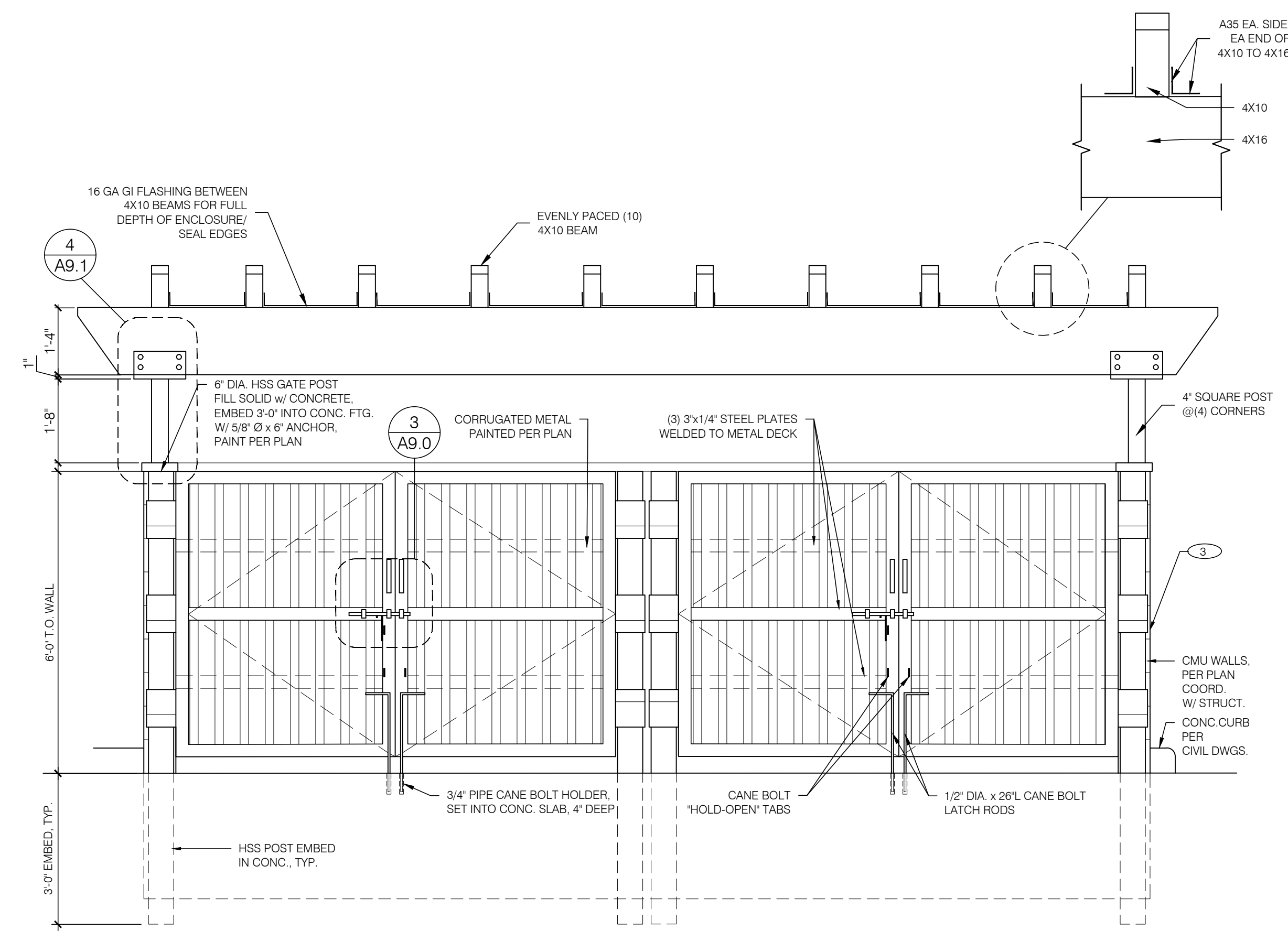
4 TRASH ENCLOSURE TRELLIS SUPPORT DETAIL  
SCALE: N.T.S.



3 TRASH ENCLOSURE SIDE ELEVATION  
SCALE: 1/2" = 1'-0"



2 TRASH ENCLOSURE REAR ELEVATION  
SCALE: 1/2" = 1'-0"



1 TRASH ENCLOSURE FRONT ELEVATION  
SCALE: 1/2" = 1'-0"

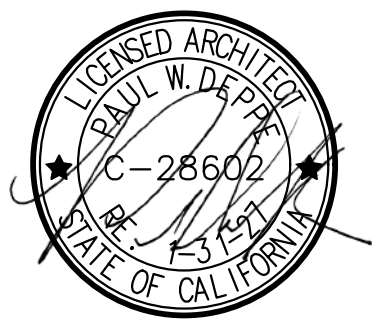
ID	MATERIAL	MANUFACTURER	COLOR	NOTES
3	SPLIT FACE 8X8X16	BASALITE	490	IF INTEGRAL COLOR BLOCK IS UNAVAILABLE, BLOCK TO BE PAINTED DB DARK GRAY
	CMU CAP	BASALITE	490	12X16X2
PT-2	PAINT	SHERWIN-WILLIAMS	8656-1125 - BLDG DB DARK GRAY	BLDG DB DARK GRAY, GATES BODY, ROOF BEAMS & POSTS
PT-3	PAINT	SHERWIN-WILLIAMS	8656-12045 - BLDG DB BLUE	BLDG DB BLUE, GATE FRAMES & POSTS

PROVIDE ANTI GRAFFITI COATING AT EXTERIOR; INTERIOR SURFACE TO BE SMOOTH & NON-ABSORBENT



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REV: DATE:	

TRASH ENCLOSURE PLAN/ ELEVATIONS

SHEET NUMBER:  
**A9.0**



FIBER CEMENT SIDING AT TOWER  
NICHIIHA - ILLUMINATION AWP-1818  
COLOR: DUTCH BROS BLUE



STONE VENEER AT WAINSCOT & COLUMNS  
ELDORADO STONE  
COLOR: BANFF SPRINGS



EXTERIOR CEMENT PLASTER AT BUILDING  
SHERWIN WILLIAMS - 8656-12046  
COLOR: DUTCH BROS LIGHT GRAY



WAINSCOT SILL  
ELDORADO STONE - SNAPPED EDGE  
COLOR: PEWTER



EXTERIOR CEMENT PLASTER AT BUILDING &  
CANOPY FASCIA & AWNINGS  
SHERWIN WILLIAMS - 8656-11295  
COLOR: DUTCH BROS DARK GRAY



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Perris, CA



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PHONE: 310-773-7772



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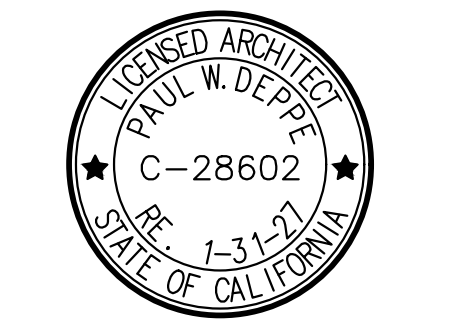
DRIVE THRU VIEW FROM N PERRIS BLVD.



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REV: DATE	DESCRIPTION:

SHEET NAME:  
  
3D RENDERINGS  
  
SHEET NUMBER: