

City Council Approval Date:

VILLAGES OF AVALON

SPECIFIC PLAN AMENDMENT NO. 2

Screen Check No. 1

Prepared For:

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1.0 EXECUTIVE SUMMARY

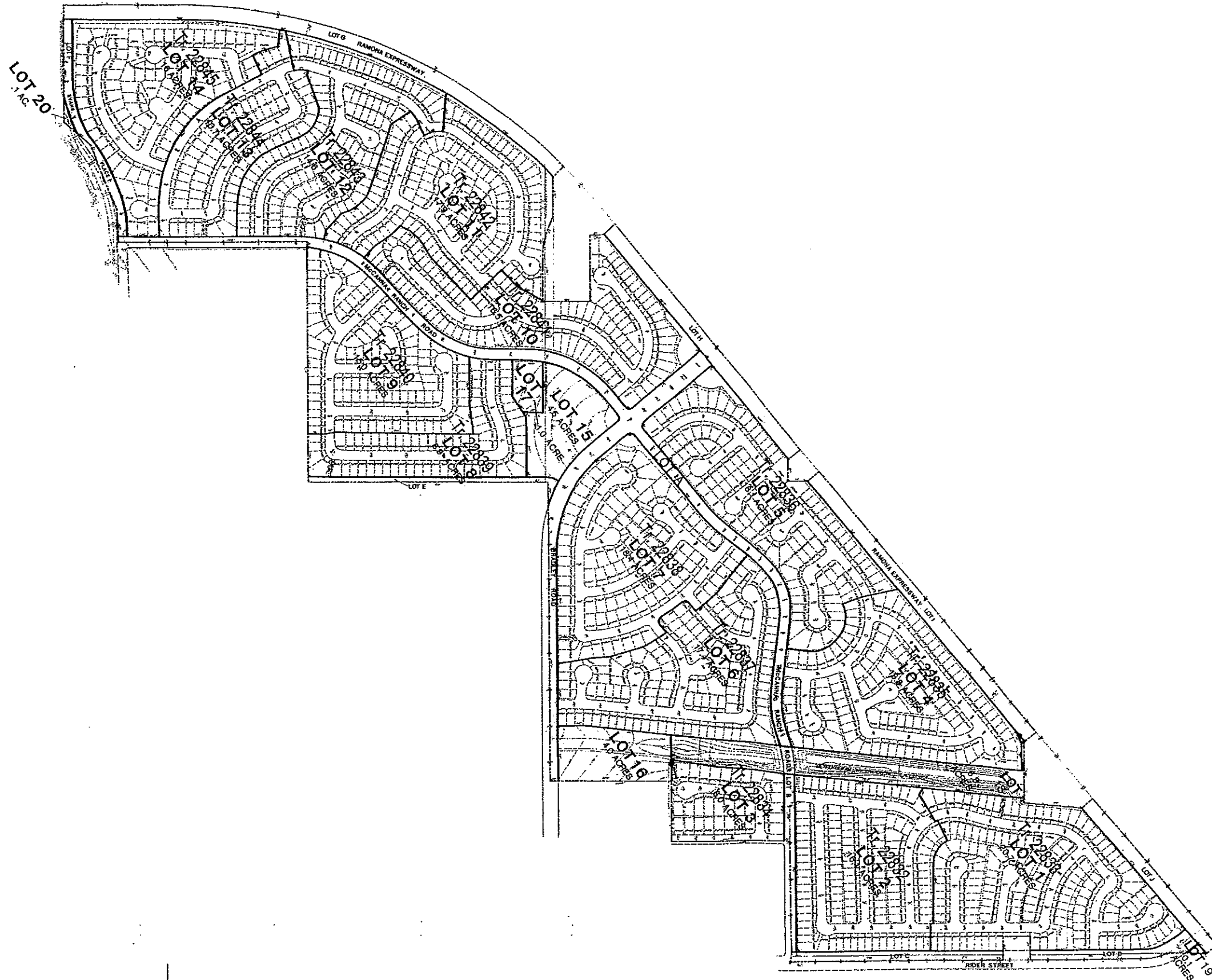
The Villages of Avalon (the "Project"), formerly known as McCanna Ranch, was approved on 262.69 acres along the eastern boundary of the City of Perris, just three miles northeast of the downtown area. The McCanna Ranch Specific Plan was originally approved by the City of Perris City Council on January 11, 1988, and reaffirmed by the Council on May 9, 1988 authorizing 1,380 dwelling units and associated land uses. Final tract maps were prepared and have been recorded for the entire subject property in conformance with the approved Specific Plan, but construction has not commenced in order to update the Project design, amenities, provide an elementary school and middle school site as alternative uses and revisions as noted in this document.

The following final tract maps have been recorded (see Figure 1-1), within the existing Master Map for McCanna Ranch (Tract 22831). Overall, the recorded maps identify a Project total of 1,358 residential lots.

- Final Tract 22832 (122 residential lots)
- Final Tract 22833 (142 residential lots)
- Final Tract 22834 (30 residential lots)
- Final Tract 22835 (117 residential lots)
- Final Tract 22836 (106 residential lots)
- Final Tract 22837 (113 residential lots)
- Final Tract 22838 (97 residential lots)
- Final Tract 22839 (64 residential lots)
- Final Tract 22840 (100 residential lots)
- Final Tract 22841 (104 residential lots)
- Final Tract 22842 (129 residential lots)
- Final Tract 22843 (88 residential lots)
- Final Tract 22844 (67 residential lots)
- Final Tract 22845 (79 residential lots)

Specific Plan Amendment No.1 which was approved by the City of Perris in January of 2003, consisted of minor lotting reconfiguration, consolidation of commercial uses into a single commercial site, alternatives for two school sites and an option for a no school site and minor street re-configurations. The Specific Plan Amendment No. 1 affected the following maps:

- Final Tract Map 22832
- Final Tract Map 22833
- Final Tract Map 22835
- Final Tract Map 22836
- Final Tract Map 22841



EXECUTIVE SUMMARY

The applicant, Barratt American Incorporation, proposes Specific Plan Amendment No. 2. This Amendment includes the following revisions to the Specific Plan:

- Removal of the 2.84-acre Neighborhood Commercial site, located along the easterly side of Bradley Road and adjacent to the Linear Park from the project boundary. The project boundary will be modified from 262.69 acres under Specific Plan No. 1 to approximately 259.85 acres under Specific Plan Amendment No. 2.

A General Plan Amendment/Change of Zone (GPA/CZ) for the 2.84-acre Neighborhood Commercial site will be filed with the City under a separate application. The GPA/CZ will be from Neighborhood Commercial to R-14. This GPA/CZ will be processed concurrently with a separate GPA/CZ application for the property to the immediate south.

2.0 INTRODUCTION

2.1 INTRODUCTION

2.1.1 Purpose and Intent of Specific Plan Amendment No. 2

The purpose and intent of this Specific Plan Amendment is to assure the development of The Villages of Avalon as a coordinated master planned community. This Specific Plan Amendment provides the City of Perris with a comprehensive set of plans, programs, regulations and conditions for guiding the development of the Project.

The Villages of Avalon Specific Plan Amendment No. 2 has been prepared in accordance with the requirements of the California Government Code for Specific Plans (Government Code Sections 65450-65457) and addresses all necessary issues and topics.

A key function of the Specific Plan Amendment No. 2 is to complete the detailed planning and environmental review procedure necessary for the Project development. As the modifications to the prior approved Specific Plan are relatively minor and no new environmental impacts are created, the City has prepared an Addendum to the prior certified Program Final Environmental Impact Report (State Clearinghouse # 87011910). The Addendum and prior Program Final Environmental Impact Report will function as the program environmental document for the Project and all individual projects that are undertaken pursuant to, and in accordance with, the Specific Plan Amendment. According to Section 15168 of the California Environmental Quality Act CEQA Guidelines, a program EIR is appropriate when a series of actions taken over a period of time will result in what will ultimately be perceived as a single project. In this case, the development of Villages of Avalon is planned to be constructed in seven phases that will result in an integrated master plan community. To the extent that future, more detailed project plans for the development of each phase are found to be in substantial conformance with the standards and guidelines contained in the Amended Specific Plan and also conform with the Project described and evaluated in the EIR, no further environmental documentation will be required. Individual projects may proceed with site plan and building design review and/or other discretionary approvals.

Specific Plan Amendment No. 1 was approved by the City of Perris in January, 2003. Specific Plan Amendment No. 1 consisted of minor lotting reconfiguration, consolidation of commercial uses into a single commercial site, alternatives for two school sites and an option for a no school site and minor street re-configurations.

Specific Plan Amendment No. 1 provided an overall reduction of residential units as follows:

- From 1,380 dwelling units to 1,367 dwelling units with the implementation of the Specific Plan Amendment (No School Site).

- From 1,380 dwelling units to 1,155 dwelling units with the implementation of the Specific Plan Amendment School Alternative A.
- From 1,380 dwelling units to 1,275 dwelling units with the implementation of the Specific Plan Amendment School Alternative B.

The purpose of Specific Plan Amendment No. 2 is to remove the 2.84-acre Neighborhood Commercial site, located along the easterly side of Bradley Road and adjacent to the Linear Park from the specific plan project boundary. The project boundary will be modified from 262.69 acres under Specific Plan No. 1 to approximately 259.85 acres under Specific Plan Amendment No. 2.

2.1.2 Authority

California Government Code Section 65450 authorizes a legislative body to prepare specific plans for the systematic implementation of the general plan for all or part of the area covered by the general plan. As outlined in Governmental Code Sections 65451-65452, specific plans are to contain text and diagram(s) specifying: the distribution, location and extent of land uses; the distribution, location and extent of major infrastructure improvements needed to support the planned land uses; development standards and criteria; program implementation measures; and a statement of the relationship of the specific plan amendment to implementation of the general plan.

2.2 PROJECT SETTING

2.2.1 Project Location

The 259.85 acre Villages of Avalon Project is located in the northeastern portion of the City of Perris, just south of the Lake Perris State Recreational Area as shown on the Vicinity Map (see Figure 2-1). The Ramona Expressway forms the northern and eastern border of the project site, Avalon Parkway marks the property's western most extent, and Rider Street denotes its southern limits. Two specific plans are located adjacent to the subject property. This includes the May Ranch and New Horizons, both are located directly west of the Villages of Avalon Specific Plan area.

Nearby freeways include Highway 60 and Interstate 215. Currently, access to the site is from the Ramona Expressway, Rider Street and Bradley Road, as shown on the Site Location Map (see Figure 2-2).

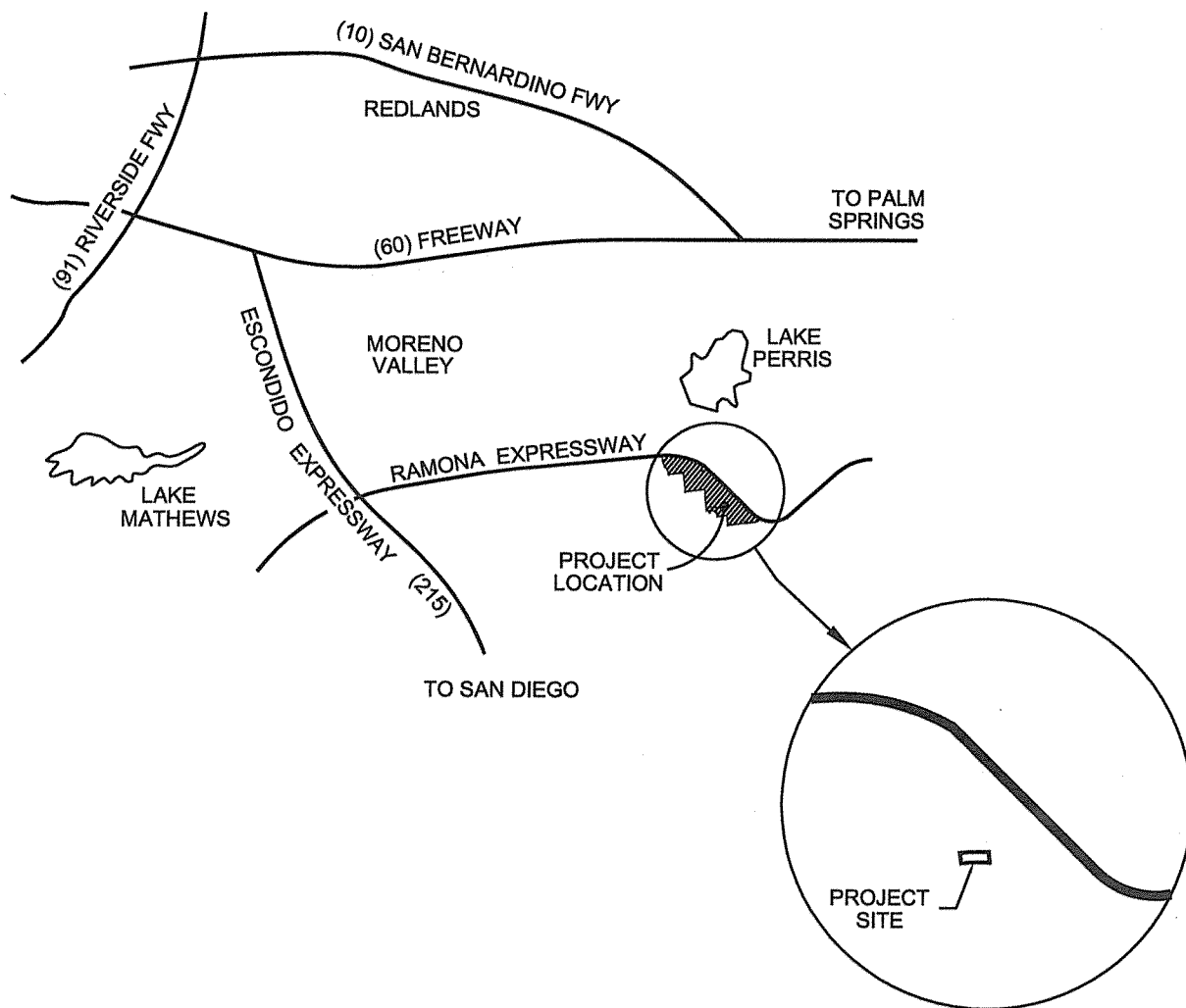
2.2.2 Local Setting

The proposed project lies in the northeastern area of the City of Perris within the Perris Valley area. Perris Valley is generally bounded by March Air Reserve Base and the Lake Perris State Recreational Area on the north, steep hilly areas known as Lakeview Mountains on the east, Menifee Valley on the south and I-215 on the west.

The project site, situated on the eastern edge of the flat Perris Valley, is presently being farmed for potatoes. The dominant land features on the site are the Colorado River Aqueduct which bisects the southern portion of the property and the Ramona Expressway. The only building structures on the site at this time are abandoned or demolished structures, located along Bradley Road and on the north side of the Colorado River Aqueduct next to the Ramona Expressway. At least five wells exist on the site with two currently being used for local irrigation.

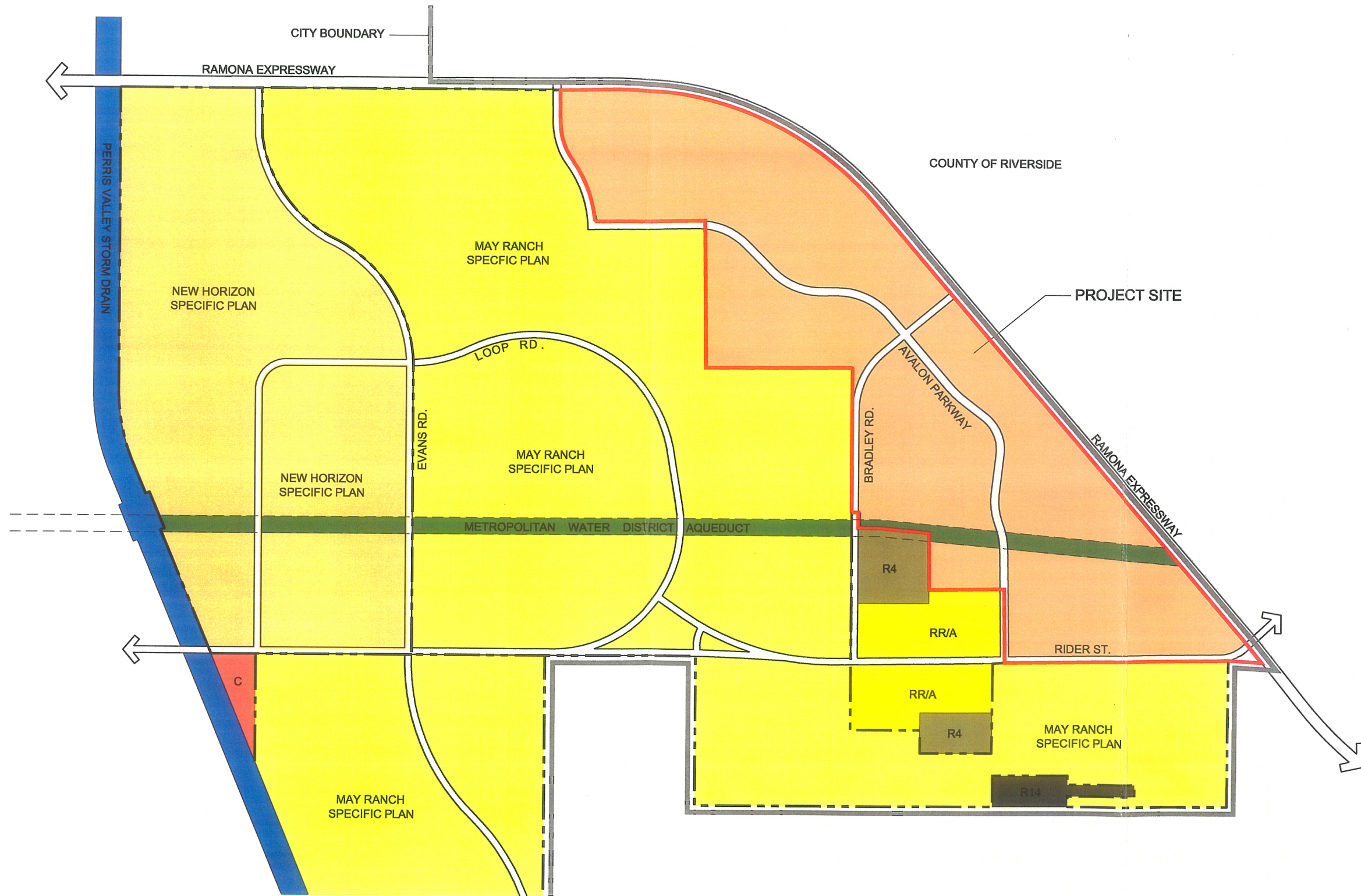
Most of the recent residential development has occurred along the Highway 60 corridor in Moreno Valley and along Perris Boulevard and a regional shopping center has been improved in the intersection of Highway 60 and Interstate 215. Industrial development is also occurring along Interstate 215, north and south of March Air Reserve Base.

FIGURE 2-1



VICINITY MAP
N.T.S

FIGURE 2-2



2.2.3 Area Development Trends

The project site is located within the City of Perris, which has experienced rapid growth, as most of the Southern California region has endured. So far, this expansion has been due to a proliferation of affordable, single family detached homes serving the Riverside, Los Angeles, San Bernardino and Orange County areas.

Residential development is expected to continue in the Moreno and Perris Valley areas. Residential development within the City of Perris is expanding along the Perris Boulevard and Ramona Expressway corridors, and to the east and west of Interstate 215.

The employment base of the City is expected to continue to increase in the near future. This prediction is based on the following: a) rezoning for primarily industrial and commercial uses in the northern portion of the City, b) industrial plan approvals in the County of Riverside northwest of March Air Reserve Base, and c) County of Riverside initiated industrial rezoning and subsequent annexation into the City of Moreno Valley of the area south of March Air Reserve Base. Such increases in the employment base are expected to sustain demand in all sectors of the housing market.

The area north and east of the project site will probably remain predominantly in open space, recreation, and agricultural uses as most of the land in this area is under the jurisdiction of the Lake Perris Recreation Area.

2.2.4 Expected Time Frame for Development

As of July, 2004, Tract Maps 22836, 22834, 22838 have been built out. Tract Maps 22841, 22842 are approximately 90% completed. Tract Maps 22837, 22839 and 22840 are approximately 60% to 70% completed. The elementary school site is currently under construction. The public park and water facility are also in place.

Depending on market demand, phasing and construction of infrastructure within Villages of Avalon may evolve and change, resulting in various revisions to the phasing plan as described herein. These revisions, upon review and confirmation by the City of Perris shall meet the intent of the Specific Plan Amendment and adequately serve the needs of the community and shall be permitted without further amendment to this Specific Plan Amendment.

2.3 PROJECT DESCRIPTION

2.3.1 Project Description

The 259.85 acre Villages of Avalon Project is envisioned as a balanced family-orientated master planned community in the City of Perris. The original Specific Plan (McCanna Ranch), included a mixture of 1,380 single-family detached dwelling units, 11.3 acres of parks, a 1.0 acre commercial water facility and 4.0 acres of open space.

Housing types were organized into three residential density categories. R-5,000 residential areas would allow for the development of 210 dwelling units on approximately 42 acres. R-4,000 residential areas would allow for the development of approximately 665 residences on 105 acres. The R-3,600 residential areas would allow for the development of 505 residences on approximately 72 acres.

