

# Riverwoods

## Specific Plan Amendment

As Approved By City Council

PREPARED FOR:

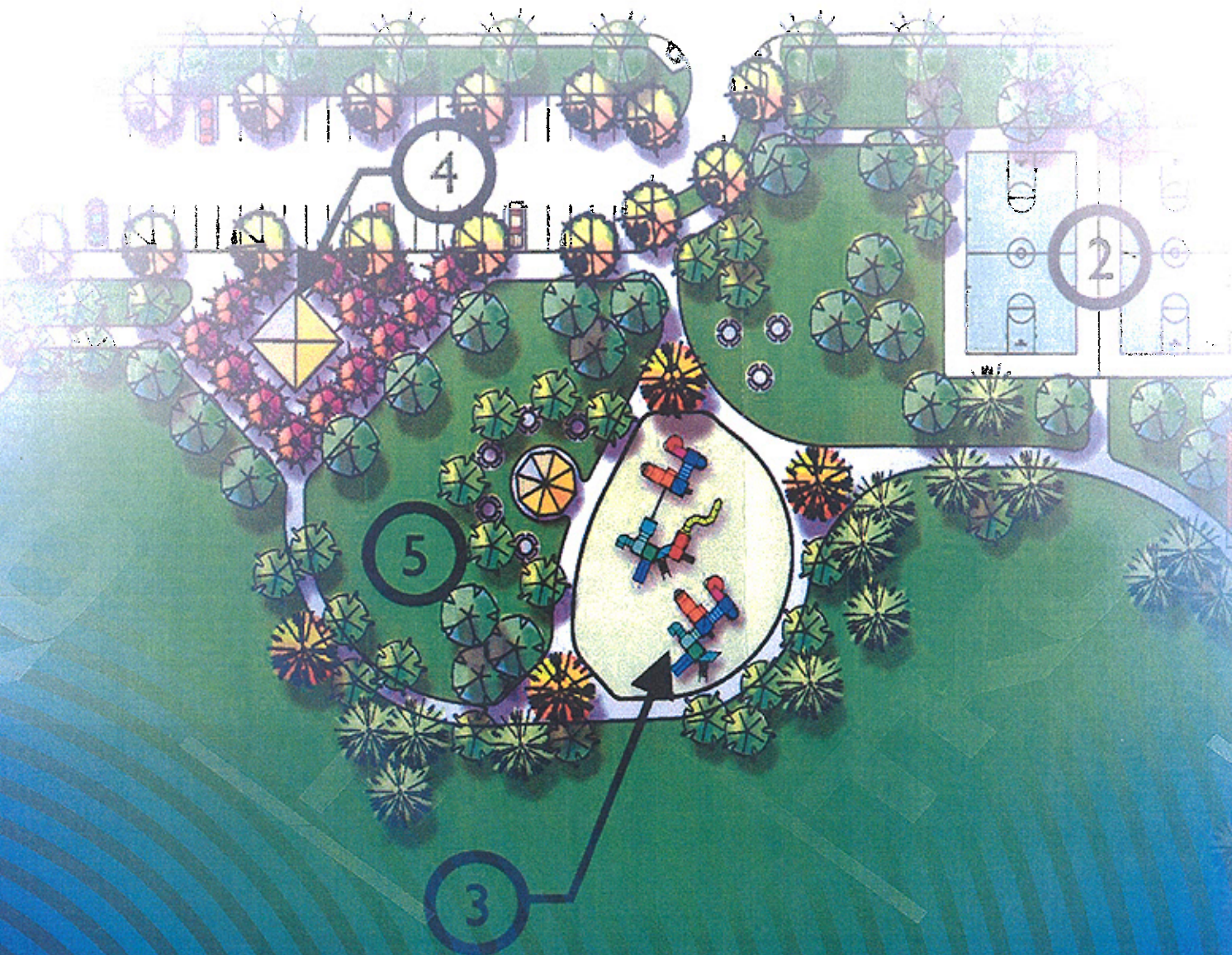
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Recommended for Approval by Planning Commission: 6.16.04  
Approved by City Council: 7.13.04

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**September, 2004**

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**I. EXECUTIVE SUMMARY**

The 226.9-acre Riverwoods project is planned for the southwestern portion of the City of Perris. The Riverwoods Specific Plan Amendment (SPA) proposes to amend the adopted Riverwoods Specific Plan (SP/EIR No. 89-70), which was approved by the City of Perris in July 1990. The original Specific Plan was prepared by Turrini & Brink Planning Consultants with Randolph Hlubik Associates, Inc. The SPA project includes the development of 226.9 acres into 696 residential units, a 2.0-acre Community Center site, a 12.2-acre Elementary School site, an 11.7-acre active recreation Community Park, and 17.0 acres of hillside Open Space. If the school site is not developed, the Specific Plan Amendment allows for an option of R-6,000 for single family residential uses or R-14 for multi-family residential uses for an overall maximum total of 750 dwelling units.

The Specific Plan Amendment will allow the development of quality housing within market type and price ranges anticipated to be in large demand in the Perris Valley, with special attention being given to family-oriented housing. Future residents of Riverwoods will enjoy all the benefits of a planned community. The Specific Plan Amendment includes a mixture of 696 single-family detached dwelling units dispersed over three density categories (i.e., R-5,000, R-6,000 and R-10,000 square feet). The residential land use categories within the project site have been modified from the approved Specific Plan.

The proposed land use plan provides many amenities including a Community Center, Community Park, and preservation of hillside Open Space that enhances community spirit and provides recreational opportunities and social meeting places for the residents. The proposed Community Center which has been added to the Specific Plan Amendment includes a multi-purpose building, lawn areas for passive recreation, a community pool, covered sitting and eating areas, outdoor fireplace, and walking paths. The Community Center multi-purpose building is planned to be approximately 2,000 square feet in size and will include a 750 sq.ft minimum meeting room, restrooms, parking and support services for the Community Center and pool.

The Specific Plan Amendment includes a 12.2-acre Elementary School site located adjacent to the Community Park site. If the school district does not use the subject site (Planning Area 2) as a school, then the site shall revert to R-6,000 for single family residential uses or R-14 for multi-family residential uses for an overall project total of 750 dwelling units.

The 11.7 acre Community Park will provide active and passive recreation, and is proposed to be located adjacent to the school site. Amenities within the park may include basketball courts, covered sitting areas, a tot lot play area, active and passive recreational lawn areas with tables and benches.

The proposed Specific Plan Amendment preserves the hillside Open Space areas located along portions of the western project boundary and along the north side of Watson Road. The hillside Open Space area to the west will form a scenic backdrop to the community and buffer the development from properties to the west.

The proposed circulation for the project utilizes McPherson off Ethanac Road as the primary route into the project, with the primary entry at McPherson Road. One access will also be provided off Mapes Road and two access points off River Road. Two roundabouts are proposed within the project that will reduce traffic speeds, provide traffic calming, enhance circulation, and provide focal points for the project. Internal streets will utilize curvilinear alignments to reduce traffic speeds and enhance the character of the community. Ethanac Road is designated as a TUMF-funded 184' right-of-way Arterial Expressway from State Route 74 to Sherman Road. The TUMF program is funded by fees collected from new development, and is used for improvements to roadways in the TUMF network. The proposed Specific Plan Amendment provides the right-of-way to allow for future improvements along the Ethanac Road corridor.

Pedestrian linkage between all planning areas will be provided via sidewalks along all roadways. Sidewalks will allow pedestrians direct linkage to the Community Center, the elementary school site and the Community Park.

Infrastructure and other public facilities, including drainage, water, sewer, and public roads, will be sufficiently sized to meet the needs of Riverwoods residents, as discussed in Section III (See Figures 15, 20, 22 and 23). In addition, specific planning and design elements such as land use compatibility, site design, architecture and landscaping will be consistently applied to assure a coordinated project.

**II. INTRODUCTION/PROJECT DESCRIPTION**

**A. INTRODUCTION**

1. Purpose and Intent of Specific Plan

The purpose and intent of this Specific Plan Amendment is to assure the development of the Riverwoods project as a planned community. This Specific Plan Amendment has been developed to provide the City of Perris with a comprehensive set of plans, programs, regulations and conditions that may be used by City staff to review development in the project area, as well as by builders and developers to ensure quality development.

The Riverwoods Specific Plan Amendment has been prepared in accordance with the requirements of the California Government Code for Specific Plans (Government Code Sections 65450 – 65457) and addresses all issues and topics specified in the code.

A development review application shall be submitted to the Department of Community Development in the City of Perris for all tentative subdivision maps within the Riverwoods Specific Plan Amendment project area. Residential design criteria and landscape guidelines have been submitted within the framework of this Specific Plan Amendment for conceptual design review and approval. Architectural design guidelines will be submitted under a separate document to the City.

2. Authority

California Government Code Section 65450 gives a legislative body authority to prepare Specific Plans for the systematic implementation of the Perris General Plan for all or part of the area covered by the General Plan. As outlined in Governmental Code Sections 65451 – 65452, Specific Plans are to contain a text and diagram(s) specifying: the distribution, location and extent of land uses; the distribution, location and extent of major infrastructure improvements needed to support the planned land uses; development standards and criteria; program implementation measures; and a statement of the relationship of the Specific Plan to implementation of the General Plan.

Following adoption, a Specific Plan has an effect similar to the local General Plan. As a tool to implement the General Plan, the Specific Plan Amendment contains the development and performance standards that are applicable to the Specific Plan Amendment area.

**B. PROJECT SETTING**

1. Project Location

The 226.9+ acre Riverwoods project is located in the southwestern corner of the City of Perris, as shown on the Regional Map, Figure 1 and the Vicinity Map, Figure 2. Major nearby roadways which provide access to the site include Highway 74 and Interstate 215. Currently Watson Road and Mapes Road are the only available direct access to the site.

The area to the north and northeast is designated as R-4 (2-4 dwelling units per acre). The area to the southeast and south is designated as R-7 (4-7 dwelling units per acre). The area adjacent to the southwest corner of the project site is designated as CC (Community Commercial). The area to the west is designated as RR (Agricultural).

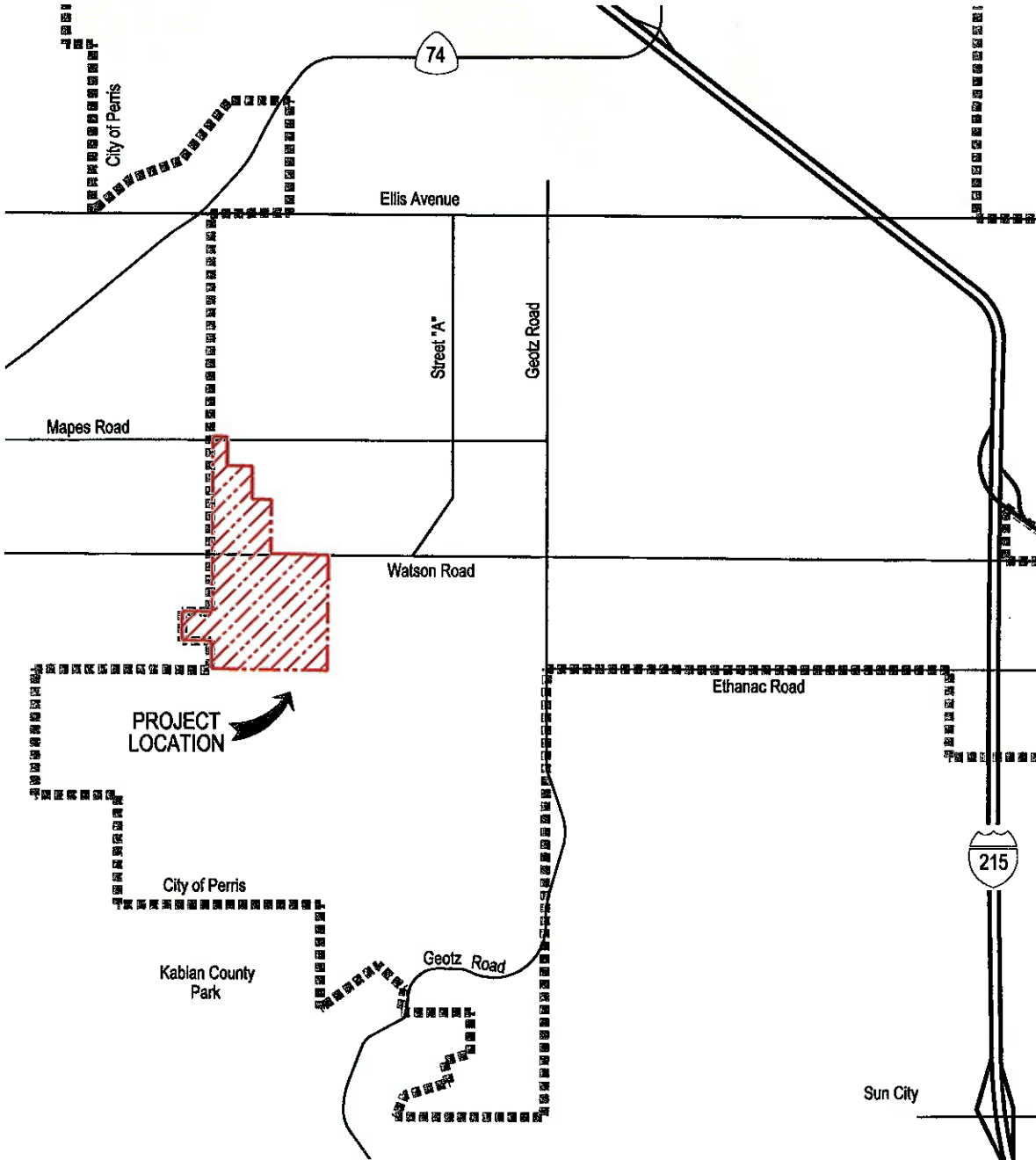
Scattered single family homes are located to the north and west of the project site, as shown on the Aerial Map, Figure 3. Vacant land is located to the east and south of the project site. The San Jacinto River is located southeast of the project site. The Kabian County Park is located south of the project site.