Barratt American Incorporated, proposes an amendment to the Specific Plan Amendment No. 1. Specific Plan Amendment No. 2 consists of the following revisions:

- Removal of the 2.84-acre Neighborhood Commercial site, located along the easterly side of Bradley Road and adjacent to the Linear Park from the project boundary. The project boundary will be modified from 262.69 acres under Specific Plan No. 1 to approximately 259.85 acres under Specific Plan Amendment No. 2.

A General Plan Amendment/Change of Zone (GPA/CZ) for the 2.84-acre Neighborhood Commercial site will be filed with the City under a separate application. The GPA/CZ will be from Neighborhood Commercial to R-14. This GPA/CZ will be processed concurrently with a separate GPA/CZ application for the property to the immediate south.

INTRODUCTION

Table 2-1 compares the Specific Plan Amendment No. 2 to Specific Plan Amendment No. 1.

Table 2-1
Summary of Changes

VILLAGES OF AVALON SPECIFIC PLAN AMENDMENT NO. 2		
LAND USE	DUs	AC
R-5000	206	41.29
R-4000	838	131.70
R-3600	231	33.83
Parks	NA	12.23
HOA Recreation Facility	NA	1.96
Public Utility Facility	NA	1.06
Elementary School	NA	10.18
Circulation	NA	27.60
TOTAL	1,275	259.85

VILLAGES OF AVALON SPECIFIC PLAN AMENDMENT NO. 1 (School Alternative B)		
LAND USE	DUs	AC
R-5000	206	41.29
R-4000	838	131.70
R-3600	231	33.83
Parks	NA	12.23
HOA Recreation Facility	NA	1.96
Public Utility Facility	NA	1.06
Elementary School	NA	10.18
Neighborhood Commercial	NA	2.84
Circulation	NA	27.60
TOTAL	1,275	262.69

2.3.2 Jurisdictional Setting

The Villages of Avalon is located within the City of Perris. In early 1988, a 930 acre area which included The Villages of Avalon Project area was annexed into the City.

2.3.3 Market Objectives

The Specific Plan Amendment for Villages of Avalon is intended to allow for the development of housing within market type and price ranges anticipated to be in large demand in the Perris Valley, with special attention being given to family-orientated recreational amenities. Specifically, the market objectives are:

- To reinforce the community identity of the project vicinity through control of project design elements such as architecture, landscaping, color, paving, walls, fencing, signage, distinctive community entry treatments, and through a viable circulation network.
- To reflect anticipated marketing needs and public demand by providing affordable detached single family dwelling units that will be marketable within the region.
- To provide detached and high-quality housing to serve couples, families and retirement buyers.
- To provide an aesthetic and functional trail system within the linear park that responds to site conditions in its configuration and to anticipated demands of future residents.
- To provide recreational and visual amenities in conjunction with strong community design that will offer homebuyers not only a home but a sense of neighborhood.
- To provide an elementary school as part of the master planned community.

2.3.4 Community Facilities District

Successful operation of maintenance districts and associations are important in maintaining a high quality neighborhood environment for the Villages of Avalon residents. It is anticipated that initial infrastructure improvements and ongoing maintenance responsibility will be provided using the widest possible array of techniques, including the formation of a Mello-Roos Community Facilities District and a Park Maintenance Assessment District.

The Mello-Roos Community Facilities District Act of 1982, commencing with Section 53311 of the Government Code, allows a local public agency to form a community facilities district, within it's boundaries to provide certain specified public improvements and services for the benefit of present and future residents within the district. Proceedings for the formation of a community facilities district are initiated by the appropriate local public agency to consider the indebtedness and the levy of a "special tax" to pay the debt on any bonds subsequently issued. The special tax is then collected on the tax roles of the County, as would any other

INTRODUCTION

tax of a special district. The act is particularly useful in master plan areas as public infrastructure improvements which may be necessary for property development as well as local public facilities and project amenities.

It is planned that the 4.40 acre Community Park and the approximately 7.83 acre Linear Park will be maintained through a City maintenance district or other municipal district. The HOA Recreation Facility and private landscaped areas will be maintained through a homeowners • association.

3.0 SITE DEVELOPMENT SETTING

Prior to the preparation of any initial development plans located within the Specific Plan Amendment No. 1 project area, and extensive analysis and evaluation of the subject area and surrounding area was conducted. An effort has been made to determine all relevant opportunities and constraints for development of the subject property, so that the Project, when completed, will be responsive to those issues identified. This section is intended to summarize the pertinent issues from the Addendum to the previously certified Program Final Environmental Impact Report (EIR) relating to the Project. As provided in the California Environmental Quality Act (CEQA), the Addendum identified the Project changes and evaluated whether new significant impacts are present. Before approving the Specific Plan Amendment, the City considered and certified Program Final EIR and the Addendum with the Specific Plan No. 1.

As of July, 2004, Tract Maps 22836, 22834, 22838 have been completed. Tract Maps 22841, 22842 are approximately 90% completed. Tract Maps 22837, 22839 and 22840 are approximately 60% to 70% completed. The elementary school site is currently under construction. The public park and water facility are also in place.

Since Specific Plan Amendment No. 2 only consists of removing the Neighborhood Commercial site from the project boundary, no additional studies are required. The City of Perris will prepare an initial study with respect to the proposed amendment.

3.1 ENVIRONMENTAL CONDITIONS

3.1.1 Topography, Landform and Elevation

The project site is situated on the eastern edge of the flat Perris Valley and exhibits almost no topographic relief. The land generally slopes from an elevation of 1,525 feet above mean sea level near the intersection of the Ramona Expressway and Rider Street to an elevation of 1,460 feet above mean sea level approximately 1,500 feet west of the intersection of Ramona Expressway and Bradley Street. A significant off-site topographic feature is the granite hill outside the west boundary of the site. On-site, the Colorado River Aqueduct bisects the southern portion of the project site. The extremely gentle slope of the project area, generally, in the 0 to 2 percent category, presents no landform related development constraints.

3.1.2 Hydrology and Drainage

There are no dominant natural drainage courses or known flooding hazards on the project site. However, a portion of the property is located within the Lake Perris Reservoir Dam inundation area. Inundation of the area could occur if the dam were to catastrophically fail. The Lake Perris Dam is in a "safe and stable condition" according to the State of California Department of Water Resources Board of Consultants Review Report.

3.1.3 Soils, Geology and Seismicity

Geotechnical and soils feasibility investigations have been conducted for the Villages of Avalon project site by Accu-Test Soils Laboratory, Highland Geotechnical Consultants, and most recently by Geotek. The portion of the valley floor encompassed by the project site consists of Quaternary Alluvial Fan Deposits, composed of coarse to fine sands intermixed with granules of silt and clay. The geotechnical reports for the project state that the site is adequate for the proposed development. As most of the soils have low expansion potential, unusual foundation designs are not anticipated and conventional construction techniques can be utilized.

Perris Dam and Reservoir are situated on the same material as the site, particularly the left embankment. The dam is not founded in bedrock and underflow seepage is controlled by relief wells along the downstream toe. Despite the proximity of such a large body of water and the seepage under the dam, no groundwater was encountered in any of the test pits excavated on the site. Due to absence of shallow groundwater, liquefaction is not anticipated to be a development constraint.

The site is considered a seismically active area, as is all of Southern California. There are, however, no known active faults on or adjacent to the site and the hazard of surface fault rupture is considered to be very low. Seismic risk is considered moderate as compared to other areas of Southern California. Construction will be in conformity with the seismic criteria of the Uniform Building Code.

3.1.4 Visual Resources/Scenic Quality

The broad, flat Perris Valley that stretches to the west of the Villages of Avalon project site is dominated by farming and ranching related activities. The steep, boulder-strewn Lakeview Mountains and Bernasconi Hills rise sharply from the valley floor east and south east of the property. These hills reach elevations in excess of 2,600 feet above mean sea level.

The dominant features on the site are the Colorado River Aqueduct which bisects the southern portion of the property and the Ramona Expressway. The only building structures on the site at this time are five abandoned or demolished structures, four are located along Bradley Road and one is located on the north side of the Colorado River Aqueduct next to the Ramona Expressway. At least five wells are present on the site with two currently being used for local irrigation.

To minimize the visual effects of urbanization for residents and visitors of Villages of Avalon, approximately 12.23 acres of parks, a 1.96 HOA recreation facility and 8.12 acres of landscaped areas for a total of 22.31 acres. Specific Plan Amendment No. 2 includes two public parks. This includes a 4.40 acre Community Park located at the northwest corner of Avalon Parkway and Bradley Road and an 7.83 acre Linear Park that traverses the project. The Community Park will serve as the primary park which will be centrally located at the corner of Bradley Road and Avalon Parkway. In keeping with the objective to promote a park-like atmosphere for the project, one large linear shaped park is proposed to be located

SITE DEVELOPMENT SETTING

along the Colorado River Aqueduct right-of-way. This secondary park is designed to provide residents with relief from the built environment as well as to serve as a source of pedestrian and bicycle access through the project. In addition to the park facilities, a sense of arrival will be created by a selective application of landscape materials for the entry features as well as the major roadways. Coordinated street trees and park landscaping will be integrated with the architectural styles of Villages of Avalon to promote a pleasant community environment. A landscape buffer will also be provided along portions of the Ramona Expressway.

3.1.5 Vegetation and Wildlife

The project site consists of predominantly vacant land used for cultivated agricultural crops. Consequently, no native plant species exist on the property. In the remaining areas where abandoned or demolished ranch/farm structures and the Metropolitan Water District's Colorado River Aqueduct existing vegetation, and introduced trees dominate the vegetation community. No rare, endangered, threatened, or other high interest plant species are found on site.

Agricultural areas characteristically support a very limited resident wildlife population. Some species which may be present include, perching birds, birds of prey and small animals. The activity of these species is concentrated along roadsides and the edges of the fields where cultivation activities do not occur. No wildlife species recognized as threatened rare or endangered by the State of California or the U.S. Government are known to exist on the project site. The project area is also within the historic habit range of the Stephens Kangaroo Rat However, extensive biological surveys indicate no possibility of this species existing within project boundaries.

3.2 INFRASTRUCTURE AND PUBLIC FACILITIES

3.2.1 Circulation

The Villages of Avalon site is currently served by the Ramona Expressway which has an interchange with I-215 approximately three miles west of the site. Ramona Expressway is designated as an Expressway on the Riverside County Master Plan of Highways. Bradley Road, which runs north-south through the site, is also paved. Rider Street runs along the southern edge of the site and intersects with Ramona Expressway. Rider Street is paved two-lane road west of Bradley Street but is a graded unpaved road between Bradley Street and Ramona Expressway.

As the result of access restrictions originally imposed by the Riverside County Transportation Department, access from Ramona Expressway can only occur at Avalon Parkway (northwestern corner of the property) Bradley Road and Rider Street.

3.2.2 Wastewater Collection and Treatment

Currently, the project site, and many properties operate with septic sewage disposal systems. May Ranch, located directly west and south of the site is served by sewers. There are no sewers serving the site. The Eastern Municipal Water District (EMWD) is the agency responsible for serving the project area and they have master planned a gravity sewer that will run in Morgan Street from Bradley Avenue to an existing force main in Redlands Avenue. Existing and master plan sewer mains in the vicinity of the site are shown on the Existing Sewer, Water and Gas Map (see Figure 3-2).

3.2.3 Water Supply

A 1.06 acre Public Utility site has been set aside for a water provider to serve the Project. This site is a permitted use per the Public Utilities Commission.

3.2.4 Electricity, Gas, Telephone and Solid Waste

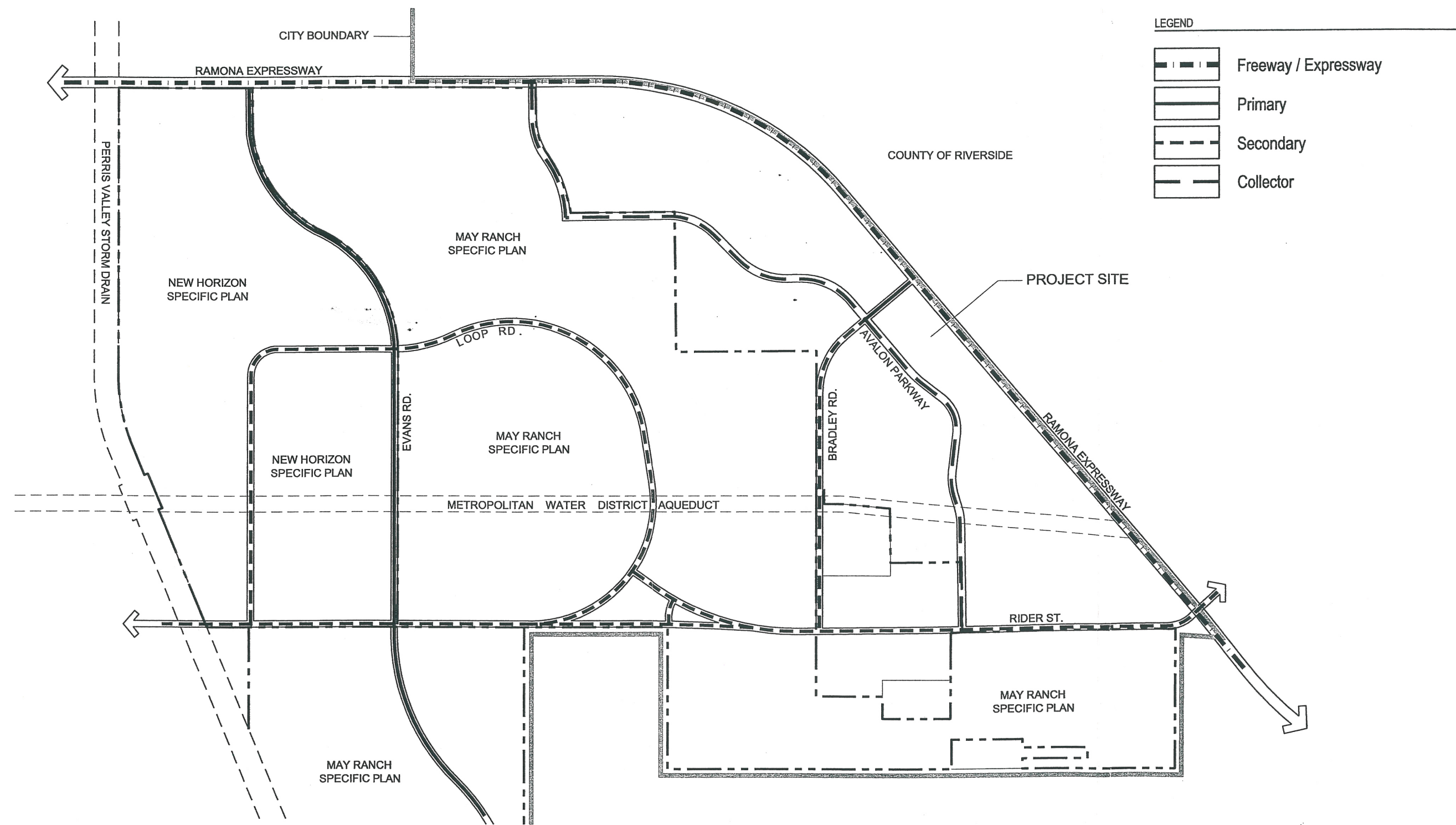
Electricity may be provided by the Southern California Edison Company (SCE) or a municipal or other utility provider. As shown on the Existing Utilities (Figure 3-3). 12 KV and 33 KV overhead utility lines are found above the Ramona Expressway and on Bradley Road. The 12 KV line is currently available to serve the site.

The project site is within the service area of the Southern California Gas Company (SCG). Figure 3-2, Existing Sewer, Water and Gas, shows the closest line is at the intersection of Evans Road and Sinclair Street, approximately one half mile west of the project site.

Telephone service may be provided by General Telephone or other service provider. An underground telephone line is located in Ramona Expressway as shown in Figure 3-3, Existing Utilities.

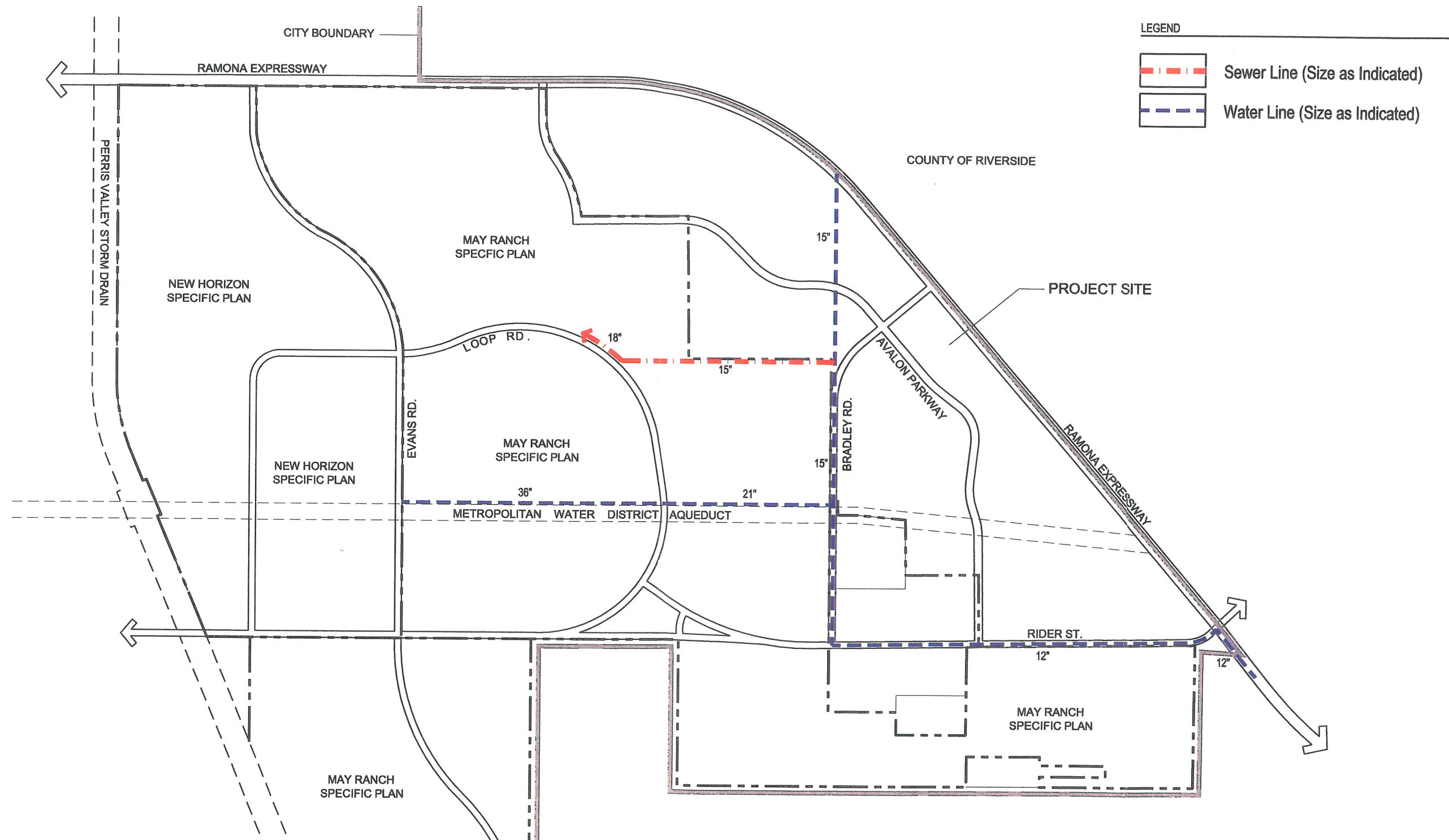
Solid waste generated in the City of Perris is collected by Perris Disposal, a private company.

FIGURE 3-1



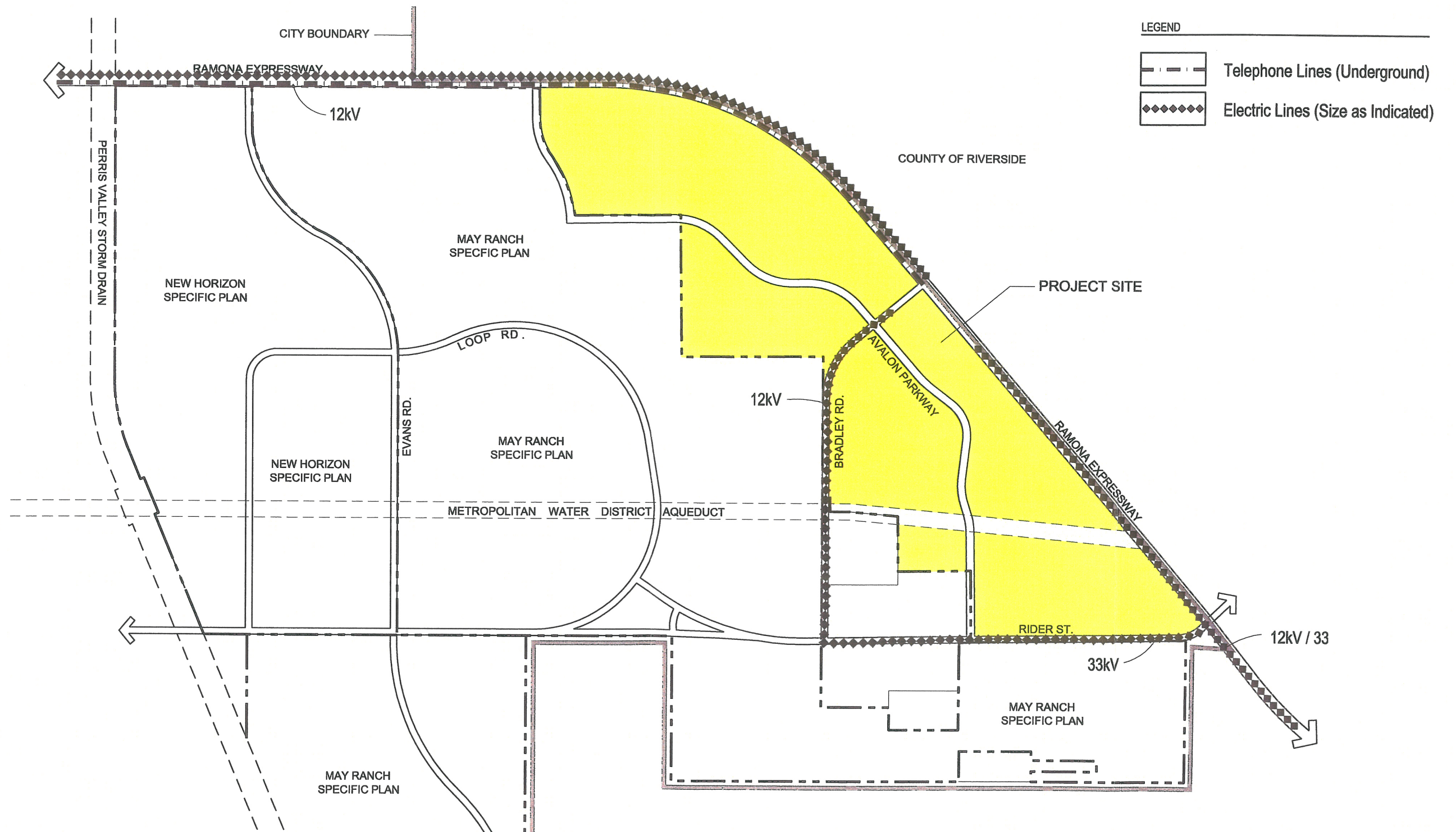
General Circulation Roadways
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FIGURE 3-2



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FIGURE 3-3



Existing Utilities

3.2.5 Storm Drains

Storm Drain Facilities in the vicinity of the project site include two temporary 5-foot by 7-foot trapezoidal channels that parallel Morgan and Rider Streets and discharge into the Perris Valley Storm Drain located approximately three-quarters of a mile to the west. The Riverside County Flood Control and Conservation District (RCFCD) and the County Transportation Department have both recommended that all streets be designed for a ten-year storm runoff. Project drainage design does conform with the adopted RCFCD, Perris Valley Area Drainage Plan.

3.2.6 Parks and Recreation

There are currently eight operating parks within the City of Perris. Regional recreational facilities also exist at Lake Perris State Recreation Area which is located immediately north of the Ramona Expressway. According to the Perris General Plan, the city supports development of neighborhood parks in new development. The Project is proposing two city-owned public parks to serve the future development of Villages of Avalon. A park maintenance district or a community facilities district will be established to maintain these facilities.

The City of Perris General Plan recognizes trails within the project vicinity as depicted in Figure 3-4, Existing Trails. This includes the Ramona Expressway Trail and the MWD Easement Trail. The Ramona Expressway Trail follows the Ramona Expressway which connects Lake Perris to Lake Mathews. The MWD Easement Trail is identified in the City of Perris General Plan as a Local Trail. This trail extends easterly from the Ramona Expressway through the project site along the MWD aqueduct linking into existing parks elsewhere in the City. A bicycle lane will be provided within the project boundary along McCanna Ranch Road.

3.2.7 Schools

Specific Plan Amendment No. 1 identified an elementary school site to be purchased by the Val Verde Unified School District. The school alternative is as follows:

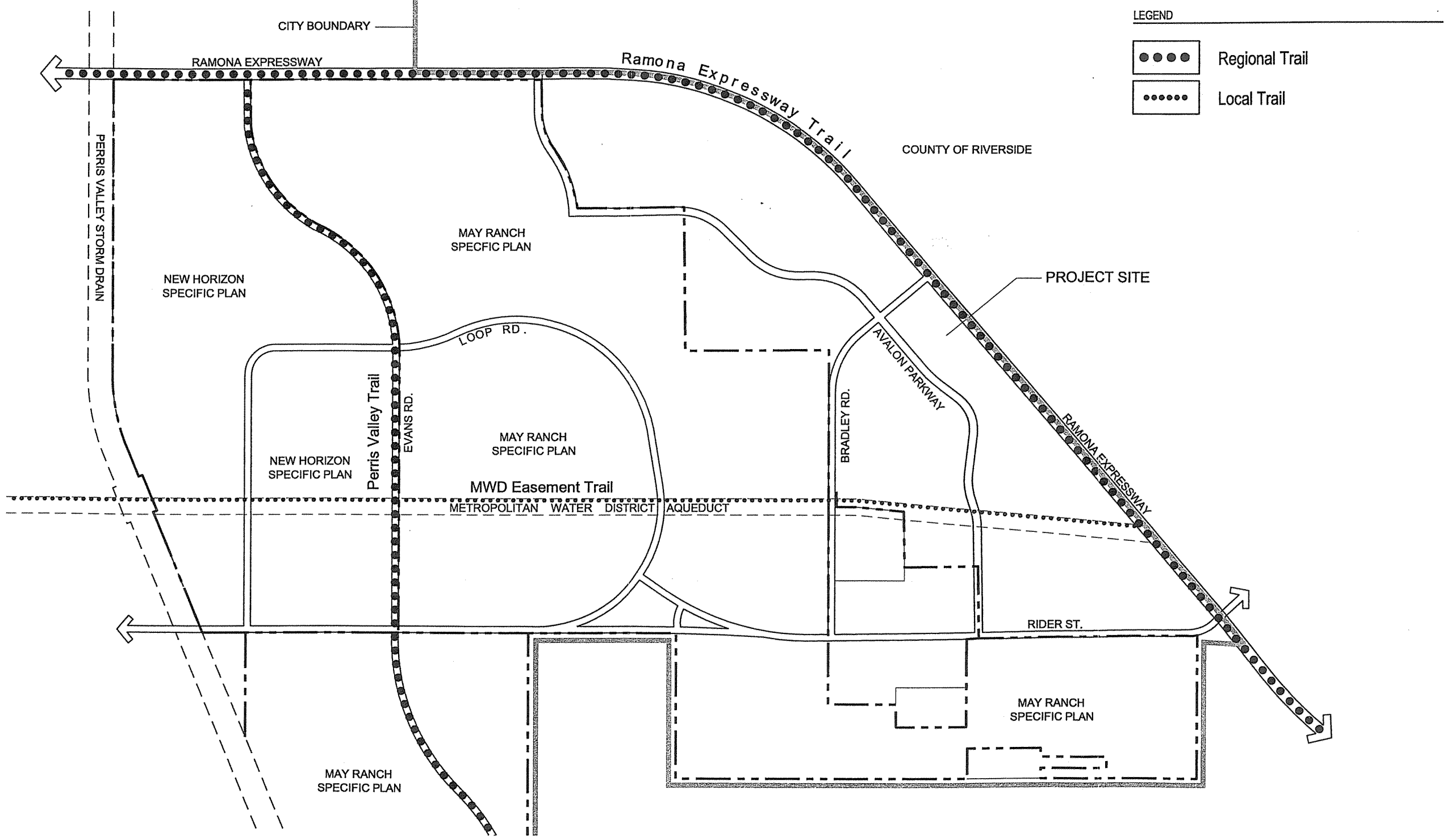
Specific Plan Amendment School Alternative B:

This alternative assumes that the Val Verde Unified School District only receives state financing for construction of the elementary school. This option authorizes a 10.18 acre elementary school with 32 residential lots in Final Tract 22832. In addition, a total of 147 residential lots will be developed in place of the middle school site and the 33 residential lots identified under School Alternative A. The combined total residential lots between Final Tract 22832 and Final Tract 22833 is 179 units. Thus, the maximum number of residential units allowed under School Alternative B is 1,275 units.

3.3 POLICE AND FIRE PROTECTION

Police protection is will be provided by the Perris Police department. Response times to the site would be approximately 3-5 minutes. Fire protection to the site will continue to be provided by the Riverside county Fire Department under agreement with the City of Perris.

FIGURE 3-4



LEGEND

- Regional Trail (Line with large dots)
- Local Trail (Line with small dots)

The Keith Companies **TKC**

Villages of Avalon Specific Plan Amendment No. 2

GENERAL PLAN CONSISTENCY ANALYSIS

4.0 GENERAL PLAN CONSISTENCY ANALYSIS

4.1 INTRODUCTION

The Villages of Avalon Specific Plan Amendment No. 2 has been developed to respond to all opportunities and constraints presented by the physical, environmental and jurisdictional conditions of the site. Section 5.0 of the Specific Plan discusses in detail how the plan has been designed for harmony with the various conditions. This section will evaluate the specific plan's compatibility with goals, policies and objectives of the City of Perris General Plan.

4.2 GENERAL PLAN GOALS AND POLICIES

4.2.1 Land Use Element

The proposed development is located in the City of Perris. The City of Perris Zoning Map designates the site as Villages of Avalon SP. As illustrated in Figure 4-1, surrounding zoning includes May Ranch SP and New Horizons SP to the west; May Ranch SP, R4 (Residential) and RR/A (Rural Residential/Agricultural), which is proposed to be re-zoned to R-14 to the south; and under the County of Riverside jurisdiction, W-2 (Controlled Development) to the east and north. The site currently supports predominantly agricultural use with several new residential structures located on the property.

Specific Plan Amendment No. 2 conforms with the goals and policies of the Land Use Element of the City's General Plan. A discussion of the most applicable goals, policies and related Villages of Avalon programs are given below.

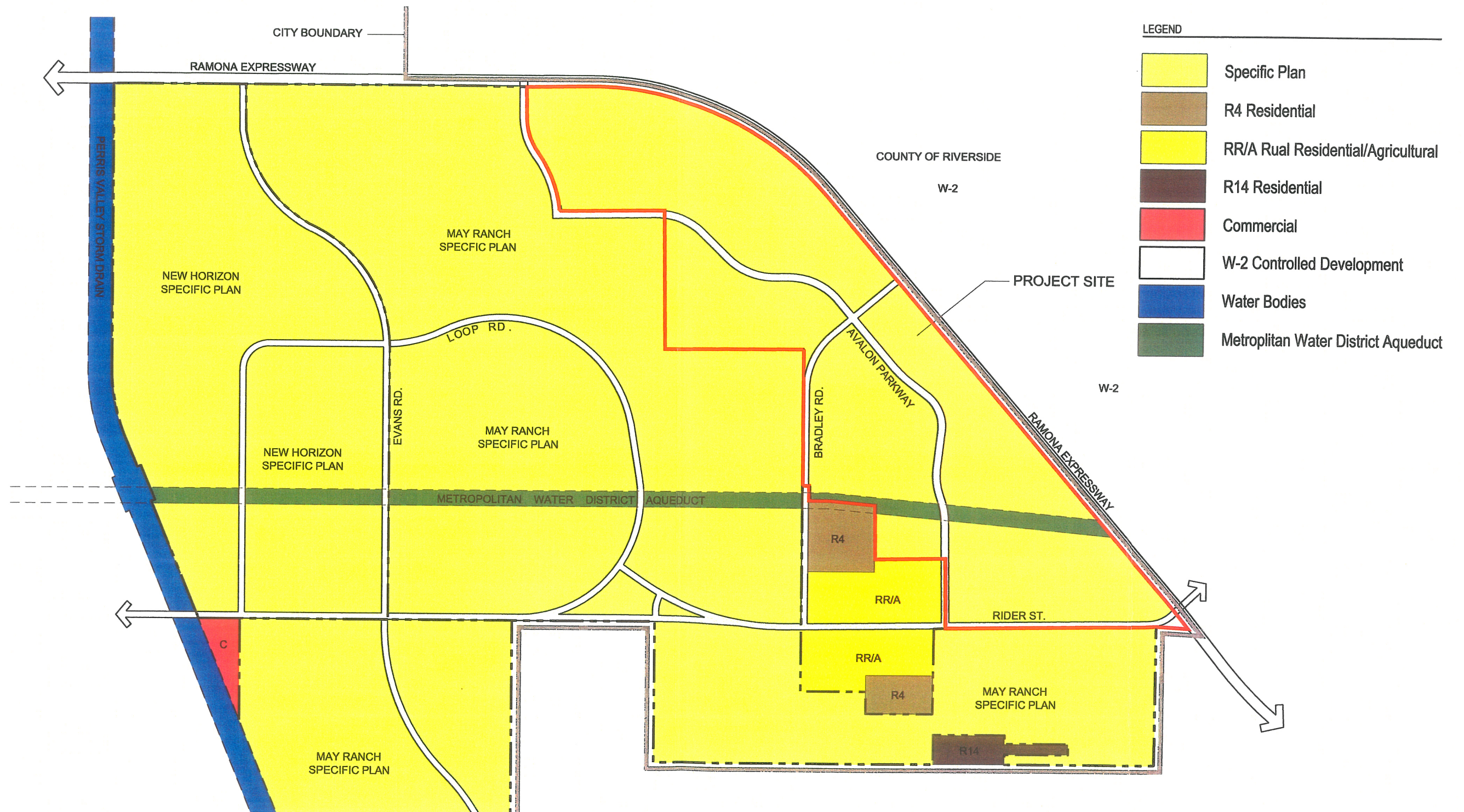
Land Use Goal

Provide a mix of land use types and insure their compatibility throughout the planning area

Villages of Avalon Land Use Program

The major objective of the proposed project is to provide family-oriented detached single-family dwellings in a community-oriented setting. The project contains individual neighborhoods containing a variety of lot sizes and product types that are oriented to two internal parks and a private recreation facility.

FIGURE 4-1



Existing Zoning

GENERAL PLAN CONSISTENCY ANALYSIS

4.2.2 Natural Hazards and Public Safety Element

The emphasis of the City of Perris Natural Hazards and Natural Hazards and Public Safety Element is to protect the citizens. The natural hazards and public safety elements are combined into one document and share a common set of goals and policies. The project has been designed to be in conformance with the provisions of this element. Given below are the goals and the most applicable policies with related programs.

City Drainage Goal

Encourage a comprehensive approach to drainage problems in large areas that are prone to sheet-flows and shallow flooding.

Villages of Avalon Drainage Program

Streets will be designed to accommodate 10-year storm flows according to the County Flood Control District standards. Off-site drainage facilities will also be provided. Planned improvements will comply with the RCFCD Perris Valley Area Drainage Plan.

City Drainage Goal

Approved developments shall not result in the diversion of storm runoff into adjacent properties, nor cause any undue alteration of natural drainage courses that cannot be handled by existing or proposed storm drainage and flood control improvements. Compliance with the recommendations and conditions of the Riverside County Department of Flood Control and Water Conservation shall be required prior to development approval.

Villages of Avalon Drainage Program

The formation of a community facilities district is planned to include all properties within the development, in order to finance the necessary public storm drain improvements required by the Riverside County Flood Control District.

City Noise Policy (interior)

Developments that are proposed within intensified impact zones along highways, arterial or collector streets, and rail facilities shall be required to incorporate measures to reduce traffic noise impacts to acceptable levels, especially higher density residential uses. Such measures shall include an acceptable and effective combination of earth berms, landscape buffers, and architectural insulation features sufficient to reduce interior noise levels to 45 dB(A).

GENERAL PLAN CONSISTENCY ANALYSIS

Villages of Avalon Noise Program (interior)

All uses will meet all applicable jurisdictional noise standards and regulations.

City Noise Policy (exterior)

Residential construction shall be strongly discouraged in those areas where exterior noise levels exceed Line 65 dB(A), especially within the March Air Reserve Base aircraft noise impact contours as depicted in the AICUZ Report dated October 1998. This report should be used as a guide in determining the appropriate type of land uses as well as appropriate noise mitigation measures to be used within these impact zones.

Villages of Avalon Noise Program (exterior)

The development is not located in an area where existing or projected future exterior noise levels from aircraft exceed 65 dB(A).

City Fire Protection Policy

Each development must prove the existence of a sufficient water supply and pressure level that is adequate for the suppression of structural fires. Required water lines and fire hydrants must be installed in accordance with the standards of the County of Riverside Fire Department.

Villages of Avalon Fire Protection Program

The water provider for the Project shall ensure that there is an adequate supply and pressure of water to meet fire flow requirements. All water mains and hydrants will be constructed to all applicable jurisdictional standards and regulations.

4.2.3 Infrastructure and Public Services Element

The emphasis of the City of Perris Infrastructure and Public Services Element is to support both existing and proposed development with services which include streets, water mains sewage collection lines and storm drain facilities.

City Sewage Disposal Policy

All provisions for sewage disposal within any approved land division or development project within the City of Perris shall meet the standards of the Riverside County Department of Health and the Regional Water Quality Control Board.

GENERAL PLAN CONSISTENCY ANALYSIS

Villages of Avalon Sewage Disposal Program

The EMWD has master planned a gravity sewer main in Morgan Street from Bradley Avenue to an existing 8-inch force main located on Redlands Avenue. The planned improvements will be constructed to meet all applicable jurisdictional standards and regulations.

City Circulation Policy

Improved street access shall be provided to all new parcels in accordance with the standards of the City of Perris Circulation Element and applicable sections of the subdivision ordinance.

Villages of Avalon Circulation Program

A well-balanced transportation network has been designed for the project that is adequately sized for safe and efficient movement of people and goods. A street system consisting of major public arterials, secondary roads, collector streets and local streets is planned.

City Circulation Policy

Local street patterns shall be logically related to the overall network of arterial and collector streets as provided for in the circulation network. Driveway entrances onto surrounding arterial, secondary and major streets should be restricted in all possible instances, and through traffic on interior residential streets should be minimized.

Villages of Avalon Circulation Program

Residential neighborhoods will be accessed by local streets and will not be traversed by heavy through traffic. Driveways will not enter onto arterial and major secondary streets.

4.2.4 Environmental Resources, Conservation and Open Space Element

The emphasis of this element is to retain open space to preserve its scenic character and to protect plant and wildlife communities. Land should also be set aside to satisfy the recreational, educational and other public needs of the city's future population.

City Recreational Policy

Encourage the development of a system of community parks and recreational facilities for a recreational and open space resource for the residents of the Perris Valley Region.

GENERAL PLAN CONSISTENCY ANALYSIS

Villages of Avalon Recreational Program

A significant portion of the property will be dedicated to recreational and open spaces, including 12.23 acres of public parks.

City Recreational Policy

Means should be found by which open space and natural areas within the city can be linked in order to form a system of recreational trails as well as provide a scenic backdrop to the city's physical form of projected urban growth.

Villages of Avalon Recreational Program

A parks system is planned that will provide active as well as passive recreational opportunities. The Ramona Expressway and Colorado River Aqueduct trails will enhance these opportunities.

City Recreational Policy

The city should consider requiring developers to make dedication of parkland or pay in lieu park fees based on the number of residential units, as a condition of subdivision map approval.

Villages of Avalon Recreational Program

The developer will dedicate 12.23 acres of parkland to the City of Perris as well as pay a prorated in lieu fee for park improvements. A park maintenance district or other financing district will be established to maintain these facilities.

4.2.5 Historic, Community and Scenic Resources Element

The emphasis of the City of Perris Historic, Community and Scenic Resources Element is to preserve historical structures and districts that have particular historic value as to their architectural styles and to provide a high quality of aesthetic design to new development with the City of Perris.

City Goal

Efforts shall be made to identify and preserve any significant archaeological resources on or surrounding the site of proposed development.

GENERAL PLAN CONSISTENCY ANALYSIS

Villages of Avalon Program

The developer has retained a qualified archaeological professional to survey the site as part of the environmental planning process. Survey results indicate no identified archaeological or historical resources on or immediately adjacent to the proposed project site.

City Goal

A high quality of aesthetic design should be encouraged in the development of the city's residential areas. Effective landscaping treatment should be required as part of all new developments.

Villages of Avalon Program

A licensed landscape architect, retained by the project developer, is working as an integral part of the Villages of Avalon design team to insure that overall project design will be coordinated and cohesive through its landscaping program.

5.0 SPECIFIC PLAN DEVELOPMENT

5.1 LAND USE AND DENSITY

Specific Plan Amendment No. 1 allowed three options which are contingent upon if the two school sites are purchased by the Val Verde Unified School District. Since the project approval of Specific Plan Amendment No. 1, the Val Verde Unified District only required the elementary school site, which is currently under construction. Thus, the Specific Plan Amendment No. 1 (No School Site) and Specific Plan Amendment School Alternative A are no longer viable. Specific Plan Amendment No. 2 with the removal of the Neighborhood Commercial site is as follows:

Specific Plan Amendment School Alternative B:

Under this alternative, the Val Verde Unified School District only receives state financing for construction of the elementary school. This alternative authorizes a 10.18 acre elementary school with 32 residential lots in Final Tract 22832. In addition, a total of 147 residential lots will be developed in place of the middle school site and the 33 residential lots identified under School Alternative A. The combined total residential lots between Final Tract 22832 and Final Tract 22833 is 179 units. Thus, the maximum number of residential units allowed under School Alternative B is 1,275 units. See Figure 5-1B.