The topography of the site generally slopes from the northwestern portion of the project site towards the southeastern portion of the project site. Hillside areas in excess of 25 percent slope are located along the western portion of the project site (Planning Area 8). This area will remain as hillside open space.

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Figure: 2

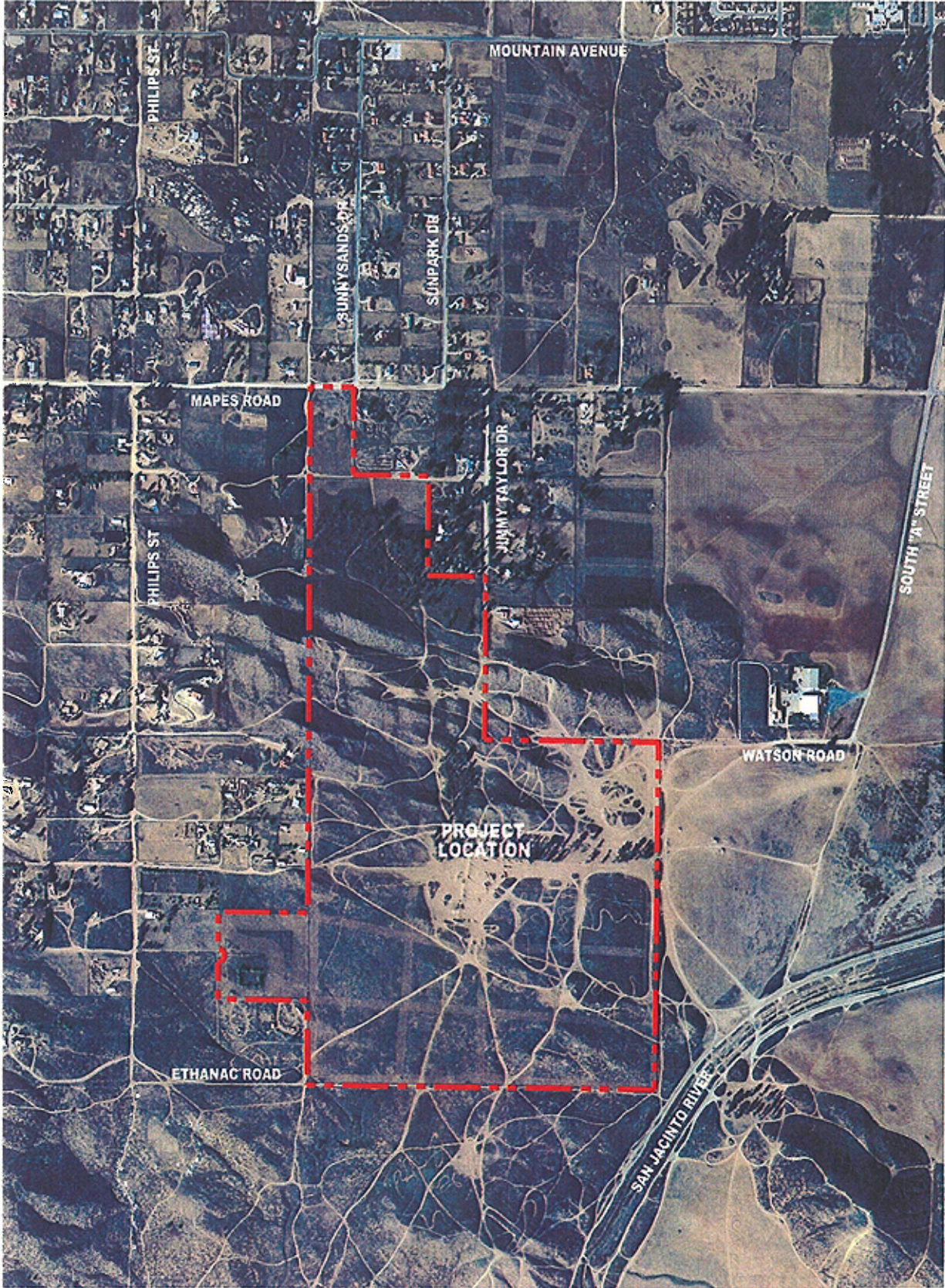


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# Vicinity Map



Figure: 3



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# Aerial Photograph

### 2. Local Setting

The proposed project is located approximately 4 miles west of the Interstate 215 Freeway. The San Jacinto River is 1/8 mile southeast of the project. The Perris Valley Airport and Parachuting Center as well as the Orange Empire Railway Museum are located to the northeast. Ethanac Road and Mapes Road provide the southern and northern boundaries of the site respectively. River Road provides the eastern boundary while McPherson Road is the approximate western boundary.

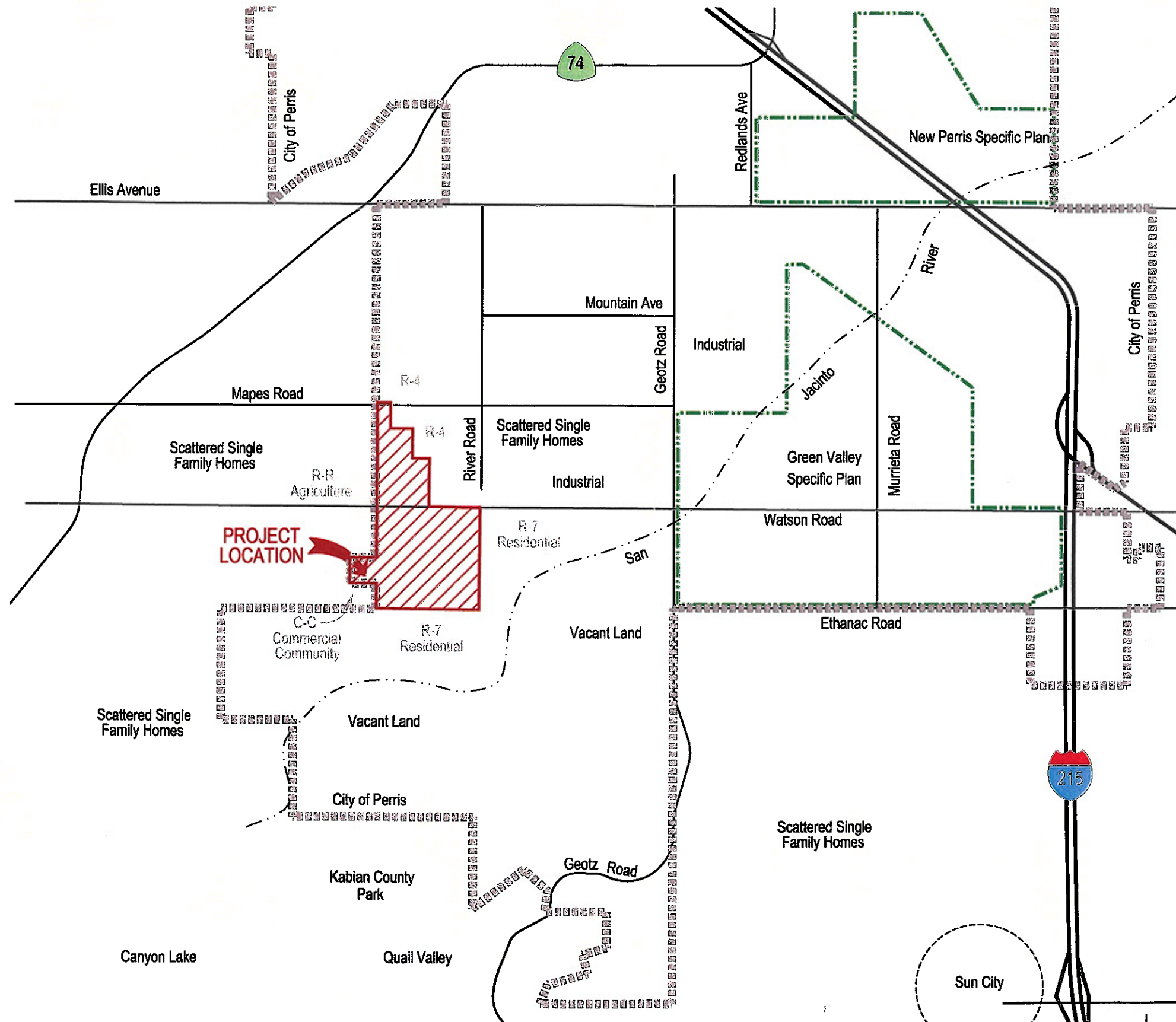
Some of the surrounding land uses to Riverwoods, as depicted on Figure 4, include scattered-single family homes to the north and to the west; vacant land to the south and southwest; and an industrial facility immediately to the west. In addition to these existing land uses, other land uses are proposed. The New Perris Specific Plan is northeast of Riverwoods and fronts both sides of the 215 Freeway.

This project site is currently vacant with no agricultural use (see Figure 3). The site presently contains numerous scattered trees as well as several bladed-dirt roads which traverse the site.

### 3. Area Development Trends

The project site is located within the Inland Empire area which is a rapidly growing area of Southern California. So far, this expansion has been due to a proliferation of affordable, single-family detached homes serving the Riverside, Los Angeles, San Diego, San Bernardino and Orange County areas. Recent approvals in the Inland Empire region indicate that several growth and development trends are occurring.

The project site is located within the City of Perris, which is experiencing rapid growth, as most of the Southern California region has. So far, this expansion has been due to a proliferation of affordable, single family detached homes serving the Riverside and San Bernardino County areas.



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Adjacent Land Uses / Surrounding Development



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4. Expected Time Frame for Development

The proposed project will be developed in two phases over an approximate five year time frame as illustrated in Figure 24, Phasing Plan. The development is expected to begin in Phase I which will incorporate the two different product types as found in Planning Areas 1, 4 and 5 (i.e., 5,000 and 6,000 square foot lots respectively). Phase 2 will continue with the development of two product types (i.e., 6,000 and 10,000 square foot lots) in Planning Areas 6 and 9, and with the additional development of the Community Park and Community Center. Please review Figure 24, Conceptual Phasing Plan and Table 3, Phasing Summary for a more detailed analysis on the phasing schedule.

C. PROJECT DESCRIPTION

1. Type of Project

The 226.9-acre Riverwoods project is envisioned as a balanced family-oriented planned community which provides a mix of land uses. The planned community approach to development assures that the Riverwoods project will be developed properly with respect to land uses, water, sewer, drainage, and circulation issues.