This Amendment includes the following revisions to the Specific Plan Amendment No. 1:

- Removal of the 2.84-acre Neighborhood Commercial site, located along the easterly side of Bradley Road and adjacent to the Linear Park from the project boundary. The project boundary will be modified from 262.69 acres under Specific Plan No. 1 to approximately 259.85 acres under Specific Plan Amendment No. 2.

A General Plan Amendment/Change of Zone (GPA/CZ) for the 2.84-acre Neighborhood Commercial site will be filed with the City under a separate application. The GPA/CZ will be from Neighborhood Commercial to R-14. This GPA/CZ will be processed concurrently with a separate GPA/CZ application for the property to the immediate south.

5.1.1 Residential

The Villages of Avalon Specific Plan Amendment No. 2 will authorize a total of 1,275 single family detached dwelling units.

Three types of individual neighborhoods with varying densities will allow for a mix of product types and a diversity of lifestyles. Minimum lot sizes within the project will be 5,000 square feet, 4,000 square feet and 3,600 square feet in size in various tracts. The proposed minimum lot sizes are the same as the original Specific Plan.

SPECIFIC DEVELOPMENT PLAN

The Developer prepared a Design Guideline Handbook dated February 1989. This handbook included criteria for typical siting of units, typical floor-plans, typical elevations, typical construction materials, roof-mounted equipment, encroachments, etc. The Design Guidelines Handbook was approved to the Department of Community Development with the original Specific Plan. At this time, the Design Guidelines are proposed to be modified under the Specific Plan Amendment. These guidelines are submitted under a separate document.

The purpose of these Revised Design Guidelines, is to maintain a consistent quality of appearance and to assure compatibility of individual development tracts with the overall community theme. The architectural design guidelines establish certain requirements regarding materials, door/window treatments, roof-styles, building profiles/massing, landscaping, signage and lighting, fencing, and walls.

The Revised Design Guidelines are intended to assure that the theme of the Project is carried throughout the various phases of the Project. Community-wide architectural elements such as signage, lighting fixtures, awnings, walls, fencing, and a community logo will be designed in conjunction with the first development phase and will be used throughout the community.

A selected range of materials and styles were determined to allow individual character within the development area or tract. Architectural standards will be imposed and controlled by the developer to assure compatibility of individual development tracts with the same distinctive community theme.

The residential neighborhoods are broken down into the following designations:

R-5000

Specific Plan Amendment Alternative B will include four R-5,000 neighborhoods with up to 206 dwelling units on 41.29 acres at a density of 4.99 du/ac.

R-4000

There are four R-4,000 neighborhoods proposed within Specific Plan Amendment School B. Under Alternative B, four R-4,000 neighborhoods with up to 838 dwelling units on 131.90 acres at a density of 6.36 du/ac is authorized.

R-3600

There is one R-3600 neighborhood proposed under the School Alternative B bounded by Bradley Road, Avalon Parkway and the Ramona Expressway. This category will permit development of up to 231 dwelling units on 33.83 acres at a density of 6.83 du/ac.

SPECIFIC DEVELOPMENT PLAN

As precise engineering is completed on subsequent tract maps within the project area, changes in street alignments and the relocation of target numbers of housing types may occur. These changes will be considered consistent with the Specific Plan Amendment No. 2 provided the maximum number of 1,275 dwelling units is not exceeded with the inclusion of the elementary school site (Alternative B).

SPECIFIC DEVELOPMENT PLAN

Figure 5-1 Specific Plan Amendment Land Use Plan (No School Site)

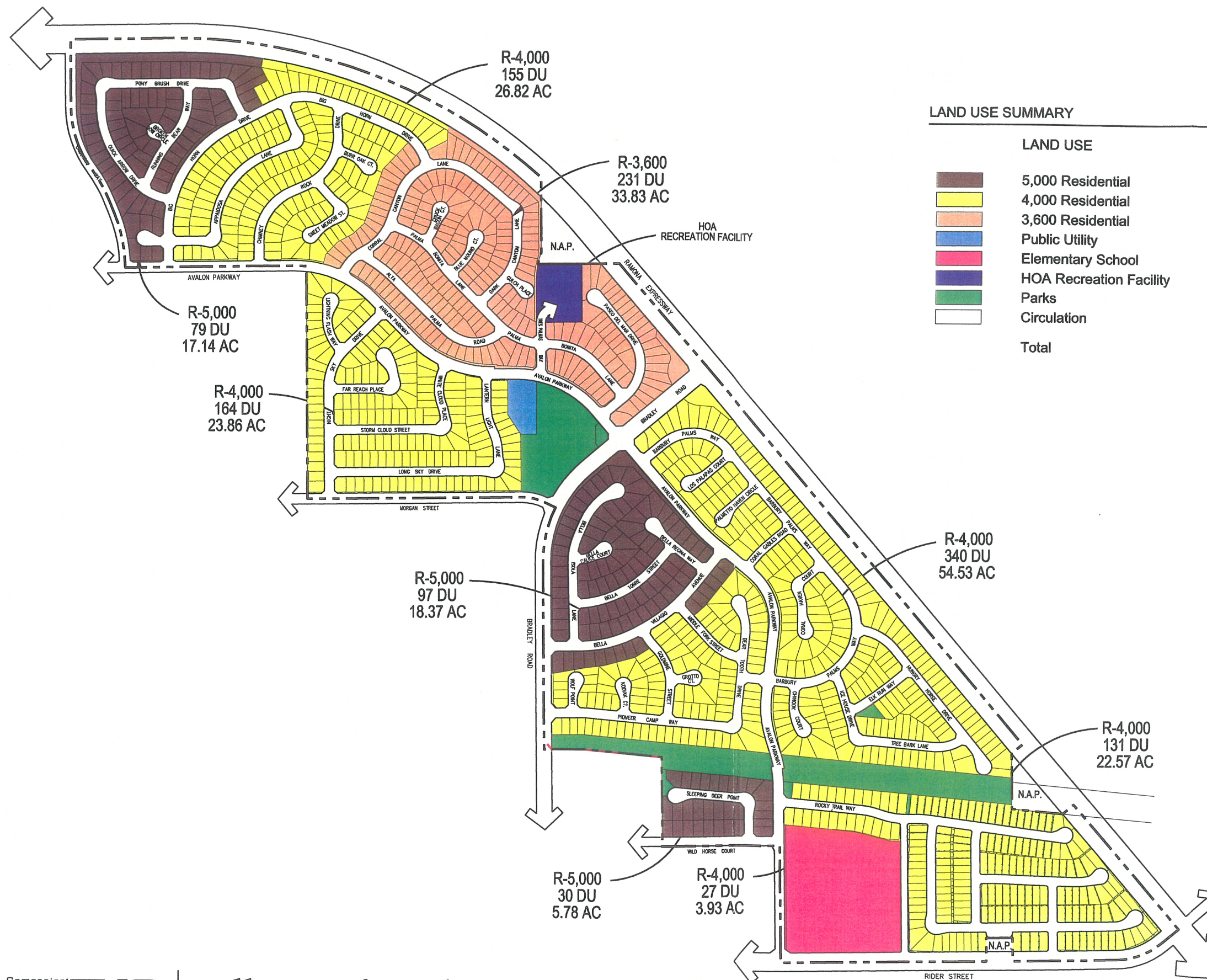
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SPECIFIC DEVELOPMENT PLAN

Figure 5-1A Specific Plan Amendment Alternative A

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FIGURE 5-1B

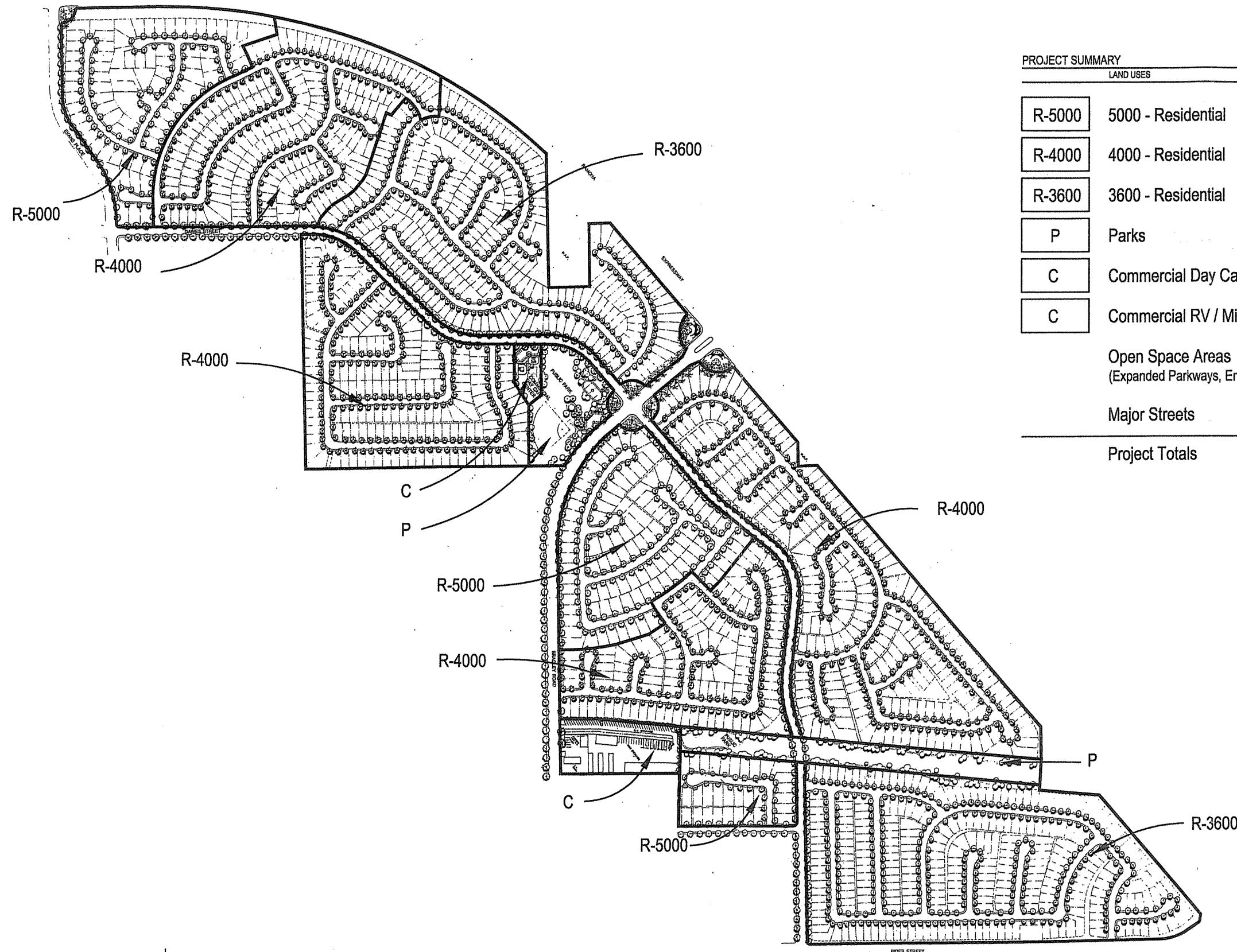


LAND USE SUMMARY

LAND USE	DWELLING UNITS	ACRES	DENSITY
5,000 Residential	206	41.29	4.99
4,000 Residential	838	131.70	6.36
3,600 Residential	231	33.83	6.83
Public Utility	N/A	1.06	N/A
Elementary School	N/A	10.18	N/A
HOA Recreation Facility	N/A	1.96	N/A
Parks	N/A	12.23	N/A
Circulation	N/A	27.60	N/A
Total	1,275	259.85	4.9

Specific Plan Amendment Land Use Plan / School Alternative B
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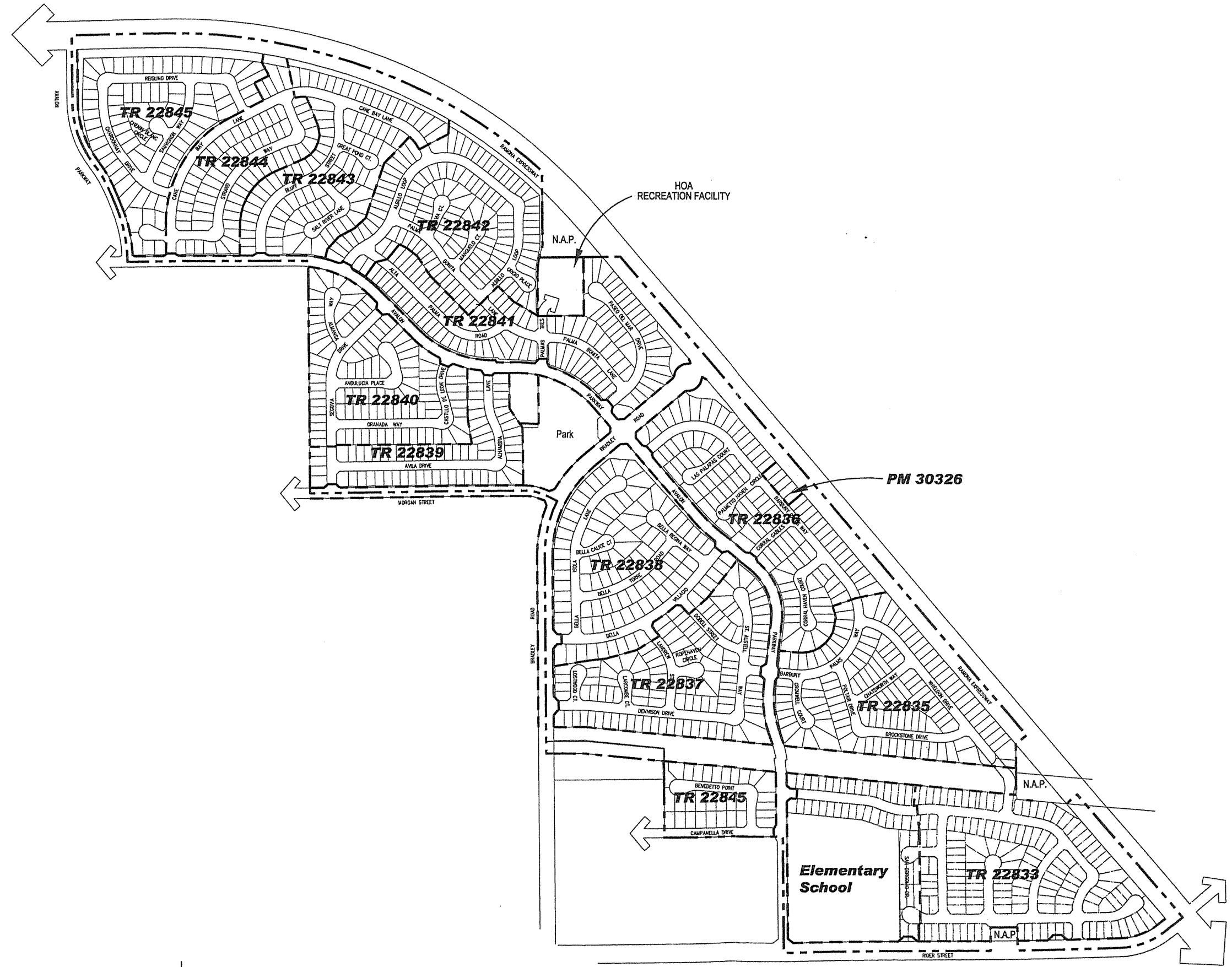
FIGURE 5-2



PROJECT SUMMARY

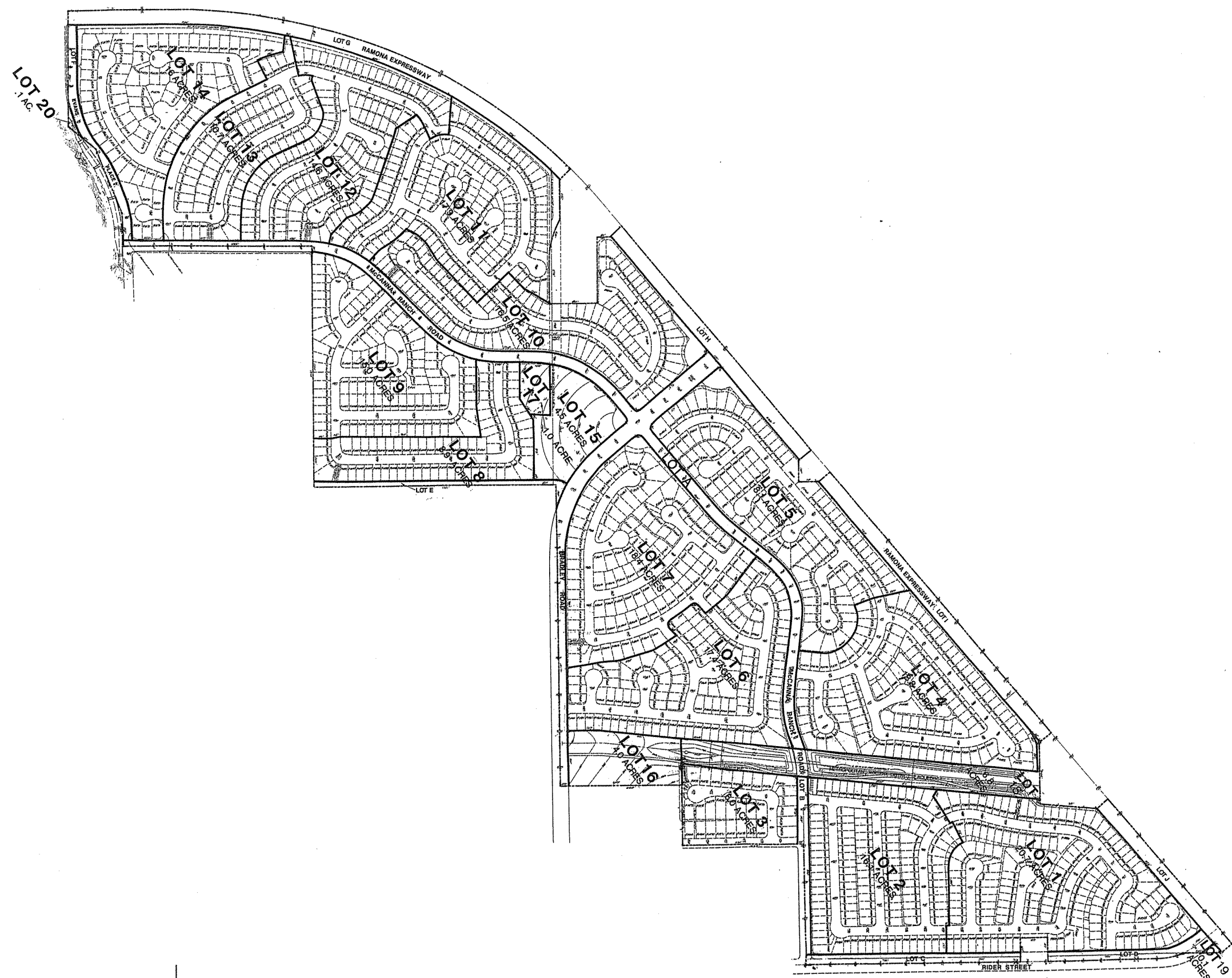
LAND USES	AC.	DENSITY	D.U.
R-5000 5000 - Residential	42	5.0	210
R-4000 4000 - Residential	105	6.3	665
R-3600 3600 - Residential	72	7.0	505
P Parks	11.3	NA	NA
C Commercial Day Care Center	1	NA	NA
C Commercial RV / Mini Storage	4	NA	NA
Open Space Areas (Expanded Parkways, Entries)	4	NA	NA
Major Streets	5.7	NA	NA
Project Totals	245	5.6	1380

FIGURE 5-3



Apprpved Master Tentative Tracts
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FIGURE 5-4



5.1.2 Circulation

The Villages of Avalon devotes 27.60-acres to a major street system through and adjacent to the site. Local roadway connections to residential planning areas have been designed to allow safe and efficient internal circulation and access.

5.1.3 Public Utility Facility

A 1.06 acre site for a public utility water provider will be constructed adjacent to the Community Park. This site is authorized as a permitted use based on previous approval from the Public Utility Commission.

5.1.4 Schools

Specific Plan Amendment No.1 allowed for two school alternatives which are contingent upon if the two school sites are purchased by the Val Verde Unified School District. Specific Plan Amendment School Alternative A entitles both the elementary school and the middle school site. See Figure 5-1A, Specific Plan Land Use Plan. The maximum number of residential dwelling units allowed under Alternative A is 1,155 units. Alternative B comprises construction of only the 10.18 acre elementary school (See Figure 5-1B). The maximum number of residential dwelling units allowed under this option is 1,275 units.

Since the project approval of Specific Plan Amendment No. 1, the Val Verde Unified District only required the elementary school site, which is currently under construction.

5.1.5 Open Space and Recreation

The Villages of Avalon Specific Plan Amendment will devote 12.23 acres to public park and recreational uses, including a 7.83 acre public linear park located along the MWD's Colorado River Aqueduct right-of-way. A second public 4.40 acre park is proposed adjacent to Bradley Road in the central portion of the project site. This community park and recreation area will feature a variety of outdoor recreational amenities including: open plan lawn area, multi-purpose basketball and volleyball court, barbecue area, and softball field. The two parks are shown in Figures 5-9A and 5-11. Open space areas and home owners' association areas are provided at the major community entry and along the Ramona Expressway, Bradley Road and Avalon Parkway.