As shown in the Land Use Summary, Table 1, the Specific Plan Amendment includes a mixture of 696 single-family detached dwelling units, an Elementary School site, Community Park, Community Center, Open Space and Circulation in a community-oriented setting.

Residential

Housing types within Riverwoods will be organized according to three density categories. The R-5,000 residential areas (Planning Areas 1 and 5), will allow for the development of about 373 dwelling units on 75.4 acres. Each dwelling unit will be located on minimum 5,000 square foot lots. The R-6000 residential areas (Planning Areas 4 and 6), will provide for the development of about 255 homes on 57.1 acres, with minimum 6,000 square foot lots. The third density category of residential development is R-10,000 density (Planning Area 9). This category will permit development of about 68 dwelling units on 27.1 acres. Minimum lot size will be 10,000 square feet.

Elementary School

Planning Area 2 is designated as a 12.2 acre Elementary School site and is located adjacent to the Park site (Planning area 3). The Elementary School will contain both passive and active recreation amenities for the students.

Community Center

Planning Area 7 consists of a 2.0-acre Community Center site. The conceptual design of this center consists of a community building, outdoor pool/spa/gazebo/fireplace, children's play area, open turf areas and community plaza.

### Community Park

Planning Area 3 consists of an 11.7-acre Community Park site, as shown in Figure 43. The Community Park will be dedicated to the City of Perris and will be operated and maintained by the City. The park may consist of a covered seating area, children's play area, picnic area, basketball courts, and open play turf areas. The school district may desire joint use of the park facilities. The City of Perris has designated a 500 foot wide San Jacinto River corridor centered along the course of the San Jacinto River, as shown in Figure 26. Approximately 1.7 acres of the southeastern portion of the park site is located within this corridor.

Prior to final approval of the San Jacinto River Plan, no significant grading or hardened improvements shall be permitted within 500 feet from the center line of San Jacinto River. The design of the proposed Community Park shall be revised to allow only passive recreational uses in this area, with more active amenities located in the northeasterly portion of the park site. If the mitigation corridor is reduced from the proposed 500 feet, the applicant shall expand the improved park site to the parameters set forth in the approved San Jacinto River Plan.

### Open Space

The Riverwoods Specific Plan Amendment proposes that 17.0 acres of hillside Open Space will be preserved at the western edge of the project adjacent to Planning Area 6 and southwest of McPherson Road.

As precise engineering is completed on tract maps within the project area, changes in street and park alignments and the reallocation of target numbers of housing types may occur. These changes will be considered consistent with the Specific Plan Amendment provided the maximum number of 696 dwelling units is not exceeded. Blending of these density categories is the result of thoughtful planning so that the completed dwellings complement one another and are unified through project design elements such as architecture, landscaping, fencing and community entry treatments.

### Circulation

Approximately 24.4 acres will be provided for circulation. Public streets proposed within the project site are illustrated in Figures 15, 16, and 17. Pedestrian linkage between all planning areas will be provided via sidewalks as illustrated in Figures 16, 17 and 18.

**TABLE 1  
SPECIFIC PLAN AMENDMENT  
LAND USE SUMMARY**

LAND USE	ACRES	DWELLING UNITS	DENSITY	MINIMUM LOT SIZE	PERCENTAGE
R-5,000	75.4	373	5.0 du/ac	5,000 sq. ft.	33%
R-6,000	57.1	255	4.5 du/ac	6,000 sq. ft.	25%
R-10,000	27.1	68	2.5 du/ac	10,000 sq. ft.	12%
Community Center	2.0	-		Approx 2,000 sq. ft. building	2%
Elementary School *	12.2	-			5%
Community Park	11.7	-			5%
Open Space	17.0	-			7%
Roads	24.4	-			11%
<b>TOTALS</b>	<b>226.9</b>	<b>696</b>	<b>3.1 du/ac</b>		<b>100%</b>

\* If the School District decides that the elementary school site is not required within the project site, then the school site as depicted in Figures 5 and 7 shall be redesignated as R-6,000 for single family residential uses or R-14 for multi-family residential uses provided that the following are met: 1) the school district has indicated in writing that they are no longer interested in using Planning Area 2 as a school site; and 2) The overall total shall be a maximum of 750 residential units at a maximum density of 3.3 du/ac.

**2. Jurisdictional Setting**

Riverwoods is a planned development located in the southwestern portion of the City of Perris in western Riverside County.

**3. Market Objectives**

The Specific Plan Amendment for Riverwoods is intended to allow for the development of housing within market type and price ranges anticipated to be in large demand in the Perris Valley, with special attention being given to family-oriented recreational amenities. Specifically, the market objectives are:

- o To reinforce the community identity of the project vicinity through control of project design elements such as architecture, landscaping, color, paving, walls, fencing, signage, distinctive community entry treatments, a themed thoroughfare and a viable circulation network.
- o To reflect anticipated marketing needs and public demand by providing detached single family dwelling units that will be marketable within the region.
- o To provide detached and high-quality housing to serve entry-level couples, family and retirement buyers.
- o To provide recreational and visual amenities in conjunction with strong community design that will offer homebuyers not only a home, but a way of life.

4. Community Facilities District

Successful operation of maintenance districts and associations are important in maintaining a high quality of life for Riverwoods residents. It is anticipated that initial infrastructure improvements and ongoing maintenance responsibilities will be provided using the widest possible array of techniques, including the formulation of a master homeowner's association, Mello-Roos Community Facilities District and a Park Maintenance Assessment District. Please refer to Section VI. G., "Maintenance Associations and Table 5, Maintenance Plan", for a complete discussion regarding the maintenance districts and associations.

The Mello-Roos Community Facilities Act of 1982, commencing with Section 53311 of the Government Code, allows a local public agency to form a "community facilities district" within its boundaries to provide certain specified public improvements and services for the benefit of present and future residents within the district. Proceedings for the formation of a community facilities district are initiated by the appropriate local public agency to consider the exact facilities to be constructed, the incurring of bonded indebtedness and the levy of a "special tax" to pay the debt on any bonds subsequently issued. The special tax is then collected on the tax roles of the County, as would any other tax of a special district. The act is particularly appropriate for providing a means of financing regional improvements which may be necessary for property development as well as traditional local facilities.

5. Homeowner's Association (HOA)

Common areas identified within the Riverwoods Specific Plan Amendment may be owned and maintained by a permanent public or private maintenance organization (HOA) to assume ownership and maintenance responsibility for all common recreation areas, open space, circulation systems, landscape easements and landscaped areas. Areas of responsibility may include open space, HOA recreation facility, fuel modification zones, project entry statements, landscaped entryways, and landscaped areas along the project roadways. Please refer to Section VI. G., "Maintenance Associations and Table 5, Maintenance Plan", for a complete discussion of homeowner's associations.

**III. SPECIFIC DEVELOPMENT PLAN**

**A. LAND USE AND DENSITY**

The 226.9-acre Riverwoods project contains a variety of land uses including single family residential, a Community Center, a school site, a public park and open space. These uses are shown on Figure 5, Specific Land Use Plan. Overall, the project will include a maximum of 696 dwelling units at a density of 3.0 du/ac.

The Riverwoods Specific Plan Amendment project site is subdivided into nine planning areas. Five of the planning areas (Planning Areas 1, 4, 5, 6 and 9) are planned with single-family, detached housing. Planning Area 8 is planned as a natural open space, Planning Area 7 will be the Community Center, Planning Area 2 will be the Elementary School site and Planning Area 3 will be the Community Park. Figures 6 through 14 depict graphic representations of each planning area. Table 2, Planning Area Summary includes a breakdown of the project by planning area:

**TABLE 2  
PLANNING AREA SUMMARY**

PLANNING AREA	LAND USE	MINIMUM LOT SIZE	TOTAL ACREAGE	GROSS DENSITY	DWELLING UNITS
1	Residential	R-5,000 sf	45.9	5.0 du/ac	226
2	Elementary School *	-	12.2	-	-
3	Community Park	-	11.7	-	-
4	Residential	R-6,000 sf	33.8	4.5 du/ac	150
5	Residential	R-5,000 sf	29.5	5.0 du/ac	147
6	Residential	R-6,000 sf	23.3	4.5 du/ac	105
7	Community Center	-	2.0	-	-
8	Open Space	-	17.0	-	-
9	Residential	R-10,000 s. f.	27.1	2.5 du/ac	68
	Circulation	-	24.4	-	-
<b>TOTAL PROJECT</b>	-		<b>226.9</b>	<b>3.1 du/ac</b>	<b>696*</b>

\*NOTE: If the School District decides that the elementary school site is not required within the project site, then the school site as depicted in Figures 5 and 7 shall be redesignated as R-6,000 for single family residential uses or R-14 for multi-family residential uses provided that the following are met: 1) the school district has indicated in writing that they are no longer interested in using Planning Area 2 as a school site; 2) the overall total shall be a maximum of 750 residential units at a maximum density of 3.3 du/ac.

**1. Residential (See Figures 5, 6, 9, 10, 11, and 14)**

Approximately 159.6 acres or 70 percent of the project, within the 226.9-acre Riverwoods project will be devoted to residential uses. In all, 696 single-family detached dwelling units shall be constructed within the Riverwoods project. Refer to Figure 4, Specific Land Use Plan, for the location of the proposed residential development and each of the four residential planning areas. Refer to

Figures 28 through 44 for landscaping, streetscape, entry treatments and wall/fence design guidelines. A detailed discussion of the proposed residential development is discussed in Section III. B., Housing Program.

2. Community Center (See Figures 5, 12 and 44)

Planning Area 7 consists of a 2.0-acre Community Center site. The conceptual design of this center consists of a community building, outdoor pool/spa/gazebo/fireplace, children's play area, open turf areas and community plaza. Refer to Figures 27 through 44 for landscaping, streetscape, entry treatments and wall/fence design guidelines. The Community Center will be a focal point for the Riverwoods community and will provide a place for neighborhood meetings, socialization and recreation. The Community Center building will be a minimum of 2,000 sq ft., including a 750 sq. ft. minimum meeting room. It is anticipated that the Community Center building will be used by the residents of Riverwoods for various parties, receptions, club meetings, and as a general meeting room for social activities. The Community Center will be maintained by the Riverwoods HOA.

3. Elementary School Site (See Figures 5 and 7)

Planning Area 2 is designated as a 12.2-acre elementary school site and is located adjacent to the park site (Planning Area 3). Access shall be off of Street "A". If the City of Perris School District is not interested in using Planning Area 2, then the school site shall be converted to residential uses (R-6,000 for single family or R-14 for multi-family) provided that all the following are met: 1) The school district has indicated in writing that they are no longer interested in using Planning Area 2 as a school site; and 2) The entire project does not exceed 750 residential units. Refer to Figures 27 through 44 for landscaping, streetscape, entry treatments and wall/fence design guidelines.

4. Community Park (See Figures 5, 8 and 43)

Planning Area 3 is an 11.7-acre Community Park site. The Community Park will be dedicated to the City of Perris and will be operated and maintained by the City. Access shall be off of Street "A". A maintenance road located along the east side of the Planning Area will provide access to the proposed lift station. The park may consist of children's play area, picnic area, covered outdoor seating area, basketball courts, and open play turf areas. The City of Perris has designated a 500 foot corridor along the San Jacinto River. Approximately 1.7 acres of the southeastern portion of the park site is located within this corridor. Prior to final approval of the San Jacinto River Plan, no significant grading or hardened improvements shall be permitted within 500 feet from the center line of San Jacinto River. The design of the proposed Community Park shall be revised to allow only passive recreational uses in this area, with more active amenities located in the northeasterly portion of the park site. If the mitigation corridor is reduced from the proposed 500 feet, the applicant shall expand the improved park site to the parameters set forth in the approved San Jacinto River Plan.

5. Natural Open Space (See Figures 5 and 13)

17.0 acres of low maintenance, natural hillside open space have been set aside in the Riverwoods project site. This hillside open space will serve to add to the visual beauty and continuity of the project site. The hillside open space will be maintained by the HOA.

**B. RESIDENTIAL PROGRAM**

The major objective of Riverwoods is to provide detached single-family dwellings in a balanced family-oriented community setting. A variety of neighborhoods featuring diverse lot and home styles will satisfy a broad spectrum of life styles. Such a diversity of housing is intended to appeal to several market segments, including singles, couples, young families, move-up buyers and retirees.

Typical housing types as approved by the City of Perris within the Riverwoods project will be organized according to three density categories. These categories include:

o R-5,000 RESIDENTIAL DEVELOPMENT (See Figures 5, 6 and 10)

Detached, single-family homes are planned on 75.4 acres with a total not to exceed 373 dwelling units. These dwelling units are planned for Planning Areas 1 and 5. The average density will be 5.0 dwelling units per acre. The minimum living area per dwelling unit shall be 1,100 square feet. Minimum lot size shall be 5,000 square feet. Dwellings within this zone shall be subject to the development standards contained in Section VI.B.1.c., Residential Development Standards of this document.

o R-6,000 RESIDENTIAL DEVELOPMENT (See Figures 5, 9 and 11)

The R-6,000 residential areas are established for the development of approximately 255 detached, single-family homes on 57.1 acres in Planning Areas 4 and 6. The total number of dwelling units in this planning area shall not exceed 255 units at an average density of 4.5 dwellings per acre. The minimum living area per dwelling unit shall be 1,200 square feet. Minimum lot size shall be 6,000 square feet. Dwellings within this zone shall be subject to the development standards contained in Section VI.B.1.b., Residential Development Standards of this document.

- o R-10,000 RESIDENTIAL DEVELOPMENT (See Figures 5 and 14)

Detached, single-family residential development is planned on 27.1 acres in Planning Area 9. The total number of dwelling units in this Planning Area shall not exceed 68 units. The average density will be 2.5 dwellings per acre. Minimum lot size shall be 10,000 square feet. The minimum living area per dwelling unit shall be 1,250 square feet. Dwellings within this zone shall be subject to the development standards contained in Section VI.B.1.a., Residential Development Standards of this document.

In total, Riverwoods will consist of 696 detached single-family dwellings spread among three density categories. No more than 696 single-family dwellings shall be permitted in the Riverwoods Specific Plan Amendment, regardless of lot size. The Specific Plan Amendment allows an option for R-6,000 for single family residential uses or R-14 for multi-family residential uses within Planning Area 2 if the school district decides not to use the site. Thus, a total of 750 dwelling units would be permitted within the project area.

The blending of these density categories is the result of thoughtful planning so that the completed dwellings complement one another and are unified through project design elements such as architecture, landscaping, walls, fencing, and community entry treatments. Please refer to Section IV for a detailed discussion of proposed project design elements.

The developer and/or builder of each residential tract will follow architectural standards to assure compatibility of individual development tracts with the same distinctive community theme. The architectural design guidelines will be submitted under a separate document to the City of Perris prior to the issuance of any building permits.

Figure: 5



LEGEND

Land Use	Units	Acres	Density
R - 10,000 s.f.	68	27.1	2.5
R - 6,000 s.f.	255	57.1	4.5
R - 5,000 s.f.	373	75.4	5.0
Community Center (CC)		2.0	
Elementary School (ES)		12.2	
Community Park (P)		11.7	
Open Space (OS)		17.0	
Circulation		24.4	
<b>Total</b>	<b>696</b>	<b>226.9</b>	<b>3.0</b>

INFORMATION

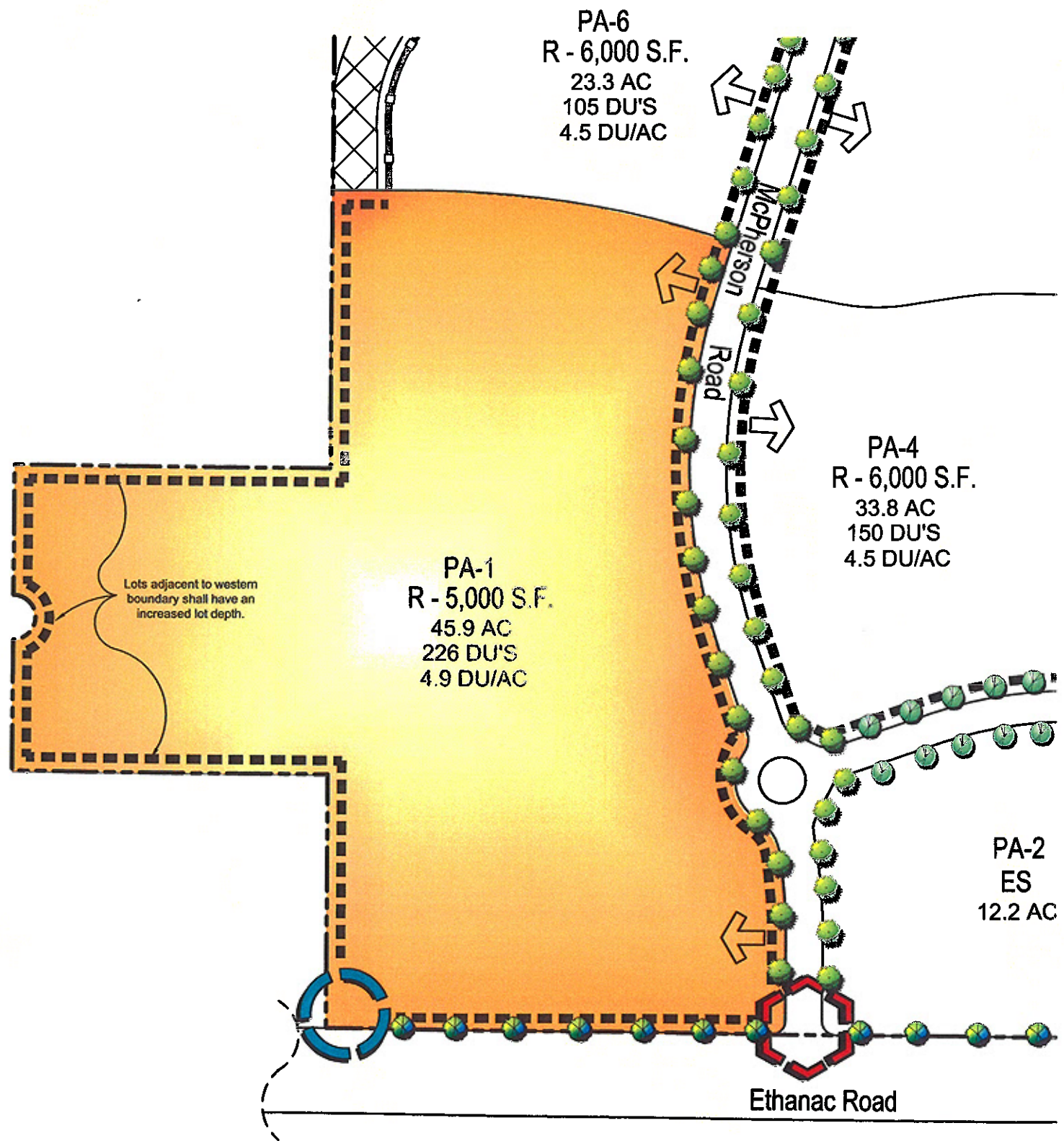
R-6,000 for single family & R-14,000 for multiple family dwelling units.

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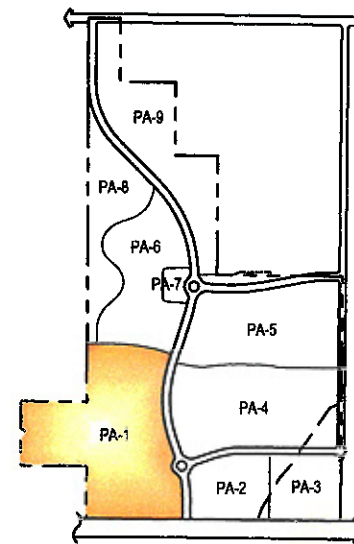
Specific Land Use Plan



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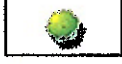



KEY MAP



INFORMATION

PA 1 - 5,000 S.F. Residential  
45.9 AC  
226 DU'S  
4.9 DU/AC.

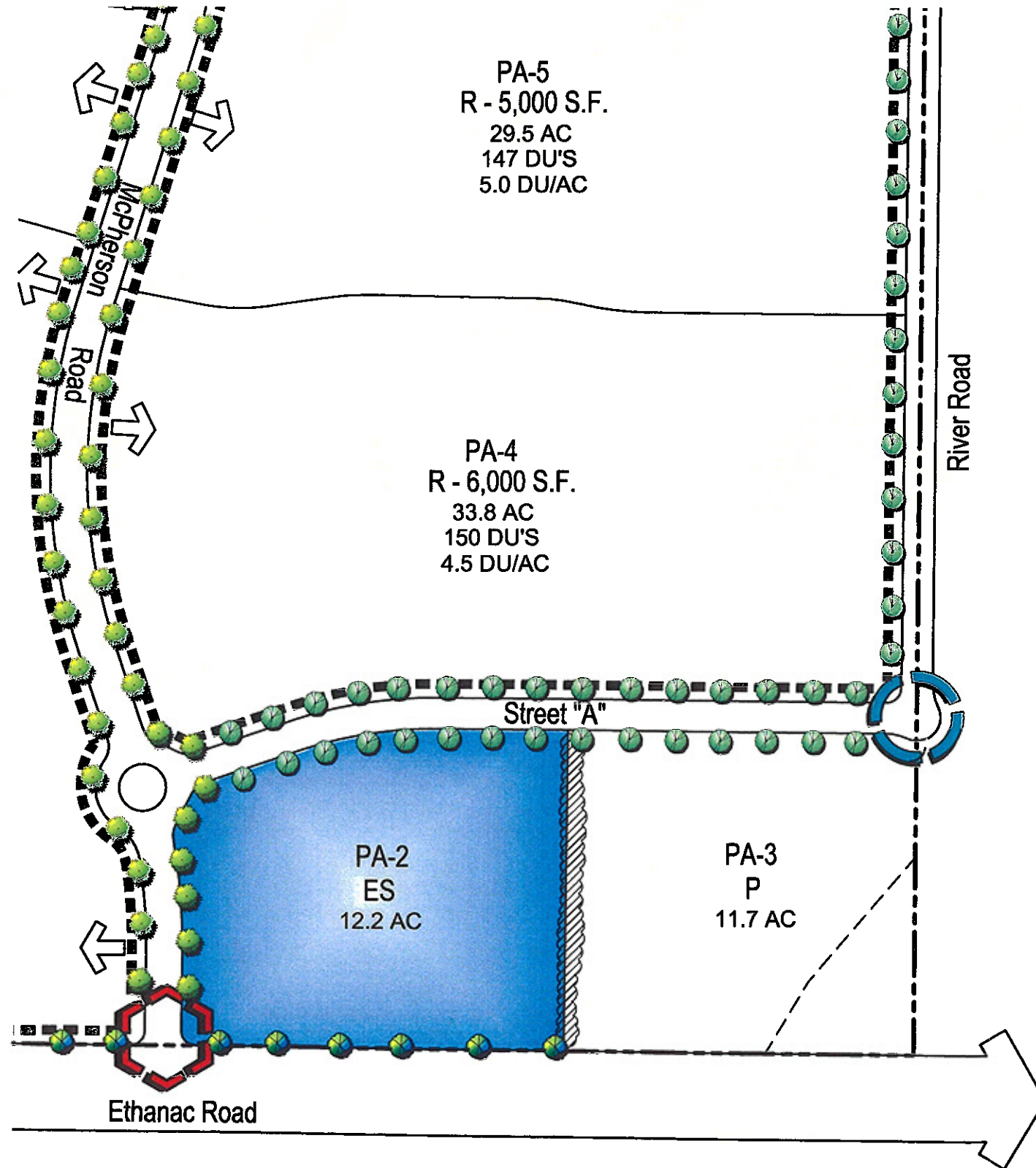
LEGEND

-  Community Wall  
(See Figure 41 and 42)
-  View Wall Fence  
(See Figure 41 and 42)
-  Primary Entrance  
(See Figure 28, 34 and 35)
-  Secondary Entrance  
(See Figure 28, 36 and 37)
-  Ethanac Road Streetscape  
(See Figure 29 and 29A)
-  McPherson / Watson Road Streetscape  
(See Figure 31 and 31A)
-  River Road / "A" Street Streetscape  
(See Figure 32 and 33)
-  Fuel Modification Zone  
(See Figure 40)
-  Neighborhood Entrance  
(See Figure 38 and 39)

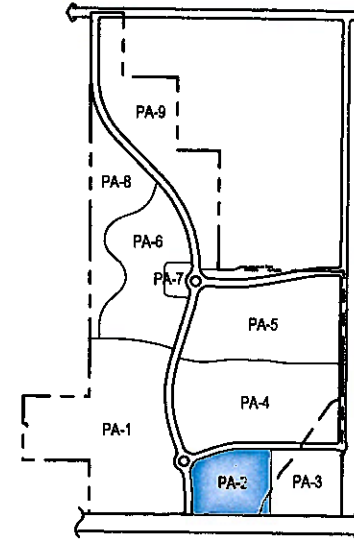
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Planning Area One (1)







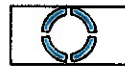





KEY MAP



INFORMATION

PA 2 - Elementary School  
12.2 AC  
R-6,000 for single family & R-14,000 for multiple family dwelling units.