5.2 HOUSING PROGRAM

The major objective of Villages of Avalon is to provide detached single-family dwellings in a balanced family-oriented community setting. A variety of neighborhoods featuring diverse lot and home styles will satisfy a broad spectrum of lifestyles. Such a diversity of housing is intended to appeal to several market segments, including singles, couples, young families, move-up families, and the retired.

Typical housing types within Villages of Avalon will be organized according to three density categories and include:

- (1) The R-5,000 residential areas are established for the development as follows:
 - School Alternative B: 206 dwelling units on 41.29 acres at a density of 4.99 du/ac.
- (2) The R-4,000 residential neighborhoods are established for the development as follows:
 - Alternative B: 838 dwelling units on 131.90 acres at a density of 6.39 du/ac.
- (3) The R-3,600 residential neighborhoods are established for development as follows:
 - Alternative B: 231 dwelling units on 33.83 acres at a density of 6.83 du/ac.

5.3 MASTER CIRCULATION PLAN

The proposed roadway circulation system for Villages of Avalon contains roadway widths, alignments, and access locations that respond to the traffic service needs of the project as indicated on the Master Circulation Plan (see Figure 5-5 and 5-6).

The site is currently serviced by Ramona Expressway which has an interchange with Interstate 215 (I-215) approximately three miles west of the site. Ramona Expressway is designated as an Expressway on the County of Riverside Master Plan of Highways (see Figure 5-5). Ramona Expressway will be expanded to its master plan width during development of the Project.

Bradley Road is a secondary (88 foot right-of-way) roadway which runs north-south through the project site and will act as the primary entry into Villages of Avalon. The intersection that currently exists at Bradley Road and the Ramona Expressway occurs on an inside curve of the Ramona Expressway and does not meet the minimum Riverside County standard for tangents approaching a major intersection. Any increase in road usage as the result of future development in the area could contribute to a potentially dangerous condition at this intersection. As a result, future relocation of the Bradley Road and Ramona Expressway intersection is proposed as part of the Villages of Avalon Specific Plan Amendment to mitigate access difficulties and further establish a main entry into the community. The relocation also results in a more logical intersection spacing along the Ramona Expressway.

SPECIFIC DEVELOPMENT PLAN

In addition, based on the recommendation of the project's traffic engineer, the section of Bradley Road between the Ramona Expressway and Avalon Parkway will be upgraded to a major (100 foot right-of-way) roadway.

5.3.1 Streetscape Goals and Objectives

Villages of Avalon is envisioned as a high quality family-oriented master planned community. Through strong cohesive community design, Villages of Avalon will offer not just a desirable living environment, but a way of life for the future residents. Major amenities that will provide much of the community's attraction include a very distinctive entry statement at the intersection of Bradley Road and the Ramona Expressway utilizing landscaped buffers, colorful ground covers, accent trees and water features; a community park and recreation area; a public linear park; public facilities; neighborhood commercial uses for the community and attractive landscaped parkways providing a strong, visual connection throughout the development. Figure 5-7 and 5-8 illustrates a typical landscape cross section for Bradley Road and Avalon Parkway.

The entire community will be unified through consistent and coordinated application of entry and roadside hierarchy, recreational amenities, architecture and signage. The following is a discussion of each of these elements in greater detail.

5.3.2 Entry and Roadside Hierarchy

In order to reinforce the concept that Villages of Avalon is a distinct and desirable community, a logical entry and roadway hierarchy has been developed that coordinates closely with the open space and recreation programs. This concept contains the following features:

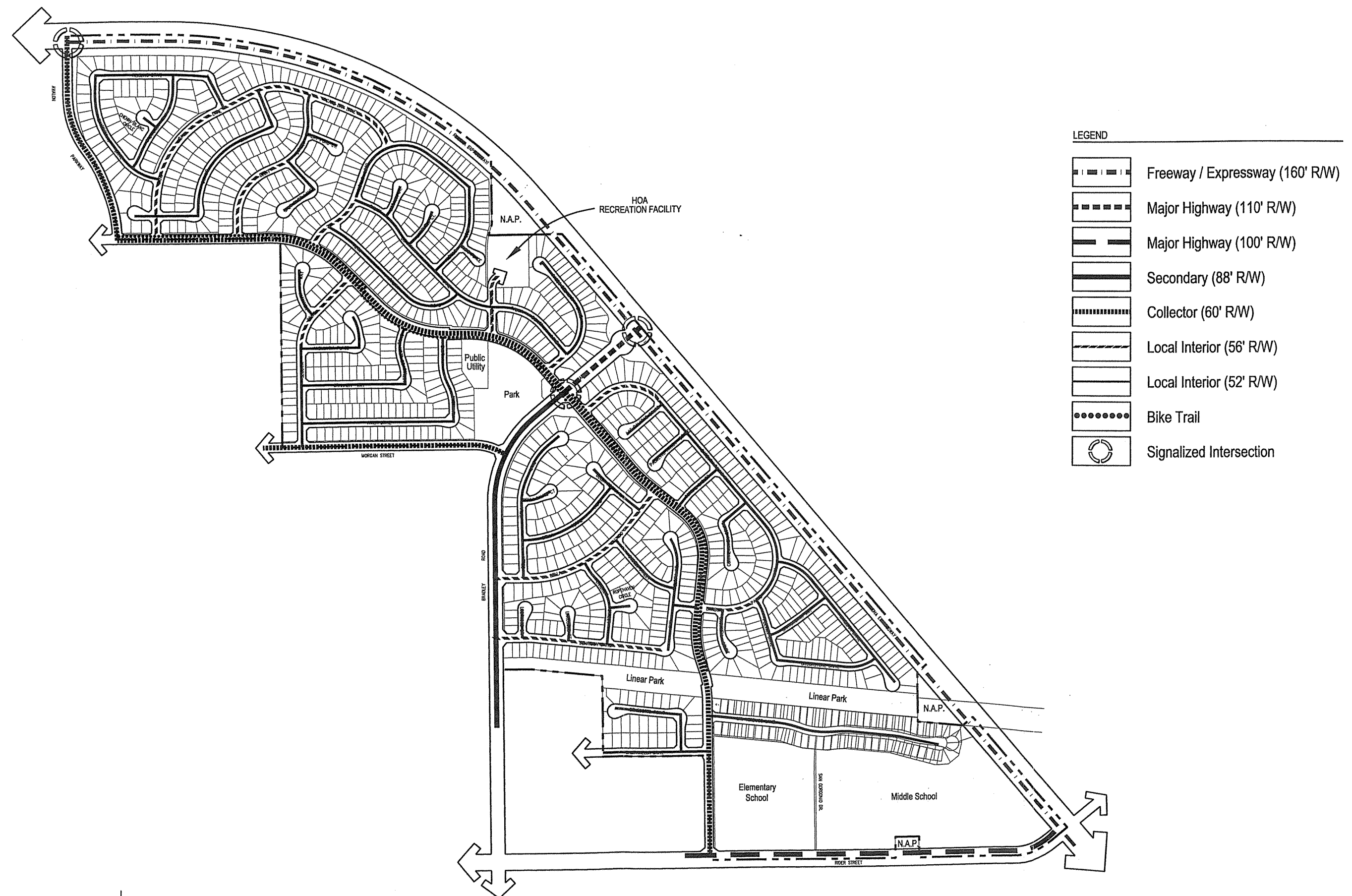
Major Community Entry

A prototypical illustration of the project entry monumentation at the intersection of Bradley Road and the Ramona Expressway is shown in Figure 5-9 and 5-10. This entry statement will incorporate landscaping, signage and community identification to effectively announce one's arrival at the community of Villages of Avalon.

Minor Community Entries

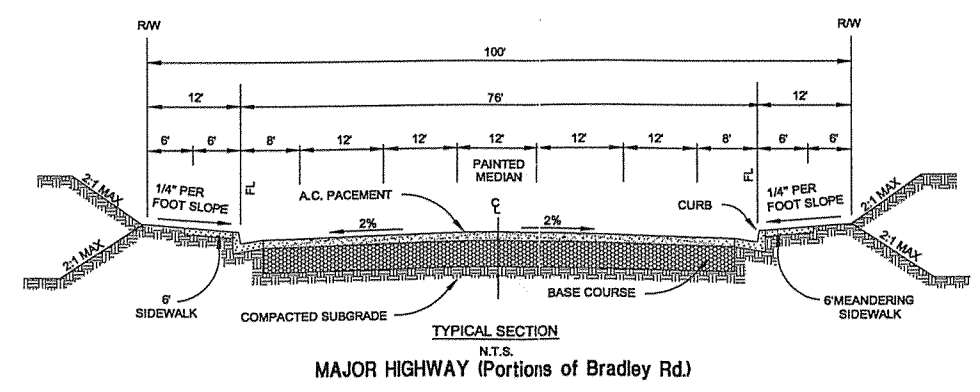
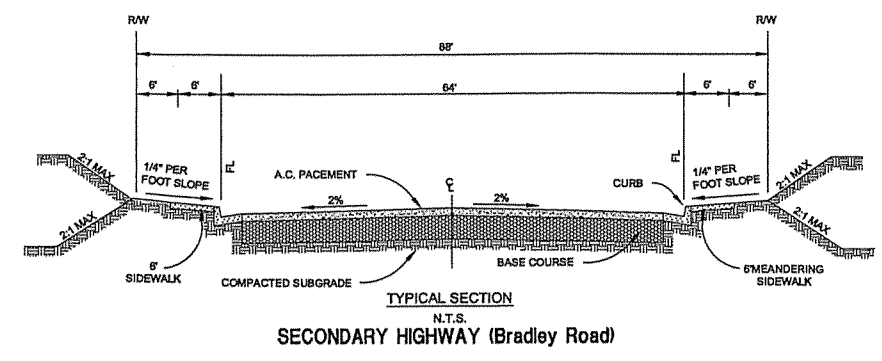
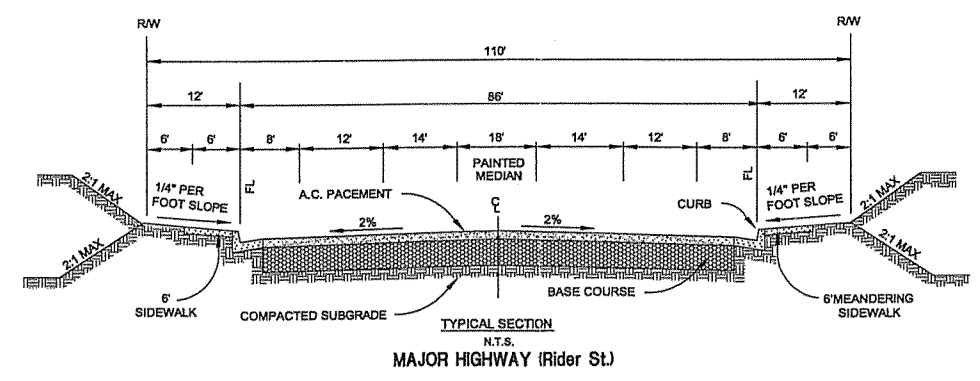
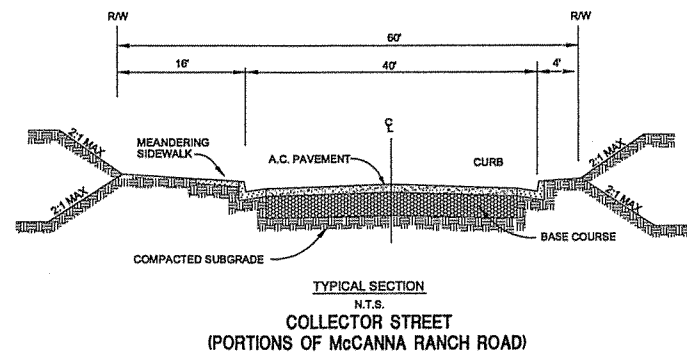
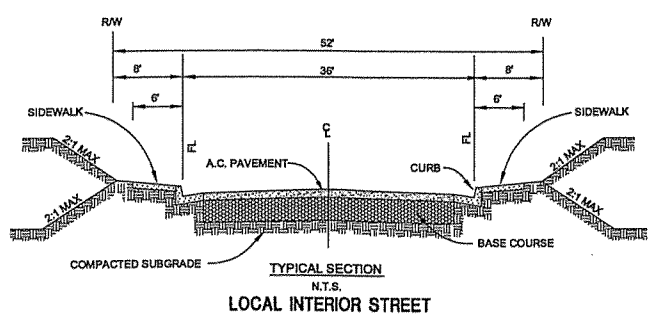
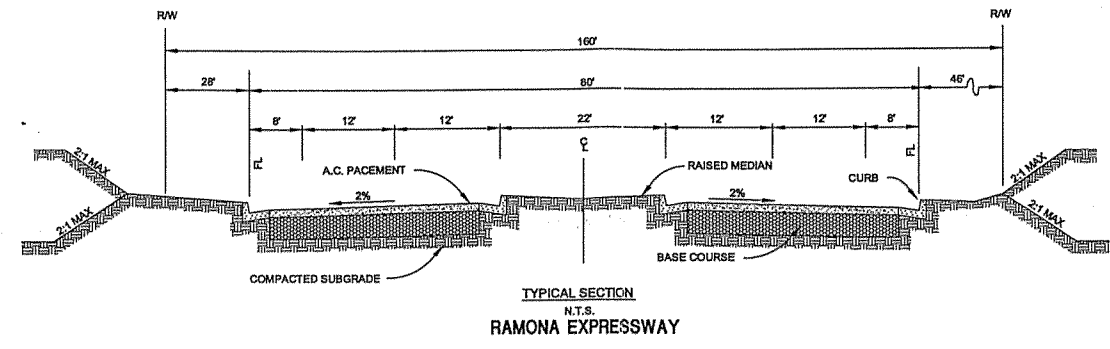
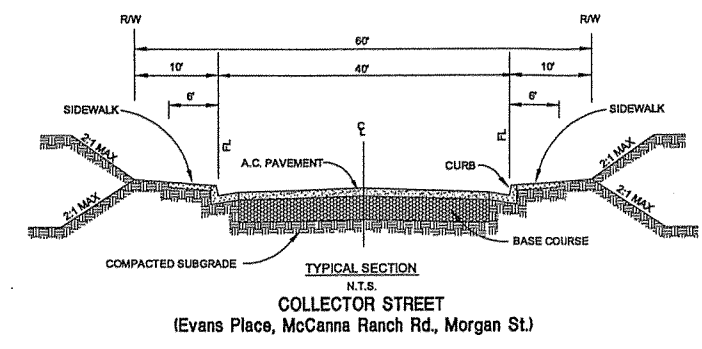
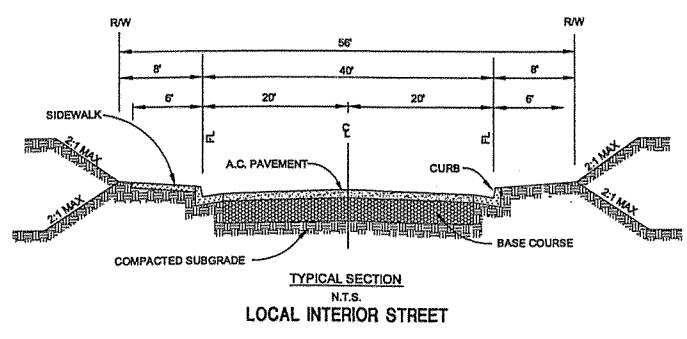
Minor community entries are planned on Evans and Rider Streets. These minor entries will also announce arrival at the community of Villages of Avalon but will be smaller in scale than the major community entry.

FIGURE 5-5



Master Circulation Plan
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FIGURE 5-6



Residential Neighborhood Edge Conditions

After entering the Villages of Avalon community, a traveler passes by the entry statement and community park and recreation area on their way to the residential areas as indicated on the Project Entry and Park Master Plan (see Figure 5-9 and 5-10). This edge condition is prevalent throughout much of the project. For this reason, the pedestrian system is located along the major project roads; Bradley Road and Avalon Parkway.

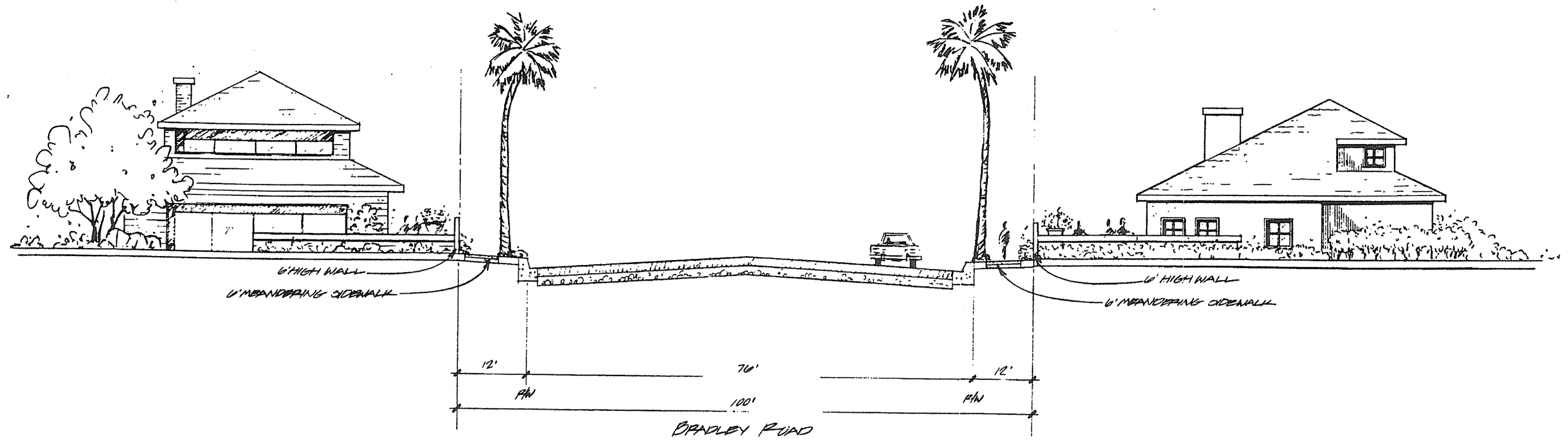
5.3.3 Streetscape Treatment and Landscape Design

Project streetscape treatments and landscaping will play a role in maintaining community continuity while emphasizing project design themes. Streetscapes and landscaping will also articulate community design elements such as the community parks and recreation areas, entry and roadway hierarchies as well as individual residential neighborhoods.

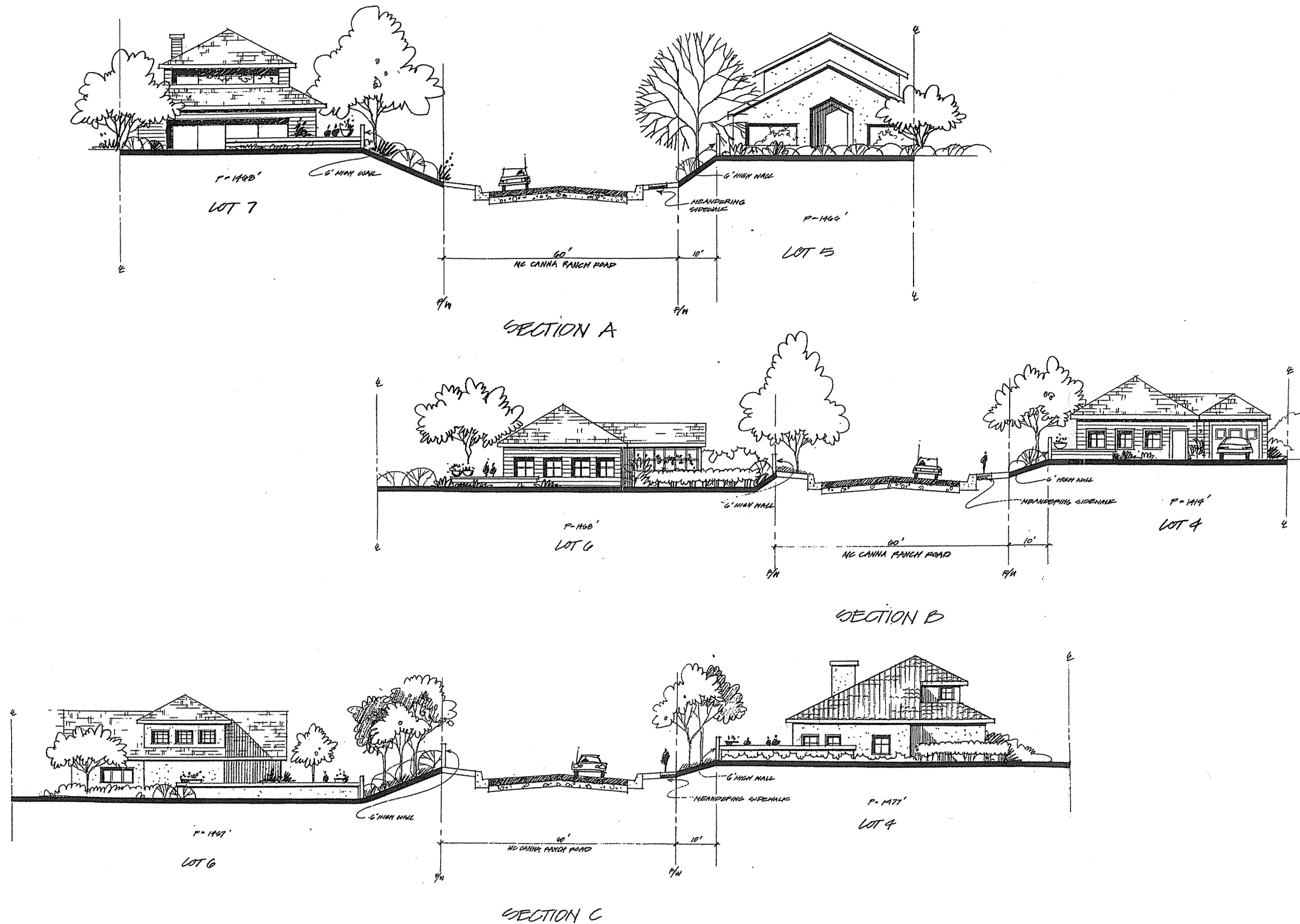
According to the development standards in Section 6.0 of this document, front yards in all residential areas will be landscaped by the builder. A minimum of one street tree is required for each residential lot.