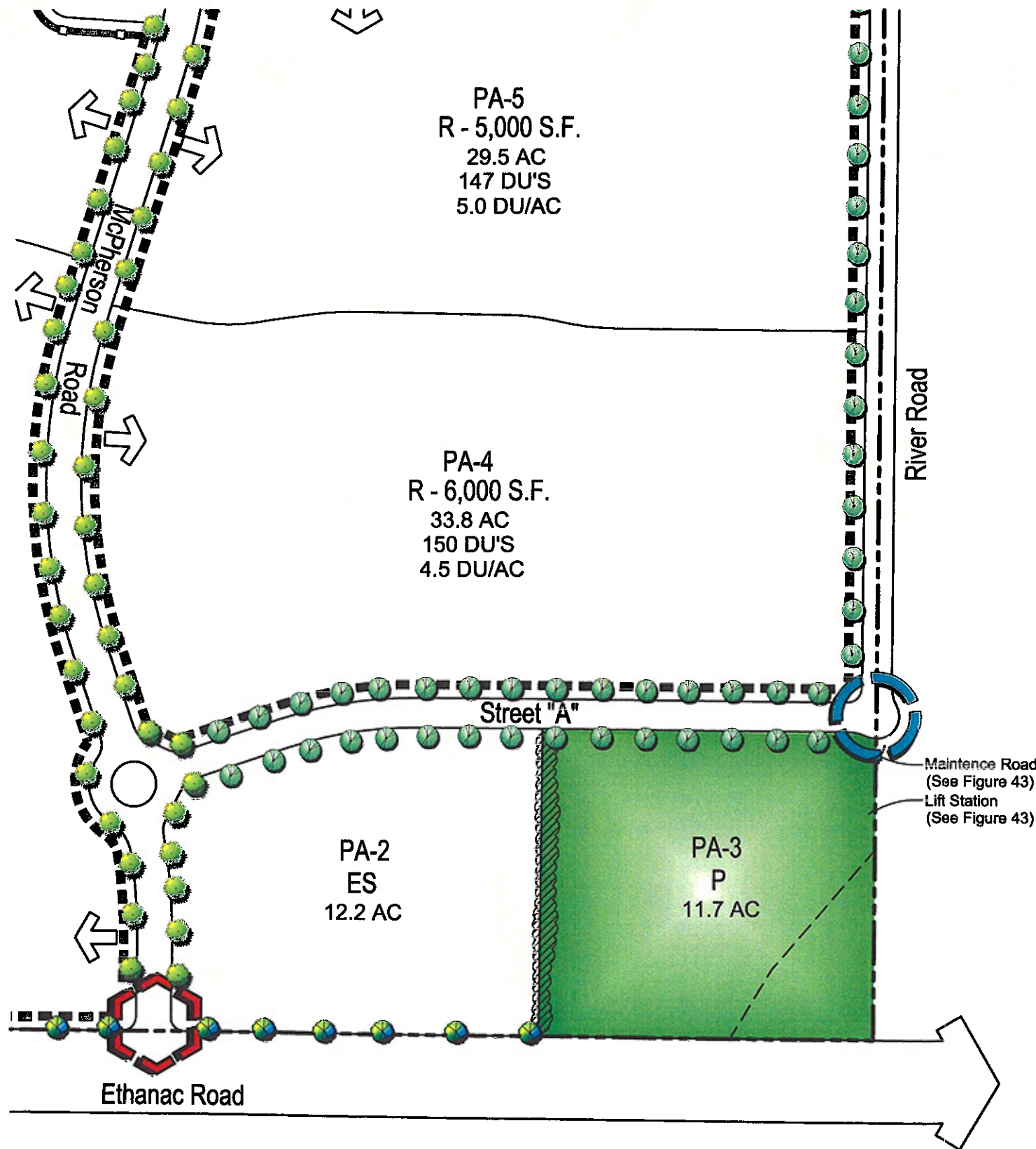
LEGEND

-  Community Wall  
(See Figure 41 and 42)
-  Primary Entrance  
(See Figure 28, 34 and 35)
-  Secondary Entrance  
(See Figure 28, 36 and 37)
-  Ethanac Road Streetscape  
(See Figure 29 and 29A)
-  McPherson / Watson Road Streetscape  
(See Figure 31 and 31A)
-  River Road / "A" Street Streetscape  
(See Figure 32 and 33)
-  Landscape Treatment  
(See Figure 43 and 44)
-  Neighborhood Entrance  
(See Figure 38 and 39)

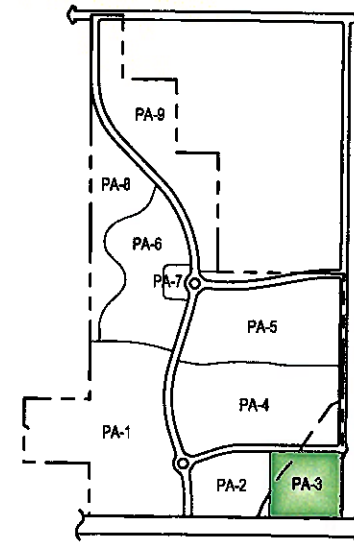
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Planning Area Two (2)












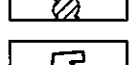
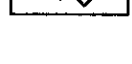
KEY MAP



INFORMATION

PA 3 - Community Park  
11.7 AC

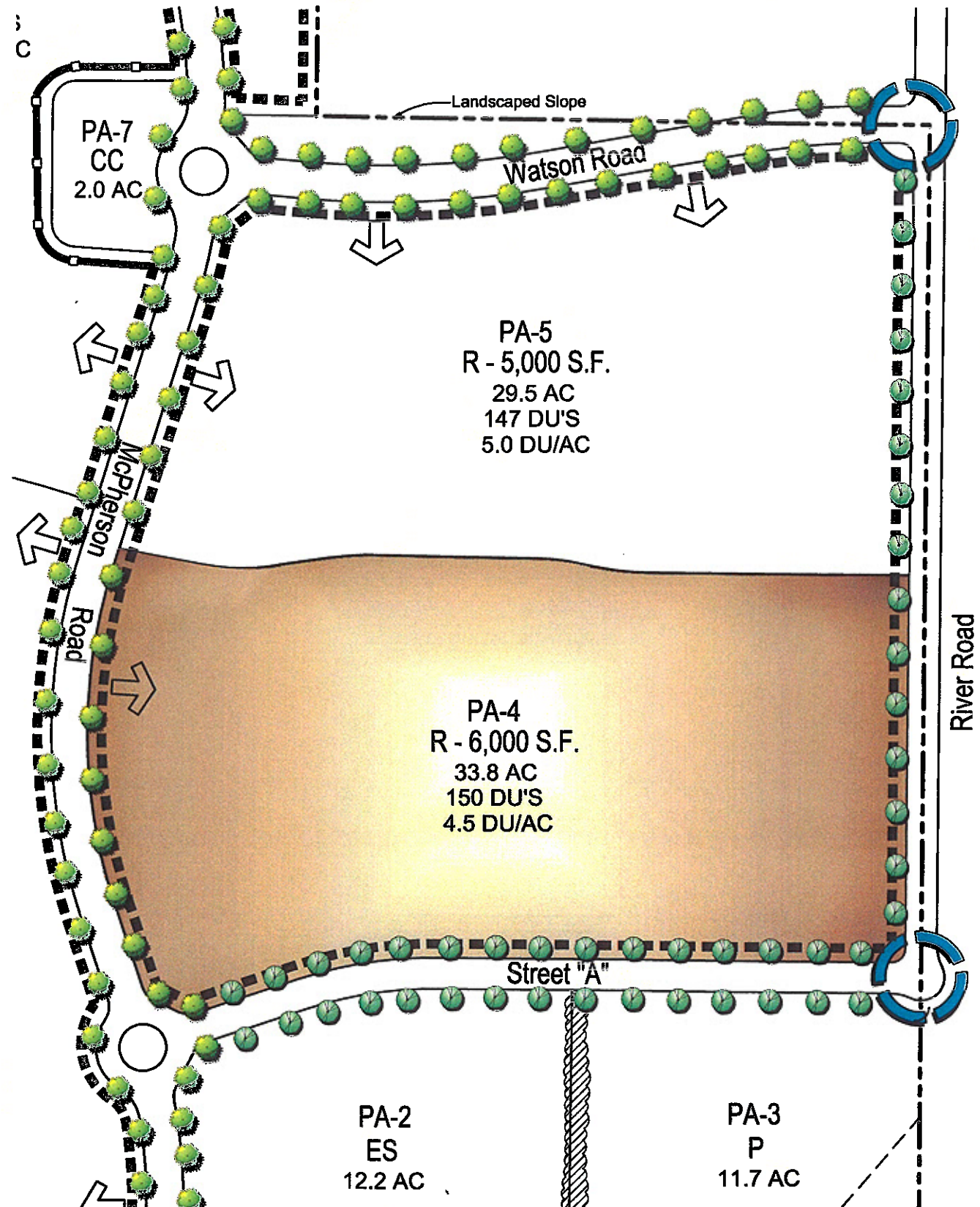
LEGEND

-  Community Wall  
(See Figure 41 and 42)
-  View Wall Fence  
(See Figure 41 and 42)
-  Primary Entrance  
(See Figure 28, 34 and 35)
-  Secondary Entrance  
(See Figure 28, 36 and 37)
-  Ethanac Road Streetscape  
(See Figure 29 and 29A)
-  McPherson / Watson Road Streetscape  
(See Figure 31 and 31A)
-  River Road / "A" Street Streetscape  
(See Figure 32 and 33)
-  Landscape Treatment  
(See Figure 43 and 44)
-  Neighborhood Entrance  
(See Figure 38 and 39)

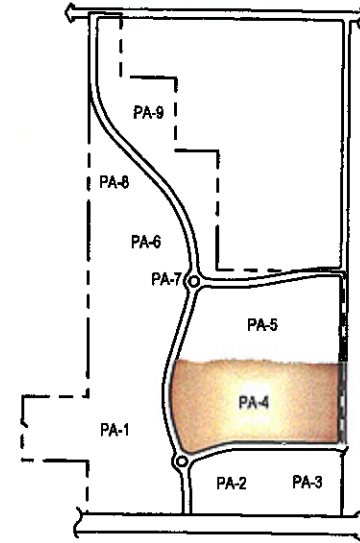
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Planning Area Three (3)





KEY MAP



INFORMATION

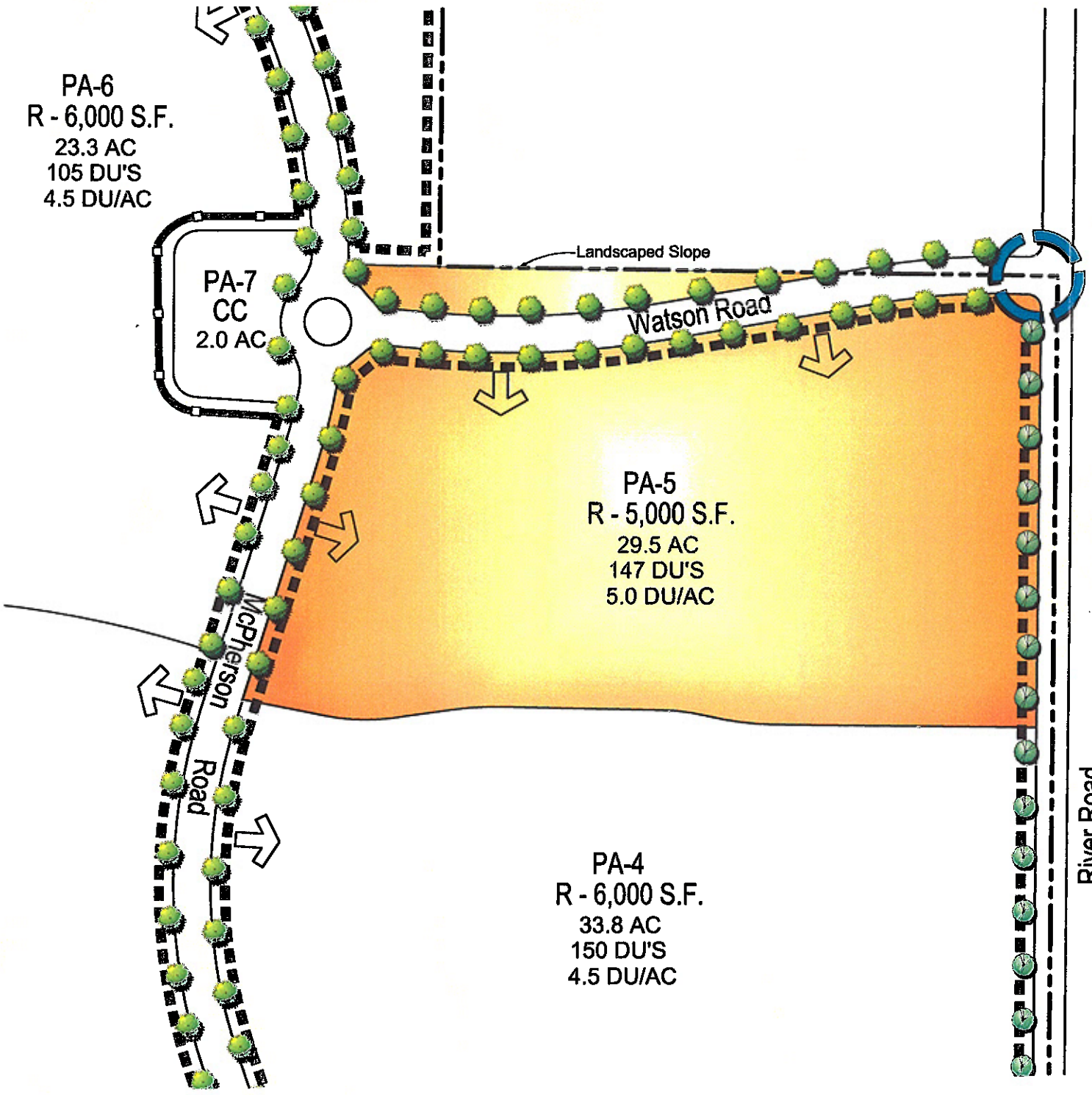
PA 4 - 6,000 S.F. Residential  
 33.8 AC  
 150 DU'S  
 4.5 DU/AC.

LEGEND

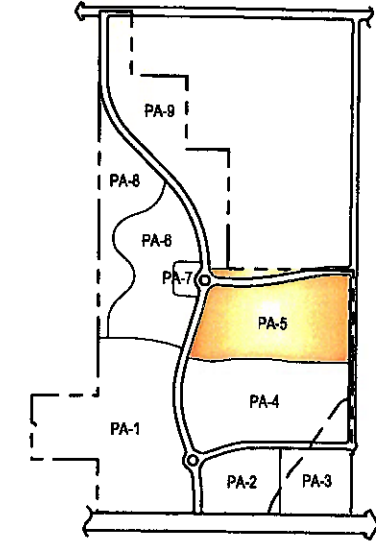
-  Community Wall  
(See Figure 41 and 42)
-  View Wall Fence  
(See Figure 41 and 42)
-  Secondary Entrance  
(See Figure 28, 36 and 37)
-  McPherson / Watson Road Streetscape  
(See Figure 31 and 31A)
-  River Road / "A" Street Streetscape  
(See Figure 32 and 33)
-  Landscape Treatment  
(See Figure 43 and 44)
-  Neighborhood Entrance  
(See Figure 38 and 39)

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Planning Area Four (4)









KEY MAP



INFORMATION

PA 5 - 5,000 S.F. Residential  
29.5 AC.  
147 DU'S  
5.0 DU/AC.

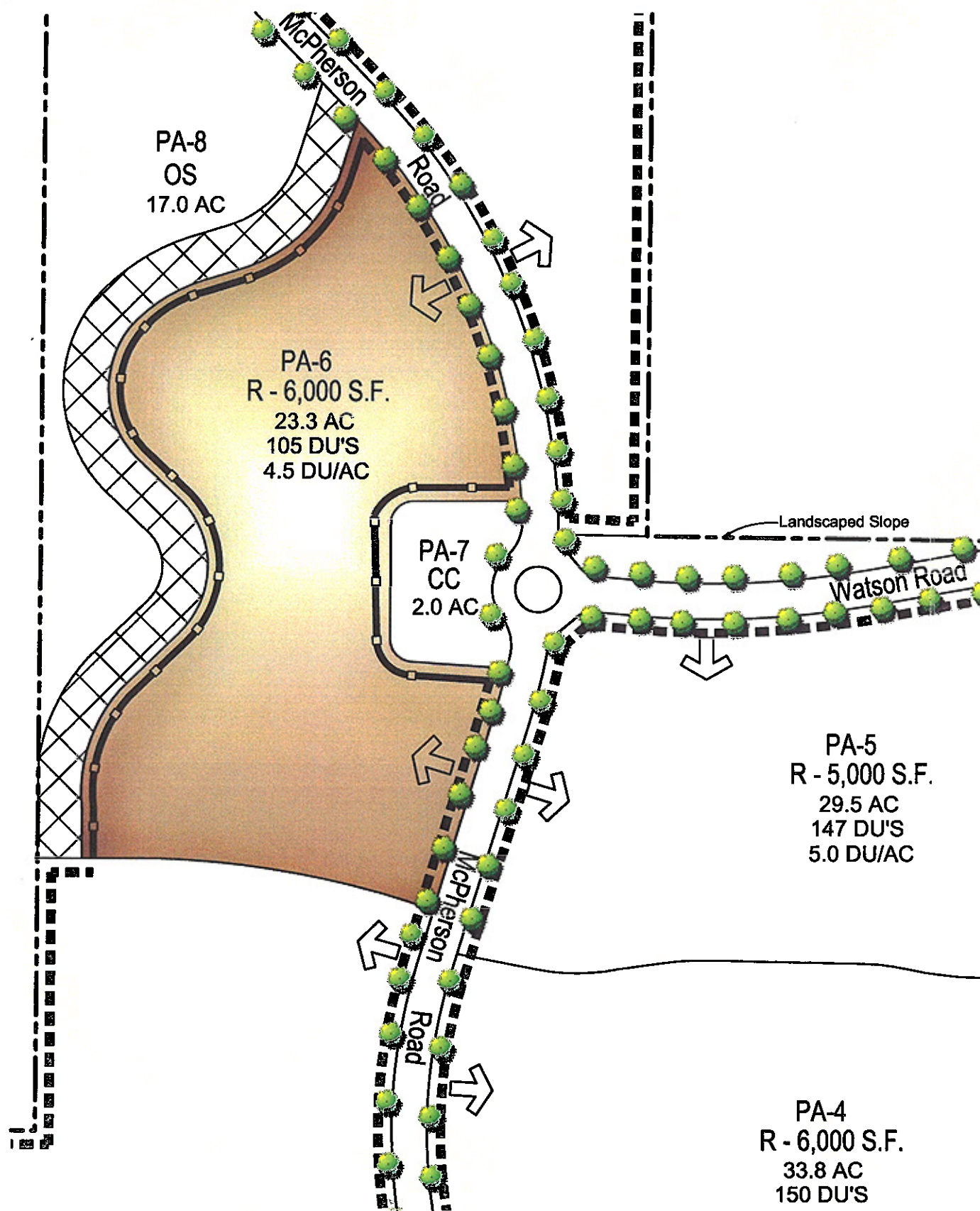
LEGEND

-  Community Wall  
(See Figure 41 and 42)
-  View Wall Fence  
(See Figure 41 and 42)
-  Secondary Entrance  
(See Figure 28, 36 and 37)
-  McPherson / Watson Road Streetscape  
(See Figure 31 and 31A)
-  River Road / "A" Street Streetscape  
(See Figure 32 and 33)
-  Neighborhood Entrance  
(See Figure 38 and 39)

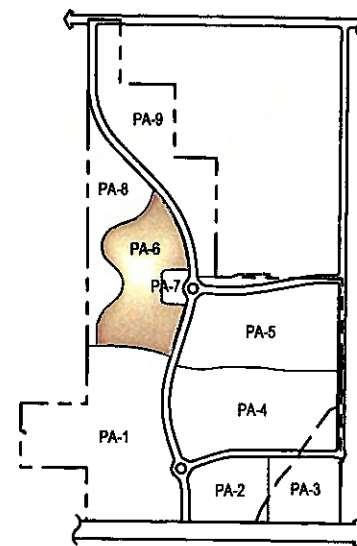
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Planning Area Five (5)










KEY MAP



INFORMATION

PA 6 - 6,000 S.F. Residential  
23.3 AC.  
105 DU'S  
4.5 DU/AC.

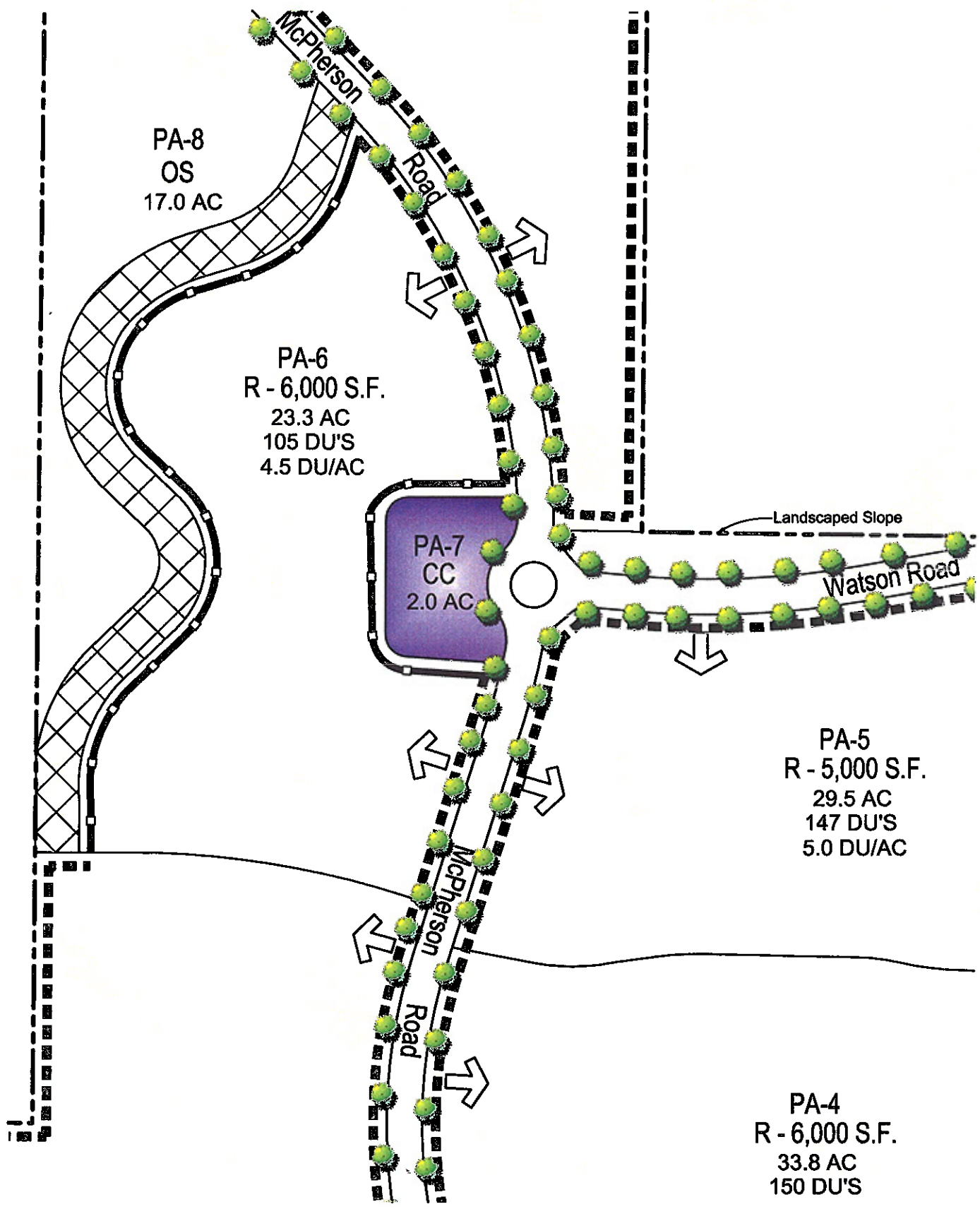
LEGEND

-  Community Wall  
(See Figure 41 and 42)
-  View Wall Fence  
(See Figure 41 and 42)
-  McPherson / Watson Road Streetscape  
(See Figure 31 and 31A)
-  Fuel Modification Zone  
(See Figure 40)
-  Neighborhood Entrance  
(See Figure 38 and 39)