Landscape corridors will be created along secondary roadways as illustrated in Figures 5-7 and 5-8 for Bradley Road and Avalon Parkway and to a lesser degree on collector streets where sidewalks are located. Landscaping along local residential streets will be smaller in size to reflect "human scale" and to convey an "at home" feeling.

FIGURE 5-7



Typical Landscape Cross-Section / Bradley Road
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5.4 OPEN SPACE AND RECREATIONAL PROGRAM

In support of the community and family orientation of Villages of Avalon, the project will provide an aesthetic and functional parks and open space system that responds to site conditions in its configuration and to anticipated demands of future residents. In all, approximately 12.23 acres of parks will be provided within the project, a level that far exceeds the city's current parks per population level.

Successful operation of maintenance districts and associations are important in maintaining quality in the project area. It is planned that maintenance responsibilities for project facilities will be removed from the City-wide landscape maintenance district and will then be provided by a Home Owners' Association or similar financing mechanism.

5.4.1 Linear Park

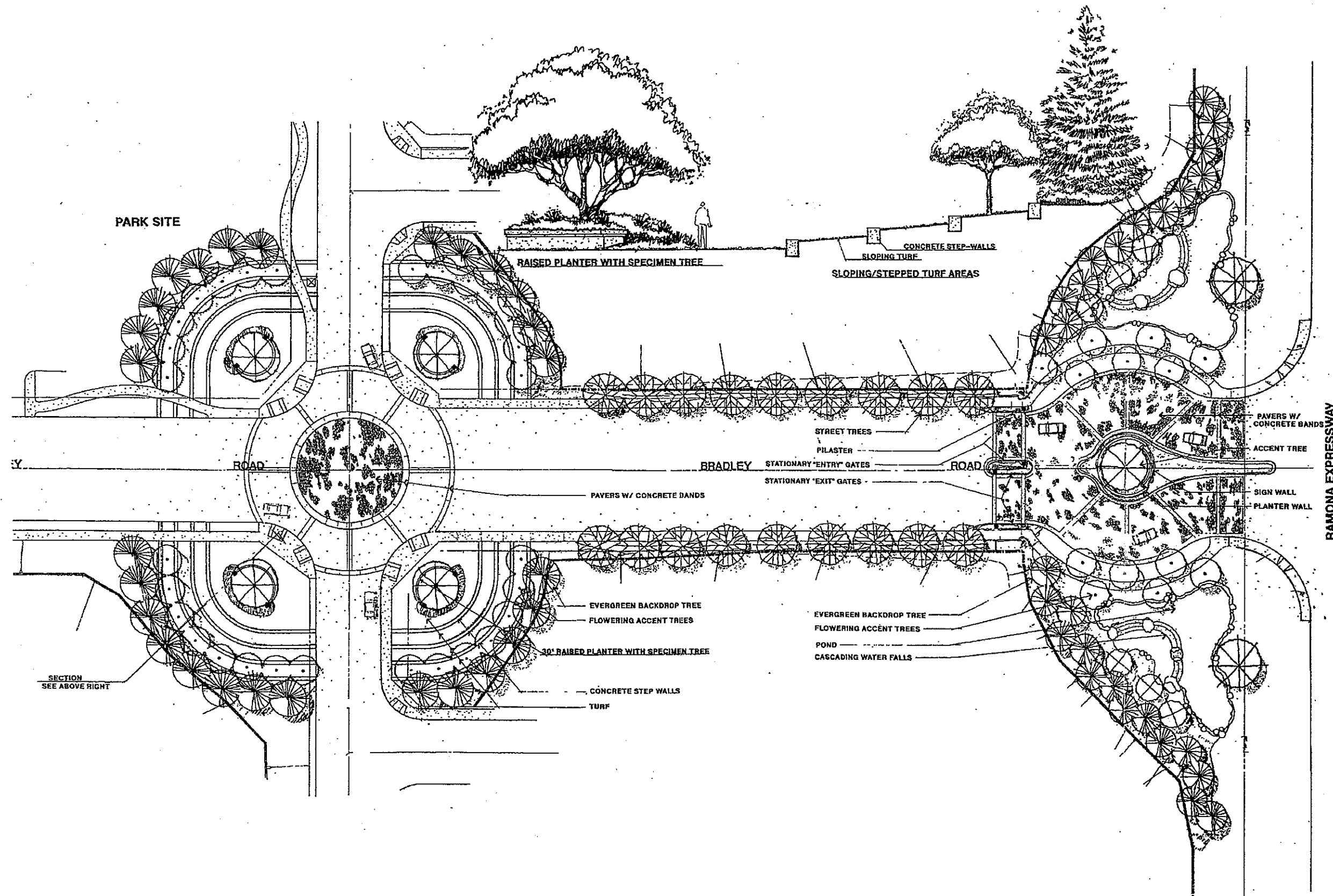
In keeping with the objective to promote a park-like atmosphere for the project, one large 7.83 acre linear shaped park is proposed to be located along the Metropolitan Water District's Colorado River Aqueduct right-of-way. This park is located in the southern portion of the project and is designed to provide residents with relief from the built environment as well as to serve as a source of non-vehicular access through the project. Figure 5-11 identifies the linear park. This park will be maintained by the City of Perris.

5.4.2 Community Park and Recreation Area

A 4.40 acre community park and recreation area will be centrally located at the corner of Bradley Road and Avalon Parkway. This facility will serve as the focal point of the Villages of Avalon community by providing such outdoor amenities as an open lawn plan area, multi-purpose basketball and volleyball court, barbecue area, and softball field. This community park will be maintained by the City of Perris.

A 1.96 acre private HOA maintained recreation area is proposed at the northeast corner of Bradley Road and Avalon Parkway off of Gulch Place. The homeowners' recreation area may include a volleyball court, swimming pool, picnic area, and parking. See Figure 5-9, 5-9A and 5-9B.

FIGURE 5-9



Project Entry and Park Master Plan
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FIGURE 5-9A

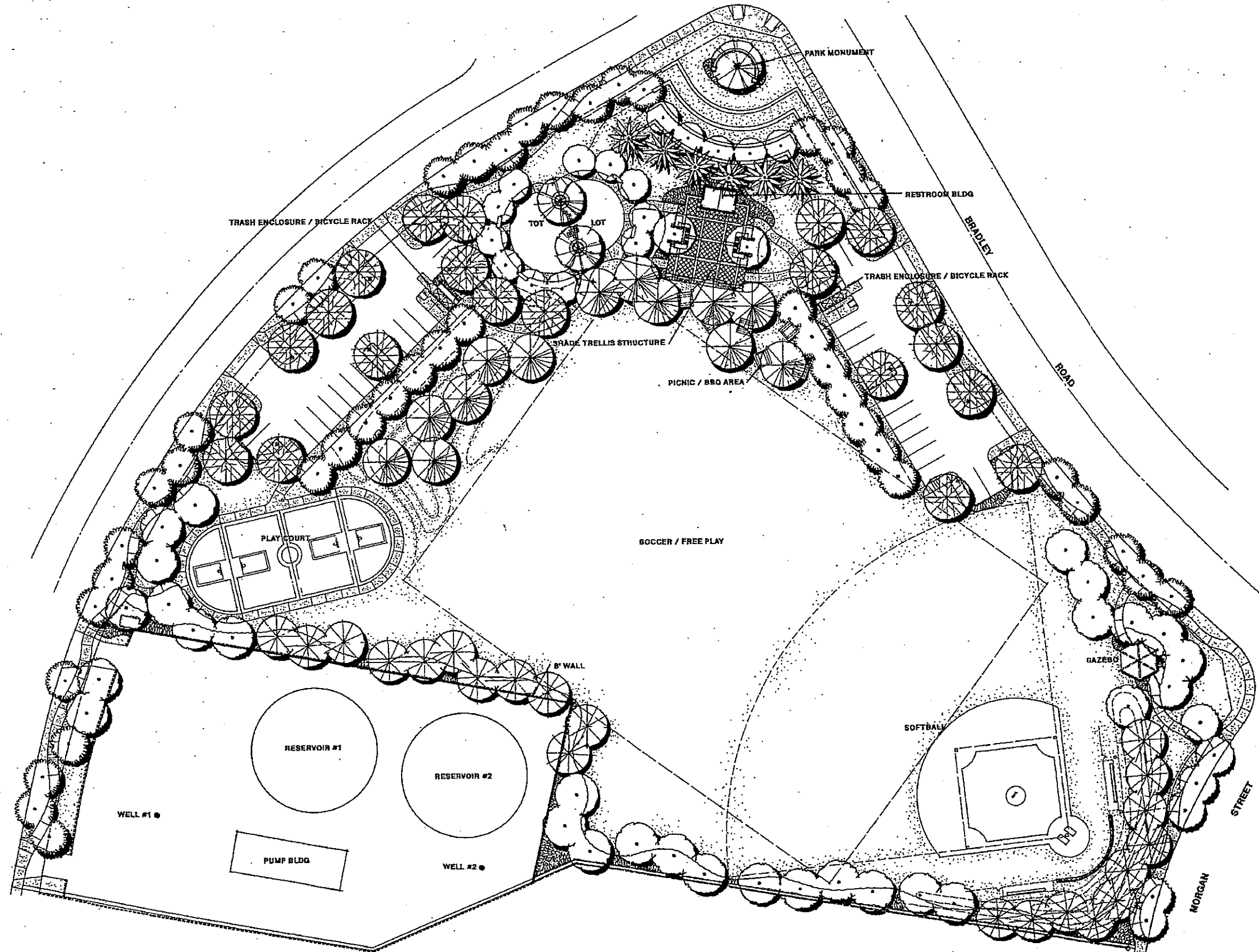


FIGURE 5-9B

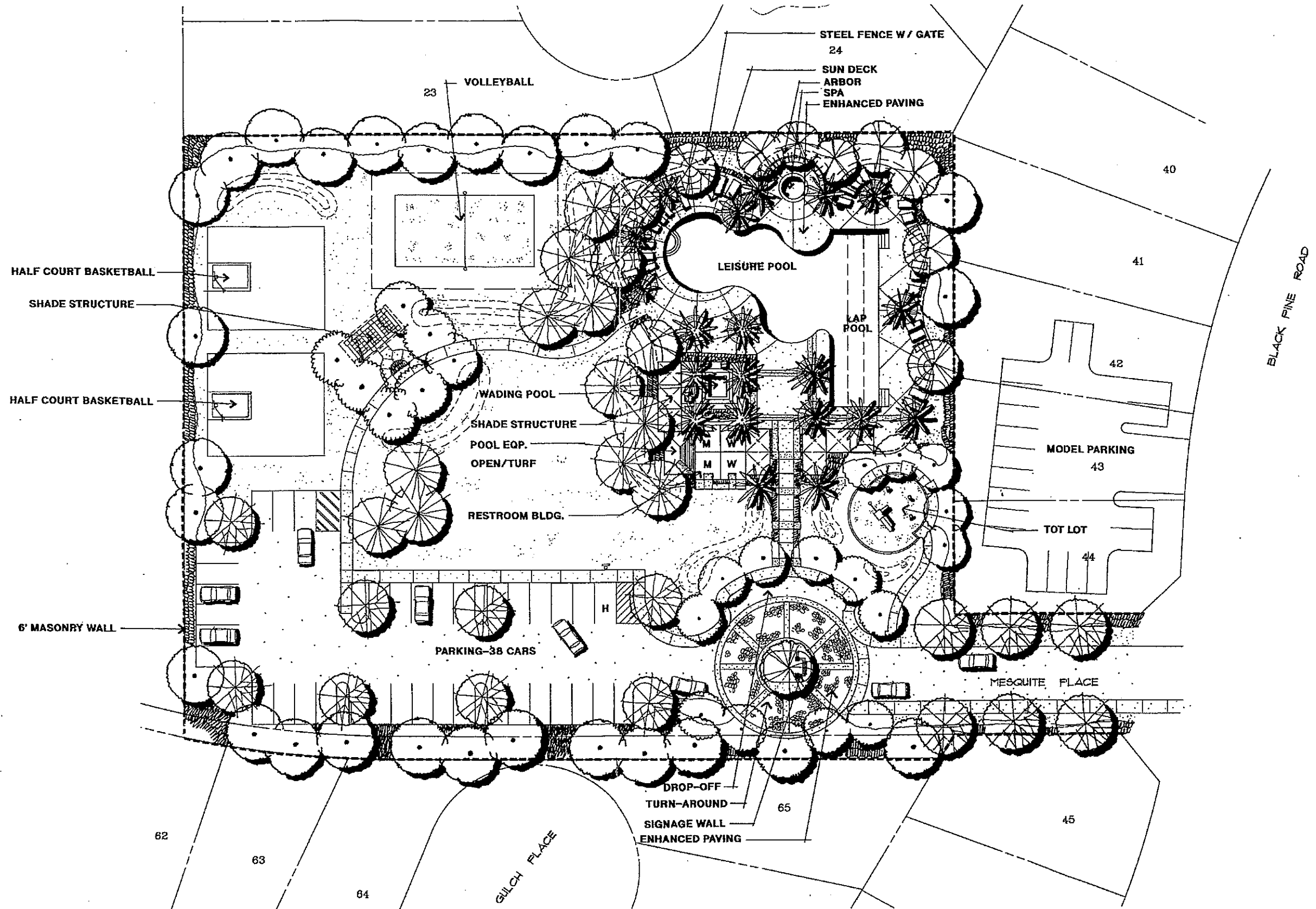


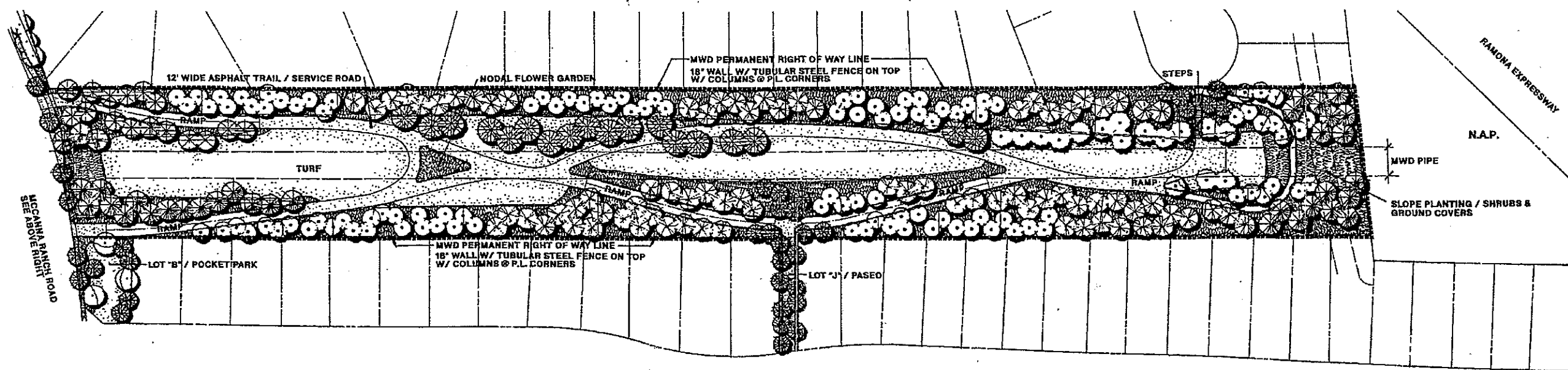
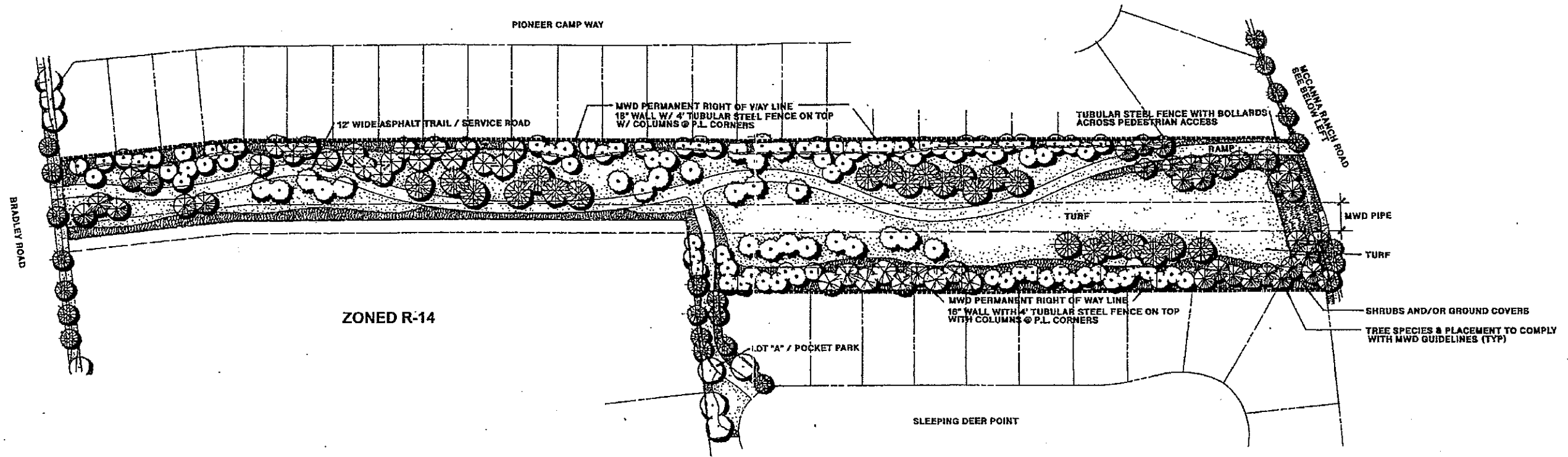
FIGURE 5-10



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Park Entry Monumentation

FIGURE 5-11



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Linear Park Master Plan

5.5 PUBLIC FACILITIES AND SERVICES

5.5.1 Master Sewer Plan

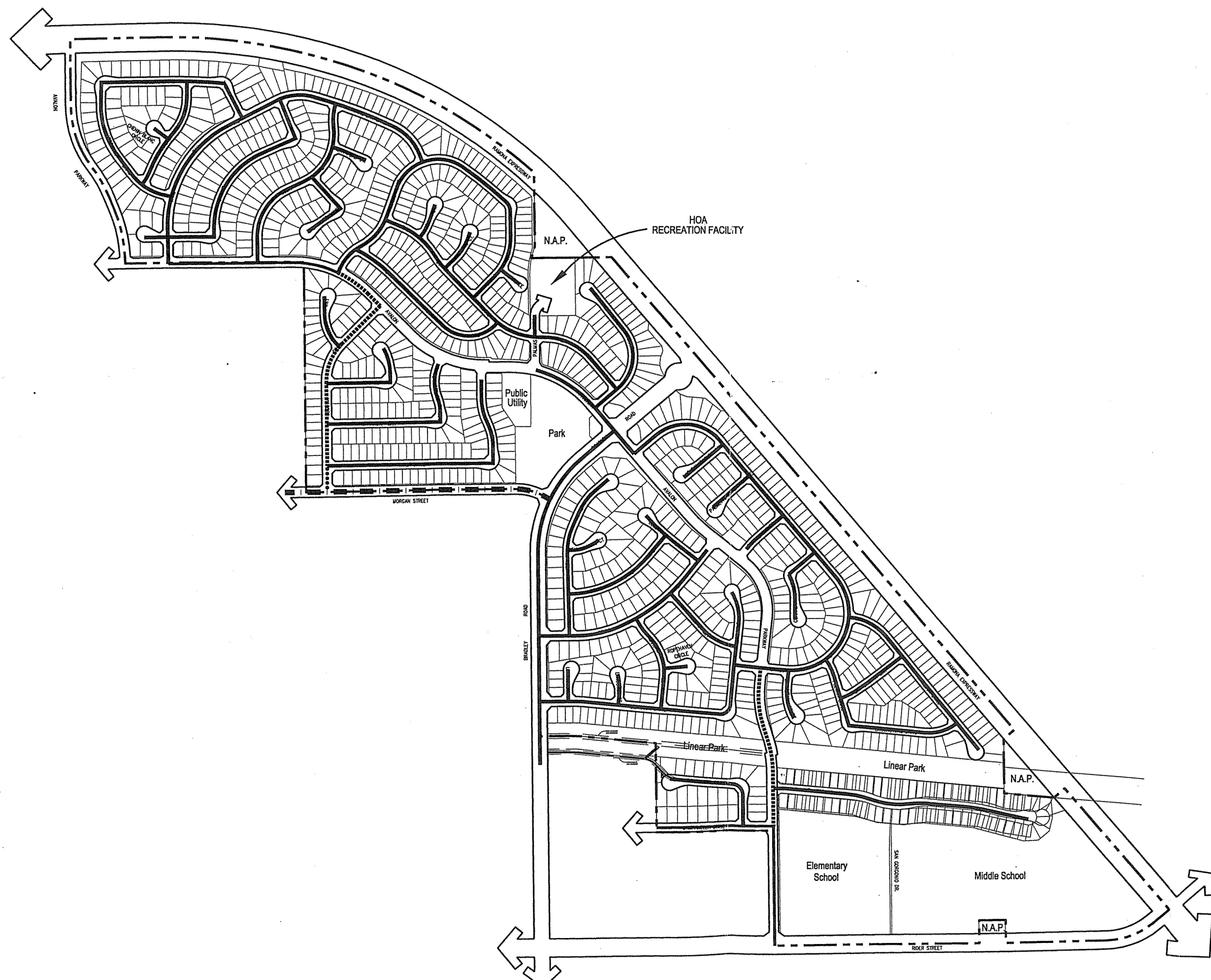
Currently, the Project site, and portions of the surrounding properties operate with septic sewage disposal systems. Single family residential development to the immediate west is served with sewers. Although there are no sewers serving the site, sewer service is currently available in the vicinity of the Villages of Avalon property. The Eastern Municipal Water District (EMWD) is the agency responsible for serving the project area and has a master planned a gravity sewer that will run in Morgan Street from Bradley Avenue to an existing 8-inch force main located in Redlands Avenue.