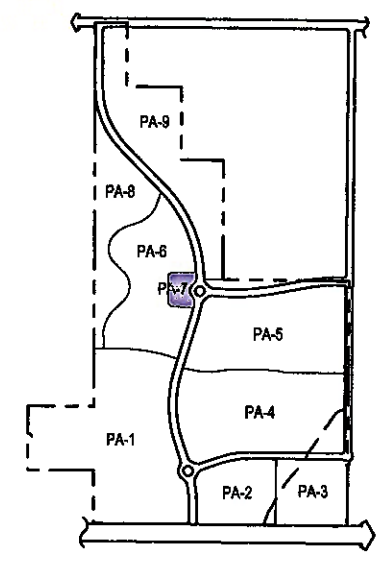
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Planning Area Six (6)










KEY MAP



INFORMATION

PA 7 - Community Center  
2.0 AC.

LEGEND

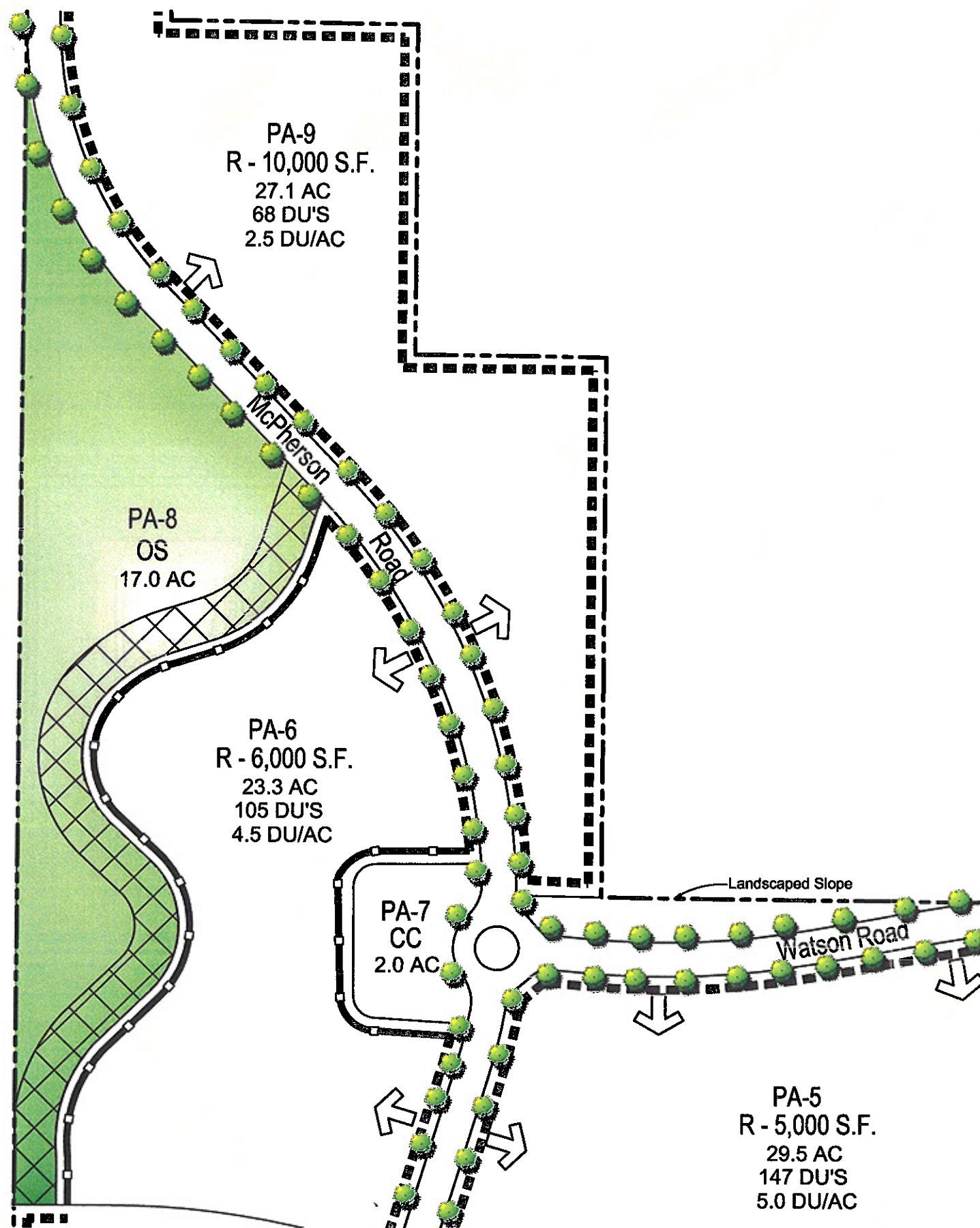
-  Community Wall  
(See Figure 41 and 42)
-  View Wall Fence  
(See Figure 41 and 42)
-  McPherson / Watson Road Streetscape  
(See Figure 31 and 31A)
-  Fuel Modification Zone  
(See Figure 40)
-  Neighborhood Entrance  
(See Figure 38 and 39)

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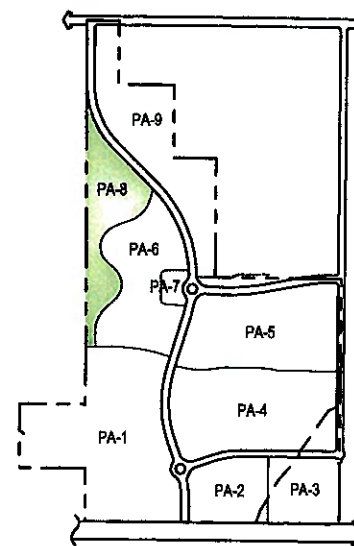
Planning Area Seven (7)



SCALE: 1" = 600'








KEY MAP



INFORMATION

PA 8 - Open Space  
17.0 AC.

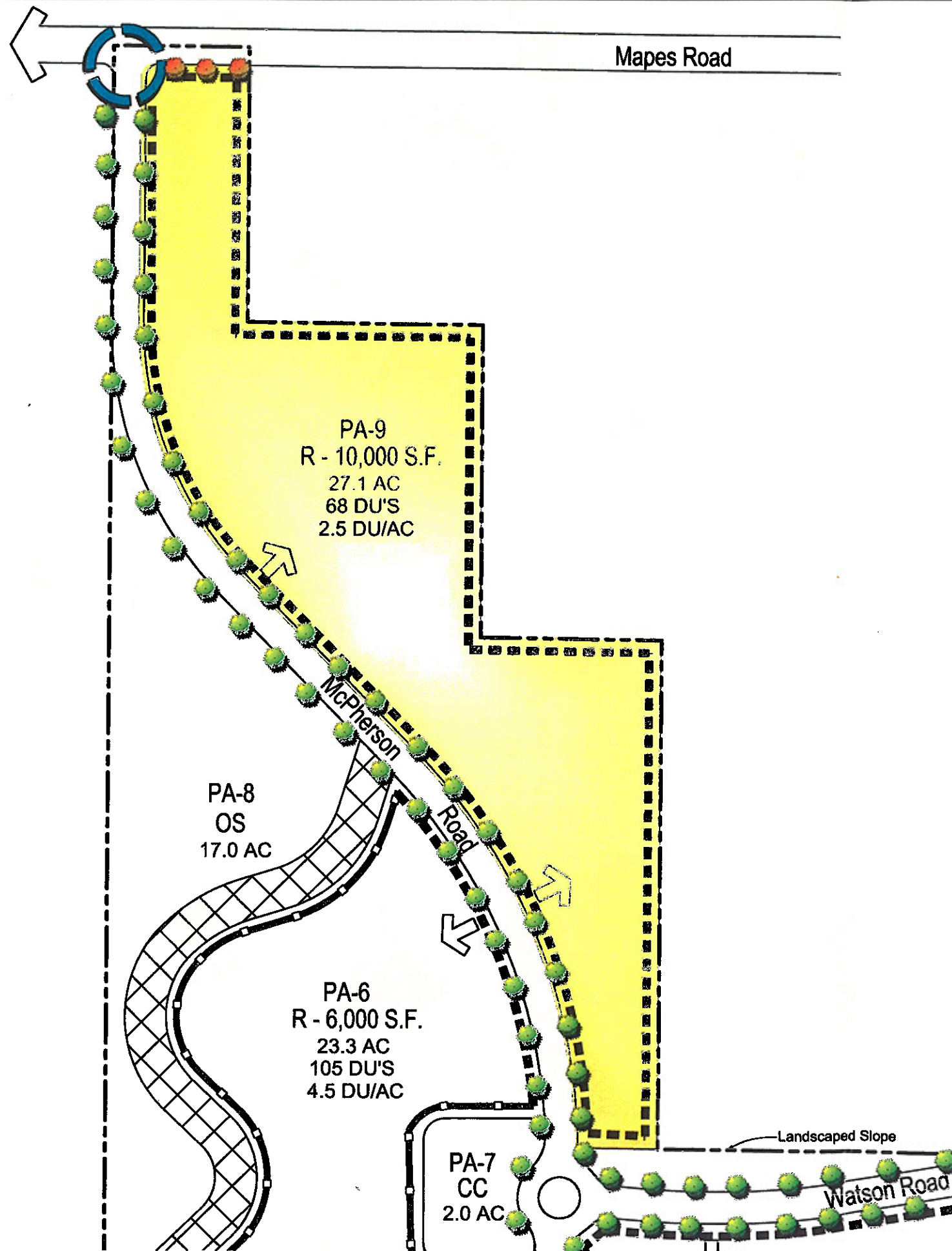
LEGEND

-  Community Wall  
(See Figure 41 and 42)
-  View Wall Fence  
(See Figure 41 and 42)
-  McPherson / Watson Road Streetscape  
(See Figure 31 and 31A)
-  Fuel Modification Zone  
(See Figure 40)
-  Neighborhood Entrance  
(See Figure 38 and 39)

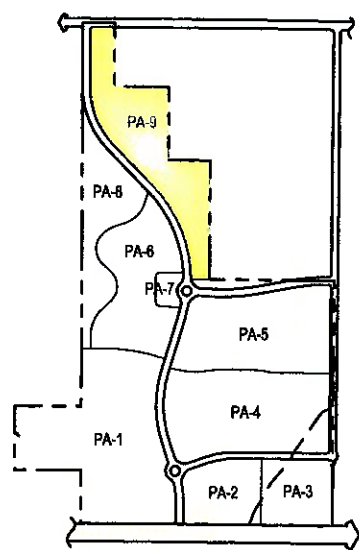
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Planning Area Eight (8)








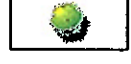



KEY MAP



INFORMATION

PA 1 - 10,000 S.F. Residential  
 27.1 AC.  
 68 DU'S  
 2.5 DU/AC.