The Sewer Master Plan for Villages of Avalon is presented in Figure 5-12. The collection system is divided into two areas, separated by the Metropolitan Water District's Colorado River Aqueduct. The larger portion of the Project site to the north of the aqueduct will have a collection system consisting of 10-inch and 8-inch collector lines discharging to a 15-inch trunk sewer line in Morgan Street. The sewage will flow in a westerly direction through the trunk sewer line in Morgan Street to an intersection with the 8-inch force main in Redlands Avenue where a proposed pump station will be installed. The southern portion of the project will also have a collection system consisting of 10-inch and 8-inch collector lines, that will run on Rider Street and discharge to the existing 15-inch trunk sewer line in Wilson Avenue.

5.5.2 Master Water Plan

Water on the Villages of Avalon site is currently provided by two of the five wells on the property. The Master Water Plan for Villages of Avalon is presented in Figure 5-13. The system proposed consists of a system of 16-inch mains, 12-inch mains with 8-inch mains serving the neighborhoods streets. The water system has been designed to meet the domestic flows required by the proposed project as well as fire flow requirements.

FIGURE 5-12

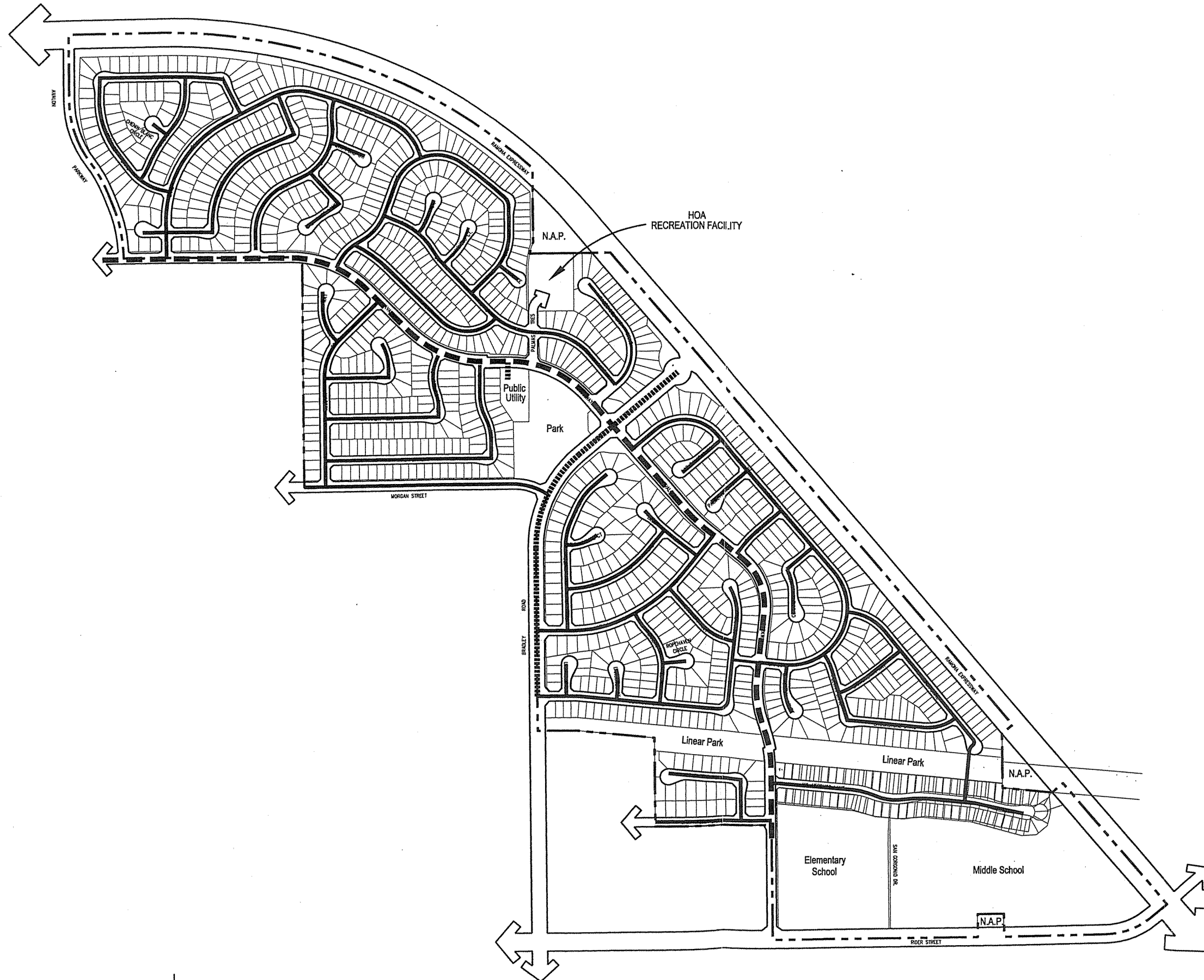


LEGEND




	Sewer Line 8"
	Sewer Line 10"
	Sewer Line 12"
	Sewer Line 15"

INFORMATION
Subject to Review and Approved by EMWD

FIGURE 5-13



LEGEND

-  Water Line 8"
-  Water Line 12"
-  Water Line 16"

5.5.3 Master Drainage Plan

The Villages of Avalon property is actively farmed and has minimal onsite drainage facilities. Storm drainage facilities in the vicinity of the Project site include two temporary 5-foot by 7-foot trapezoidal channels that parallel Morgan and Rider Streets and discharge into the Perris Valley Storm Drain located approximately three-quarters of a mile to the west. Additional facilities include a 30-inch storm drain pipe segment in Bradley Road and a 42-inch storm drain pipe segment at the terminus of the Morgan Street drainage channel. The proposed storm drainage plan is depicted as Figure 5-14.

The drainage system for the Villages of Avalon will be designed to the applicable City of Perris and County of Riverside standards. All roadways constructed within the project will be designed to accommodate 100-year flood levels.

5.5.4 Other Utilities and Public Services

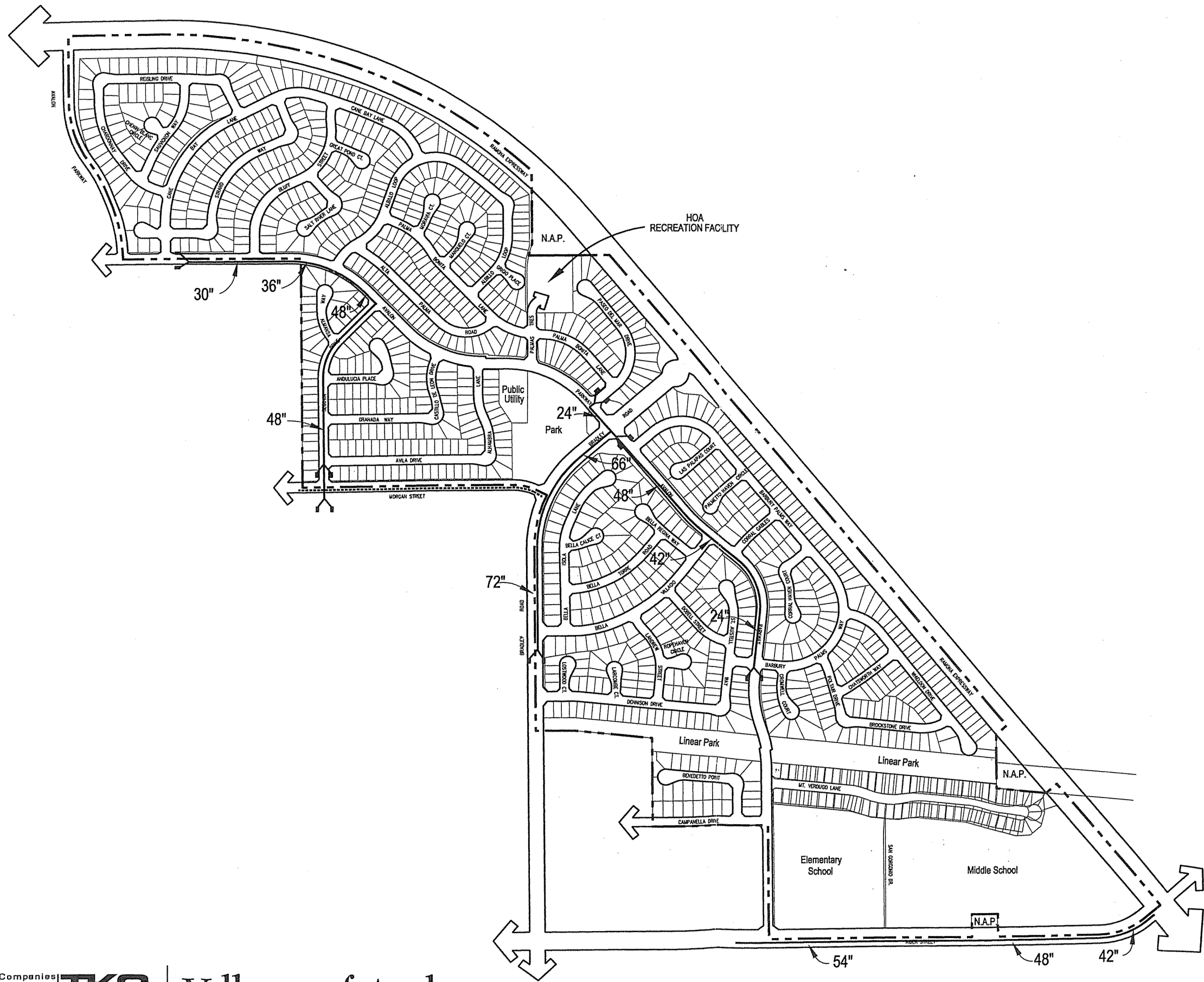
The Villages of Avalon site lies within the services area of the Southern California Edison Company (electricity), Southern California Gas Company (natural gas), and General Telephone Company (telephone). These utility networks are currently available or can be expanded to meet the future demands of the project. The potential for a separate public utility or municipal utility is also under consideration.

5.6 GRADING

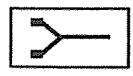
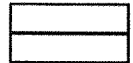
Grading for the Villages of Avalon property is tailored to the existing topography of the site. The project site is mostly flat exhibiting almost no topographic relief and will require minimal cut and fill grading operations. A Grading Concept Plan is shown in Figure 5-15. It is anticipated that earthwork quantities will be balanced so that no imported dirt will be required.

The grading operation for the Villages of Avalon shall be in substantial conformance with all applicable City of Perris standards.

FIGURE 5-14

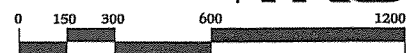


LEGEND

-  Catch Basin
-  Storm Drain

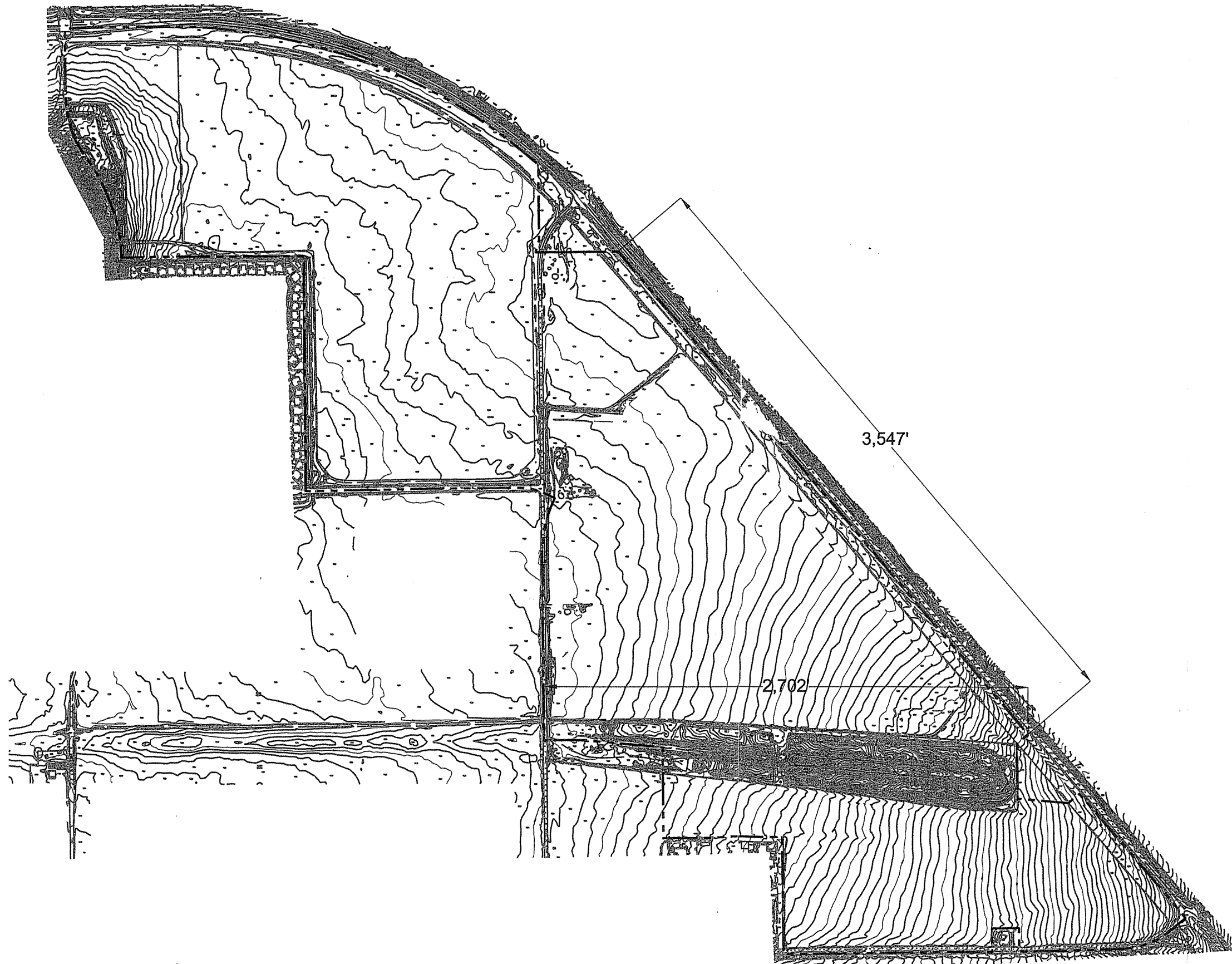
Storm Drain Master Plan
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The Keith Companies **TKC**



Villages of Avalon Specific Plan Amendment No. 2

FIGURE 5-15



LEGEND



Existing Contours

5.7 PHASING

The overall phasing plan for the project as shown on the Phasing Plan (see Figure 5-17), depicts the anticipated sequence of Project phasing. This phasing is based on a logical and orderly build-out of infrastructure and roadways as well as marketing considerations. The entire Project is anticipated to be built out on a market responsive schedule. Table 2 provides a phase by phase breakdown of uses, acres, and dwelling units.

The entire Project is proposed to be constructed in seven phases. Phase 1A-1 will consist of a total of 60 dwelling units over 16.11 acres of the project site. Development will begin northeast of Bradley Road and Avalon parkway located in the center of the project. At this time, models of individual neighborhoods will be constructed along with the public utility tank/park site and recreation area. Also during Phase 1A-1, Bradley Road will be relocated and the major project entry will be constructed. This phase also includes the water tank facility and the homeowners' association recreation facility.

Phase 1A-2 is proposed along the southeasterly corner of Bradley Road and Avalon Parkway with a row of dwelling units extending from Avalon Parkway to Bradley Road. This phase includes 105 dwelling units on 20.67 acres. This phase will also include construction a portion of Avalon Parkway and Bradley Road.

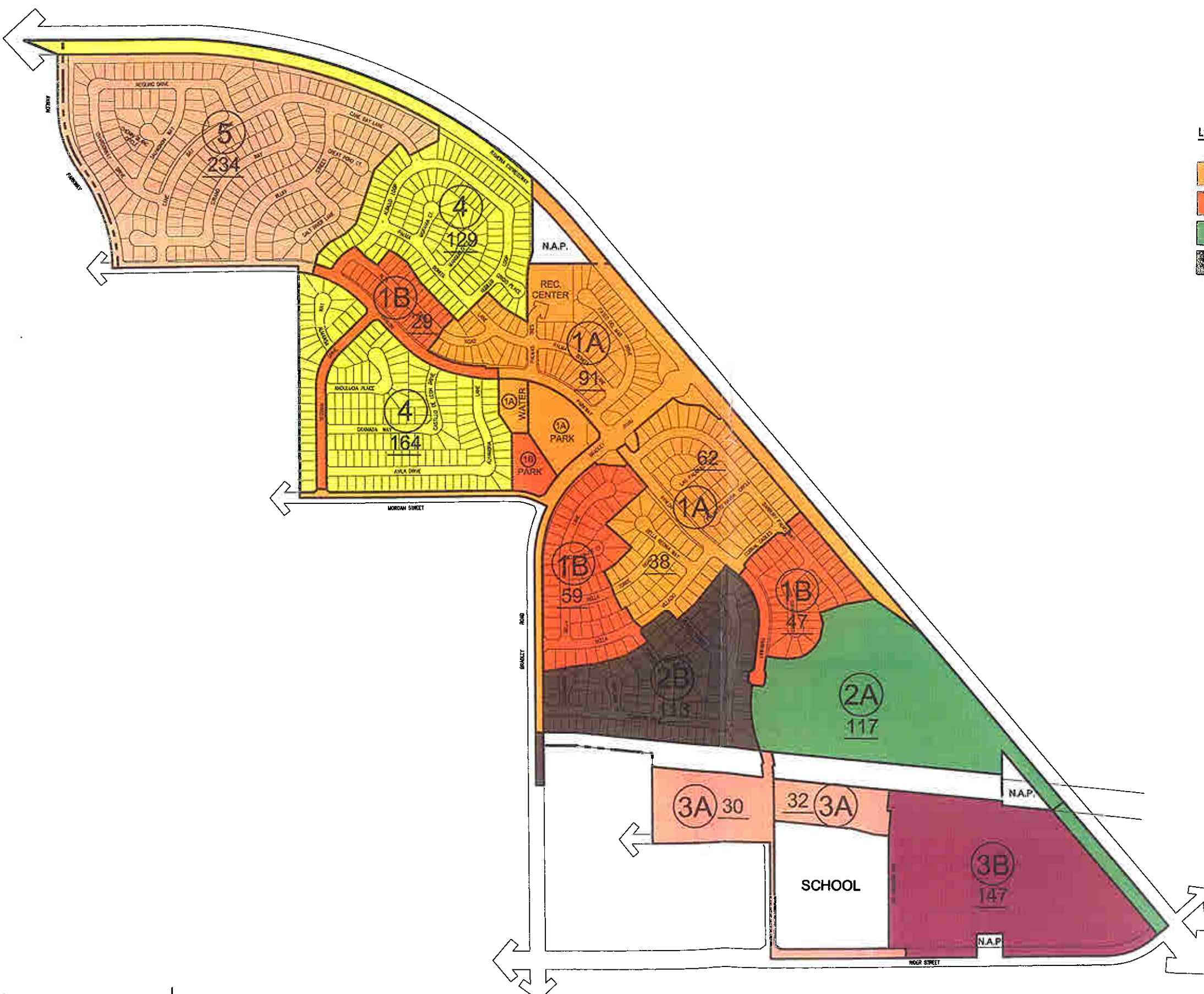
Phase 1B will continue westerly and southerly of Phases 1A-1 and Phase 1A-2. This includes 66 dwelling units and the public utility on approximately 12.35 acres. Phase 1B will include portions of Avalon Parkway and Bradley Road. Phase 1B will also include the 4.40 acre park.

Phases 2A, 2B and 2C are proposed southerly of Phases 1A-2 and 1B between the Ramona Expressway and Rider Street. Roadways planned include portions of the Ramona Expressway adjacent to this phase, Avalon Parkway and Rider Street. The elementary school and a portion of the linear park will be constructed in Phase 2A. The remaining portion of the linear park will be constructed in Phases 2B and 2C.






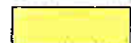


The remaining phases (Phases 3, 4, 5, 6, and 7) are generally proposed northwesterly of Phase 1A-1 between the Ramona Expressway and Avalon Parkway. This phase will include 525 dwelling units on 90.65 acres. Roadway improvements include the remaining portions of the Ramona Expressway and Avalon Parkway.

Depending on market demand, construction within Phase 2 and/or Phase 3 may commence prior to completion of the preceding phase. If this occurs, the needed infrastructure will also be accelerated to coincide with the accelerated development schedule.

FIGURE 5-16



LEGEND

	Phase 1A		Phase 3A
	Phase 1B		Phase 3B
	Phase 2A		Phase 4
	Phase 2B		Phase 5

①A Phase
 00 Number of Units/Lots Per Phase

Master Phasing Plan

SPECIFIC DEVELOPMENT PLAN

TABLE 5-1
SPECIFIC PLAN AMENDMENT NO. 2 PHASING SUMMARY

	Land Use	Acreage	DU
Phase 1A (1):	R-3600 Residential	22.31	61
	Public Utility	1.06	-
	Phase One Total	23.36	61
Phase 1A (2):	R-4000 Residential	13.34	74
	R-5000 Residential	7.33	31
	Phase Two Total	20.67	105
Phase 1B:	R-5,000 Residential	12.35	66
	R-4,000 Residential	6.64	35
	R-3,600 Residential	8.01	45
	Park	4.34	-
	Phase 1B Total	31.36	146
Phase 2A:	R-4,000 Residential	38.45	244
	Linear Park	2.41	-
	Phase 2A Total	40.86	244
Phase 2B:	R-4,000 Residential	24.7	142
	Linear Park	2.07	-
	Phase 2B Total	26.77	142
Phase 2C:	R-4,000 Residential	17.45	113
	R-5,000 Residential	5.78	31
	Linear Park	4.04	-
	Phase 2C Total	30.11	144
Phase 3:	R-4000 Residential	23.86	164
	Phase 3 Total	23.86	164

SPECIFIC DEVELOPMENT PLAN

	Land Use	Acreage	DU
Phase 4:	R-3,600 Residential	22.28	127
	Phase 4 Total	22.28	127
Phase 5:	R-4,000 Residential	14.95	88
	Phase 5 Total	14.95	88
Phase 6	R-4,000 Residential	11.33	67
	Phase 6 Total	11.33	67
Phase 7:	R-5,000 Residential	17.14	79
	Phase 7 Total	17.14	79
	PROJECT TOTAL	259.85	1,275

PLAN IMPLEMENTATION AND ADMINISTRATION

6.0 PLAN IMPLEMENTATION AND ADMINISTRATION

6.1 IMPLEMENTATION OVERVIEW

6.1.1 Annexation to the City of Perris

The Villages of Avalon project site is located in the City of Perris. In early 1988, 930 acres, which included The Villages of Avalon Project area, was annexed into the City.

6.1.2 Applicability and Relationship to Existing City of Perris Ordinances

The City of Perris Development Code allows a Specific Plan Zone. The Specific Plan Amendment will act as the zoning for the subject property. For this reason, detailed regulations and standards, which will govern future development of this site, are included within this Specific Plan Amendment No. 2. Those sections of the City's Zoning Code that are general or procedural in nature and pertaining to all other projects or zones in the city shall remain in force for Villages of Avalon. Except as specifically referenced herein, no other provisions of the City's Zoning Ordinance shall apply.

6.2 REGULATIONS AND STANDARDS FOR DEVELOPMENT

6.2.1 Residential Development Standards

R-5000 Residential

Purpose and Intent:

The R-5000 residential areas of the Villages of Avalon Specific Plan Amendment are established for the development of individual single family residences on separate lots, each for the occupancy of one family. This density will allow for the development as follows:

The Primary Specific Plan Amendment No. 2 (Alternative B): 206 dwelling units on 41.29 acres at a density of 4.99 du/ac.

Each home will be located on a minimum lot size of 5,000 square feet. Site design is the result of thoughtful planning so that the completed dwellings complement, rather than detract from, the natural visual quality of the surrounding area.

PLAN IMPLEMENTATION AND ADMINISTRATION

Permitted Uses:

- Permanent Single Family Dwellings

Accessory Uses Permitted:

- All accessory uses customarily incidental to the foregoing permitted uses and not used or operated commercially, including but not limited to garages, fences, pools, spas, walls, or patio covers.
- Non-commercial keeping of pets, excluding large animals, which are readily classifiable as being customarily incidental and accessory to a permitted principle residence use.
- Home occupations subject to city restrictions and/or permits (as described in Section 19.20.020 of the City of Perris Zoning Code).

Design Criteria:

- In the R-5000 residential areas, one- and two- story homes on minimum 5,000 square foot lots shall be constructed.
- Physical design of buildings, walls or fencing, lighting and landscaping shall achieve consistency in the use of materials, color texture, height and bulk.
- Building design techniques which maximize family and functional privacy should be utilized whenever possible.
- Street signs and community directional signs shall be consistent with the character of the community and in terms of size, color and materials.
- Intersection sight-line areas within the R-5000 residential neighborhoods should remain open with ornamental sighted grasses, wild flowers, and shrubs should dominate.
- Street plantings should be dominated by drought tolerant plant materials and complement neighborhood architectural styles.
- Monumentation, special paving textures, flowering accents, shrubs, and distinctive trees shall be used to designate neighborhood entry points.
- Front yard landscaping to include at least one 15-gallon street tree shall be installed by the builder.

Site Development Standards:

- Maximum building height shall be 30 feet or two (2) stories in height.
- Minimum lot area shall be 5,000 square feet.
- Minimum front yard setback shall be ten (10) feet as measured from the edge of the road right-of-way to the living portion of the dwelling unit; where the garage is designed so that the entrance is facing the street, then the minimum setback for the garage shall be eighteen (18) feet.

PLAN IMPLEMENTATION AND ADMINISTRATION

- Minimum front yard setback shall be seven (7) feet from the street right-of-way to an unenclosed covered front porch. Architectural treatments including, but not limited to, cornices, canopies, eaves, sills, chimneys, wing walls, media niches, and other similar architectural features may extend or project into the front yard setback not more than three (3) feet.
- Minimum side setback shall be five (5) feet, except that minimum separation between buildings shall be ten (10) feet. One side yard may be reduced to zero (0) feet for a patio (zero lot line) or duplex style home. In no case shall the total aggregate side yard between detached units be less than ten (10) feet. Architectural treatments including, but not limited to, cornices, canopies, eaves, sills, chimneys, wing walls, media niches and other similar architectural features may extend or project into a side yard setback not more than two (2) feet.
- Minimum rear setback shall be ten (10) feet. Construction of accessory uses such as patio covers will be permitted within the ten (10) foot setback from the rear property line not closer than five (5) feet to the property line.
- Minimum lot width shall be forty (40) feet of lot frontage. On cul-de-sac lots, the forty (40) foot width must be achieved at a distance within the front setback. The minimum portion of a lot used for access on "flag" lots shall be subject to approval by the Planning Director and shall be used only in those situations in which unique site conditions allow dwelling units to be sited on the flag lots in such a manner as to provide a quality living environment comparable to typical lots within the subdivision.
- Maximum lot coverage (excluding driveways, patio's etc.), on any lot shall not exceed fifty (50) percent.
- Minimum lot depth shall be not less than eighty-five (85) feet.
- Fencing and walls shall be designed according to the standards and guidelines as set forth in the Revised Design Guidelines.
- Off-street parking consisting of at least a two-car garage with a minimum of 400 square feet will be provided for each dwelling.

R-4000 Residential

Purpose and Intent:

The R-4000 residential areas will provide for the development as follows:

School Alternative B: 811 dwelling units on 131.65 acres at a density of 6.39 du/ac.

Each home will be located on a minimum lot size of 4,000 square feet.

Permitted Uses:

- Permanent Single Family Dwellings

PLAN IMPLEMENTATION AND ADMINISTRATION

Accessory Use Permitted:

All accessory uses customarily incidental to the foregoing permitted uses and not used or operated commercially, including but not limited to garages, pools, spas, fences, walls, or patio covers.

- Non-commercial keeping of pets, excluding large animals, which are readily classifiable as being customarily incidental and accessory to a permitted principle residence use.
- Home occupations subject to city restrictions and/or permits (as described in Section 19.20.020 of the City of Perris Zoning Code).

Design Criteria:

- In the R-4000 residential areas, one- and two- story homes on minimum 4,000 square foot lots shall be constructed.
- Physical design of buildings, walls or fencing, lighting and landscaping shall achieve consistency in the use of materials, color texture, height and bulk.
- Building design techniques which maximize family and functional privacy should be utilized whenever possible.
- Street signs and community directional signs shall be consistent with the character of the community and in terms of size, color and materials.
- Intersection sight-line areas within the R-4000 density residential neighborhoods should remain open with ornamental grasses, wild flowers, and shrubs should dominate.
- Roadway plantings should be dominated by drought tolerant plant materials and complement neighborhood architectural styles.
- Monumentation, special textures paving, flowering accents, and distinctive trees shall be used to designate neighborhood entry points.
- Front yard landscaping to include at least one 15-gallon street tree shall be installed by builder.

Site Development Standards:

- Maximum building height shall be thirty (30) feet.
- Minimum lot area shall be 4,000 square feet.
- Minimum front yard setback shall be five (5) feet with an average of ten (10) feet as measured from the edge of the road right-of-way to the living portion of the dwelling unit; where the garage is designed so that the entrance is facing the street, then the minimum setback for the garage shall be eighteen (18) feet.
- Minimum front yard setback shall be seven (7) foot setback from the street right-of-way to an unenclosed front porch. Architectural treatments including, but not limited to, cornices, canopies, eaves, sills, chimneys, wing walls, media niches and other similar architectural features may extend or project into a front yard setback not more than three (3) feet.

PLAN IMPLEMENTATION AND ADMINISTRATION

- Minimum side setback shall be five (5) feet, except that minimum separation between buildings shall be ten (10) feet. One side yard may be reduced to zero (0) feet for a patio (zero lot line) or duplex style home. In no case shall the total aggregate side yard between detached units be less than ten (10) feet. Architectural treatments including, but not limited to, cornices, canopies, eaves, sills, chimneys, wing walls, and other similar architectural features may extend or project into a side yard not more than two (2) feet.
- Minimum rear setback shall be ten (10) feet. Construction of accessory uses such as patio covers will be permitted within the ten (10) foot setback from the rear property line not closer than five (5) feet to the property line.
- Minimum lot width shall be forty (40) feet of lot frontage. On cul-de-sac lots, the forty (40) foot width must be achieved at a distance within the front setback. The minimum portion of a lot used for access on "flag" lots shall be subject to approval by the Planning Director and shall be used only in those situations in which unique site conditions allow dwelling units to be sited on the flag lots in such a manner as to provide a quality living environment comparable to typical lots within the subdivision.
- Maximum lot coverage (excluding driveways, patio's etc.), on any lot shall not exceed sixty (60) percent.
- Minimum lot depth shall be not less than seventy (70) feet.
- Fencing and walls shall be designed according to the standards and guidelines as set forth in the Revised Design Guidelines.
- Off-street parking consisting of at least a two-car garage with a minimum of 400 square feet will be provided for each dwelling.

R-3600 Residential

The 3,600 residential areas will provide development as follows:

School Alternative B: 231 dwelling units on 33.83 acres at a density of 6.83 du/ac.

Purpose and Intent:

- Permanent Single Family Dwellings

PLAN IMPLEMENTATION AND ADMINISTRATION

Accessory Uses Permitted:

- All accessory uses customarily incidental to the foregoing permitted uses and not used or operated commercially, including but not limited to garages, pools, spas, fences, walls, or patio covers.
- Non-commercial keeping of pets, excluding large animals, which are readily classifiable as being customarily incidental and accessory to a permitted principle residence use.
- Home occupations subject to city restrictions and/or permits (as described in Section 19.20.020 of the City of Perris Zoning Ordinance).

Design Criteria:

- In the R-3600 density residential areas, one- and two- story homes on minimum 3,600 square foot lots shall be constructed.
- Physical design of buildings, walls or fencing, lighting and landscaping shall achieve consistency in the use of materials, color texture, height and bulk.
- Building design techniques which maximize family and functional privacy should be utilized whenever possible.
- Street signs and community directional signs shall be consistent with the character of the community and in terms of size and materials.
- Intersection sight-line areas within the R-3600 density residential neighborhoods should remain open; ornamental grasses, wild flowers and shrubs should dominate.
- Roadway plantings should be dominated by drought tolerant plant materials and complement neighborhood architectural styles.
- Monumentation, special textures paving, flowering accents and shrubs and the use of specimen trees shall be used to generate distinctive neighborhood entry points.
- Front yard landscaping to include at least one 15-gallon street tree shall be installed by builder.

Site Development Standards:

- Maximum building height shall be 30-feet.
- Minimum lot area shall be 3,600 square feet.
- Minimum front yard setback shall be five (5) feet with an overall average street setback of ten (10) feet, as measured from the edge of the road right-of-way to the living portion of the dwelling unit; where the garage is designed so that the entrance is facing the street, then the minimum setback for the garage shall be eighteen (18) feet.

PLAN IMPLEMENTATION AND ADMINISTRATION

- Minimum front yard setback shall be seven (7) feet from the street right-of-way to an unenclosed covered front porch. Architectural treatments including, but not limited to, cornices, canopies, eaves, sills, chimneys, wing walls, media niches and other similar architectural features may extend or project into a front yard setback not more than five (5) feet.
- Minimum side setback shall be five (5) feet, (except that minimum separation between buildings shall be ten (10) feet). One side yard may be reduced to zero (0) feet for a patio (zero lot line) or duplex style home. In no case shall the total aggregate side yard for detached units be less than ten (10) feet.
- Architectural treatments including, but not limited to, cornices, canopies, eaves, sills, chimneys, wing walls, and other similar architectural features may extend or project into a side yard not more than two (2) feet.
- Minimum rear setback shall be ten (10) feet. Construction of accessory uses such as patio covers will be permitted within the ten (10) foot setback from the rear property line.
- Minimum lot width shall be thirty-five (35) feet of lot frontage. On cul-de-sac lots, the thirty-five (35) foot width must be achieved at a distance within the front setback. The minimum portion of a lot used for access on "flag" lots shall have a minimum width of twenty (20) feet. All flag lots shall be subject to approval by the Planning Director and shall be used only in those situations in which unique site conditions allow dwelling units to be sited on the flag lots in such a manner as to provide a quality living comparable environment to typical lots with the subdivision.
- Maximum lot coverage (excluding driveways, patio's etc.), on any lot shall not exceed sixty (60) percent.
- Minimum lot depth shall be not less than seventy (70) feet.
- Fencing and walls shall be designed according to the standards and guidelines as set forth in the Revised Design Guidelines.
- Off-street parking consisting of at least a two-car garage with a minimum of 400 square feet will be provided for each dwelling.

6.2.2 Park Development Standards

Purpose and Intent:

A significant proportion (12.23 acres) of the project site is being retained as parks to provide residents with a variety of community recreational and open space resources. Project plans include the development of a community park, recreation area, providing such amenities as a multi-purpose basketball/volleyball court, barbecue area, softball field and open lawn play area and a separate HOA owned and maintained recreation facility. The recreational component of the project is designed to provide relief from the built environment, as well as to serve as a source of non-vehicular access through the community. The City will maintain the 4.40 Community Park and the 7.83 acre Linear Park.

Permitted Uses:

- Parks and recreation areas

PLAN IMPLEMENTATION AND ADMINISTRATION

- Recreational facilities such as baseball, soccer and football fields, tennis, basketball and volleyball courts and athletic fields
- Public parking areas
- Recreational and educational facilities
- Public service/utility facilities
- Public swimming pool/spa (HOA recreation facility only)
- Barbecue grills

Accessory Uses Permitted:

- Accessory buildings and uses customarily incidental to the foregoing permitted uses when located on the same lot.

Additionally, the following uses are permitted subject to City Council approval through the conditional use permit process.

- Commercial uses incidental to the operation of public and private recreational facilities including the sale of food or arts and craft items.
- Places of assembly.

Site Development Standards:

- Maximum building height shall be thirty (30) feet.
- Minimum lot area shall be one (1) acre.
- No swimming pool or pool facilities shall be located closer than forty (40) feet from any front property line, or within twenty (20) feet from any side or rear property line. All swimming pools must be enclosed with a minimum six (6) foot fence.
- Minimum front and rear setbacks when adjacent to buildings shall be fifty (50) feet. The first twenty-five (25) feet from the front property line shall be fully landscaped to provide a solid landscape screen not to exceed four (4) feet in height.
- Maximum lot area covered by buildings or structures shall not exceed ten (10) percent of the total area. Accessory buildings shall not occupy more than one-fiftieth of the total lot area.
- Minimum distance between buildings shall be not less than twenty (20) feet, except between accessory and main buildings, which shall not be less than ten (10) feet.
- Signs shall not be erected prior to obtaining city approval.
- No fence, wall or other type of screening shall be erected in recreational areas prior to obtaining city approval.
- Off-street vehicle parking shall be provided in accordance with the City of Perris standards.

PLAN IMPLEMENTATION AND ADMINISTRATION

6.2.3 Public Utility Facilities

Purpose and Intent:

This area of the Villages of Avalon Specific Plan Amendment is established as a previously permitted use per review and approval of the Public Utilities Commission (PUC).

Permitted Uses:

- Reservoir tank structure generators, and buildings
- Fuel tanks
- Pump building
- Well pumps
- Water processing

Accessory Uses Permitted:

All accessory uses customarily incidental to the foregoing permitted uses including but not limited to employee parking area, fences, walls or patio covers.

PLAN IMPLEMENTATION AND ADMINISTRATION

6.3 DEVELOPMENT APPROVAL PROCESS

Following or concurrent with approval of this Specific Plan Amendment, subdivision maps may be filed, reviewed and approved by the City of Perris. The city's process of reviewing these maps is facilitated by inclusion of development standards within the Specific Plan Amendment. The Director of Planning and Community Development will be responsible for determining what plans are in substantial compliance with the specific plan. Changes in street alignments to provide better circulation or reallocation of dwelling units among the planning areas will be permitted without amending the specific plan. Specific Plan Amendment No. 2 authorizes a maximum of 1,275 dwelling units.

6.4 AMENDMENT PROCEDURES

In accordance with the California Government Code Sections 65453-65454, Specific Plans shall be prepared, adopted and amended in the same manner as general plans, except that specific plans may be adopted by resolution or by ordinance. This plan may be amended as necessary in the same manner it was adopted, by ordinance. Said amendment or amendments shall not require a concurrent general plan amendment. An environmental assessment form shall accompany the proposed amendment, but it is presumed that the Program Final EIR Addendum approved for the project area includes all future development for the specific plan. If further environmental documentation were required, in special cases, it would be a focused analysis and action as documented in Section 15162 and 15163 of the CEQA Guidelines.

6.5 MAINTENANCE

Successful operation of facilities financing districts, maintenance districts and homeowner associations are important in maintaining quality in the subject property. It is anticipated that maintenance responsibilities may be divided among a Master Homeowners • Association, Neighborhood Associations, Community Facilities District (CFD) and/or other maintenance mechanisms. Final decisions regarding maintenance entities will be made at a future stage of project design review and in concert with the City of Perris. Figure 6-11 illustrates open space and recreation areas within the Specific Plan Amendment boundary.

PLAN IMPLEMENTATION AND ADMINISTRATION

6.5.1 Master Homeowners' Association

Common areas identified within the Specific Plan Amendment shall be owned and maintained by a permanent public or private maintenance organization to assume ownership and maintenance responsibility for all common recreation areas, open space, circulation systems, landscape easements and landscaped areas. Areas of responsibility may include open space, HOA recreation facility, landscaped entryways, and landscaped areas along the project roadways.

6.5.2 Residential Neighborhood Associations

In certain residential areas of the project, smaller associations may be created to provide maintenance responsibility for common areas and facilities that benefit only residents who reside in the immediate area. Common areas such as Lot "A" in TTM 22834 and Lot "B" in TTM 22832 may come under the jurisdiction of a neighborhood association.

6.5.3 Open Space and Parks

All open space and park areas not directly associated with a particular neighborhood shall be the responsibility of a the City-wide landscape district for public facilities maintenance district.

6.5.4 Project Roadways

All public roadways and private streets shall be designed and constructed to standards as accepted by the City of Perris. All public roadways will be incorporated into the City of Perris system of roads for operation and maintenance as approved by the City.

6.5.5 School

It is planned that maintenance responsibilities of the elementary school site will be the responsibility of the Val Verde Elementary School District.

FIGURE 6-1



LAND USE SUMMARY

- Landscape Areas
- Landscape Easement

PLAN IMPLEMENTATION AND ADMINISTRATION

Table 6-1
Maintenance Plan

	HOA	PRIVATE COMMERCIAL OWNER	CFD	CITY OF PERRIS	Public Utility	RCFGD	EMVWD	APPROPRIATE SCHOOL
Landscape Parkways	✓							
Street Lighting	✓							
Public Streets			✓	✓				
Sidewalks & Hardscape			✓	✓				
Storm Drains (in Roads)				✓		✓		
Public Sewer							✓	
Public Water					✓			
Project Signage	✓		✓					
Parks/Tot Lot	✓							
Common Rec. Area	✓							
School Site								✓