LEGEND

-  Community Wall  
(See Figure 41 and 42)
-  View Wall Fence  
(See Figure 41 and 42)
-  Secondary Entrance  
(See Figure 28, 36 and 37)
-  McPherson / Watson Road Streetscape  
(See Figure 31 and 31A)
-  Mapes Road Streetscape  
(See Figure 30 and 30A)
-  Fuel Modification Zone  
(See Figure 40)
-  Neighborhood Entrance  
(See Figure 38 and 39)

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Planning Area Nine (9)



**C. CIRCULATION PLAN**

The proposed roadway circulation system for Riverwoods contains roadway widths, alignments and access locations that respond to the traffic service needs of the project as indicated on the Circulation Plan (See Figure 15).

Access to the project is available from Highway 74 at Ethanac Road. Highway 74 also provides access to the site from Interstate 215 which is about four miles to the east of the project. Currently, River Road, Mapes Road, and a portion of Watson Road are the only available direct access to the site.

Public roadways will be funded via a CFD, TUMF credits and development impact fees. Public roadways will be designed and constructed to standards as accepted by the City of Perris. All public roadways will be incorporated into the City of Perris system of roads for operation and maintenance as approved by the City.

Public streets proposed for the Riverwoods project are shown on Figures 15, Circulation Plan. Please refer to Figures 16 and 17 for Road Cross-Sections. The following roadway categories are included in the project:

**Expressway (Ethanac Road)**

This roadway consists of a 184 foot right-of-way with ½-mile intersection spacing. This design allows for 60 feet of pavement in each direction which includes up to four future traffic lanes. There will be a 6 foot meandering sidewalk within a 25-foot landscaped parkway on either side of the roadway and a 14-foot raised center median. Riverwoods will only be responsible for development of half of the right-of-way for Ethanac. (See Figure 16, Section 1). Off-site improvements to Ethanac Road include the construction of a 30-foot paved section from River Road to Goetz Road, including a low-flow culvert crossing at the San Jacinto River.

**Secondary Arterial (Mapes Road)**

This roadway consists of a 94 foot right-of-way with 330-foot intersection spacing. This design allows for 26 feet of pavement in each direction which includes two traffic lanes and a parking lane. Mapes Road will include a 12-foot painted median for a total curb-to-curb width of 64 feet, and a 15-foot parkway with a 6-foot wide meandering sidewalk. Riverwoods will only be responsible for development of half of the right-of-way for Mapes Road. (See Figure 16, Section 2).

**Major Collector** (Interior Thoroughfare – McPherson Road and Watson Road)

This roadway consists of a 78 foot right of way with 200-foot intersection spacing. This roadway will consist of 56 feet of pavement, including a 12-foot wide painted median, and a 16 foot parkway with a 6-foot wide meandering sidewalk. The 16-foot parkway is comprised of 11 feet of public right-of-way and a 5-foot wide sidewalk and landscape easement. The 6-foot wide sidewalk will meander within the 16-foot parkway. The 5-foot sidewalk and landscape easement will not be required for the northerly side of Watson Road. (See Figure 17, Section 3).

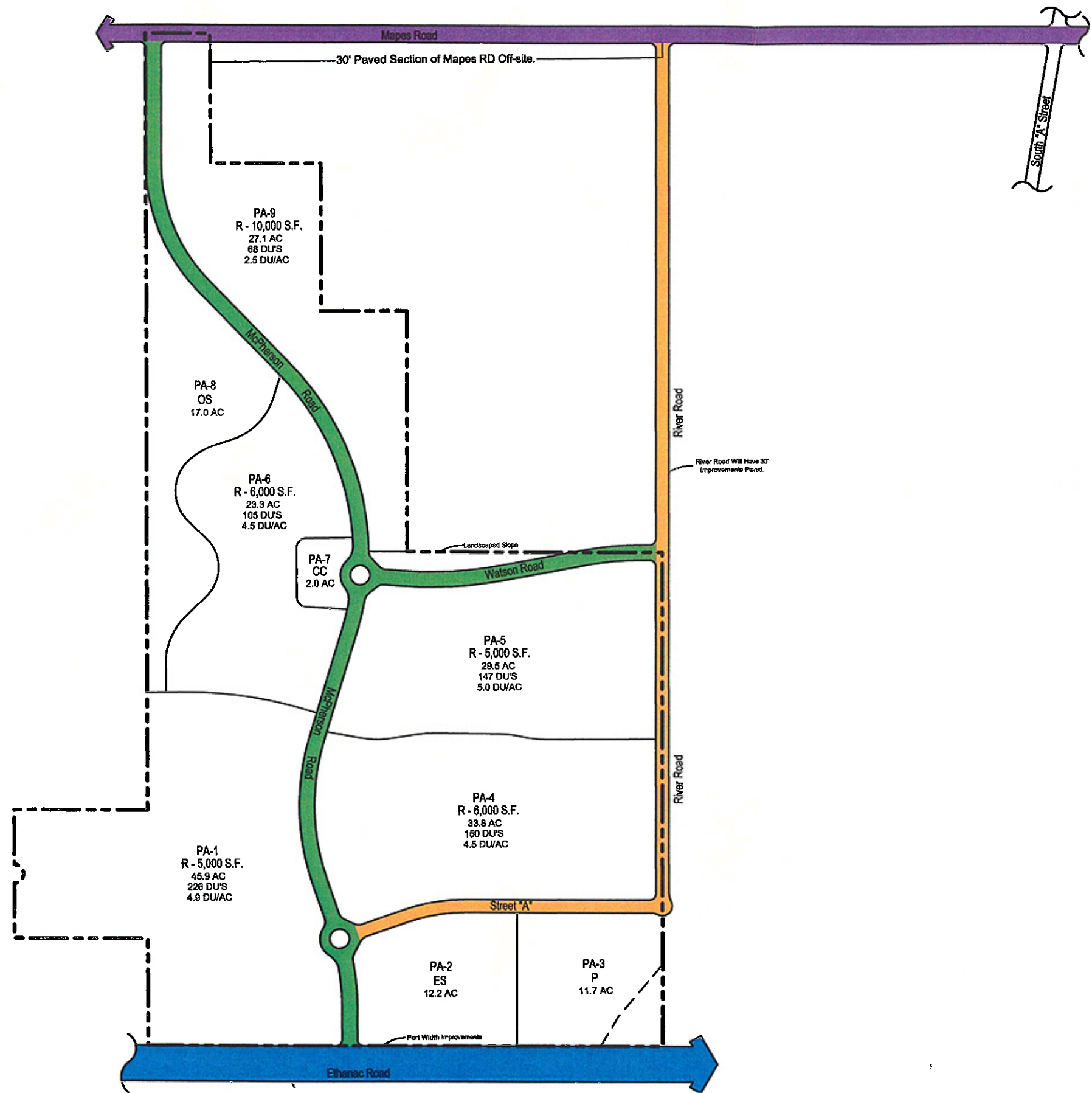
**Collector** (River Road and Street "A")

This roadway consists of a 66 foot right-of-way with 200-foot intersection spacing. This design allows for 22 feet of pavement in each direction, which includes one traffic lane and one parking lane. There also will be a 16-foot wide enhanced parkway, including a 6-foot wide meandering sidewalk. The 16-foot parkway is comprised of 11 feet of public right-of-way and a 5-foot wide sidewalk and landscape easement. The 6-foot wide sidewalk will meander within the 16-foot parkway. Riverwoods will only be responsible for development of half of the right-of-way for River Road, plus 12 feet of additional paving and grading on the other side of centerline of street subject to availability of the adjacent property. The 16-foot parkway is comprised of 11 feet of public right-of-way and a 5-foot wide sidewalk and landscape easement. The 6-foot wide sidewalk will meander within the 16-foot parkway. (See Figure 17, Section 4).

**Local Road** (In-tract roadways) 6

These roadways consist of 60 foot rights-of-way with 200-feet of intersection spacing. This design allows for 20 feet of pavement in each direction which includes one traffic lane and one parking lane. There also will be 10 feet of parkway, including a 4-foot wide sidewalk and landscaping on either side of the roadway. (See Figure 17, Section 5). Cul-de-sacs and bulbs shall be designed per the City of Perris standards.

Pedestrian linkage between all planning areas will be provided via sidewalks as illustrated in Figures 16, 17 and 18. Sidewalks will allow pedestrians linkage to the Community Center (Planning Area 7), the elementary school site (Planning Area 2) and the Park site (Planning Area 3) via sidewalks.



**LEGEND**

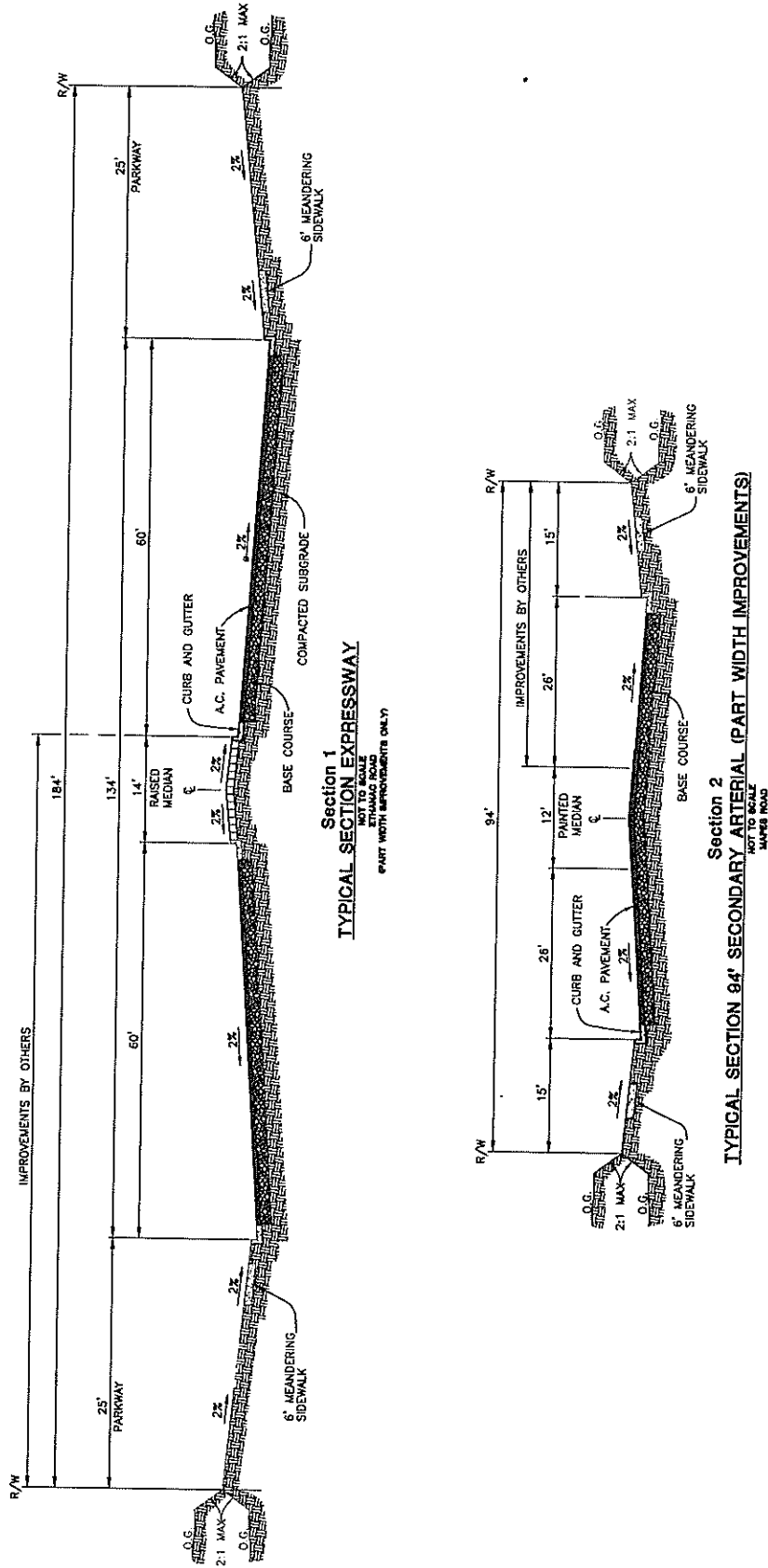
	Six - Lane Expressway (184') (See Figure 16)
	Secondary Arterial (94') (See Figure 16)
	Major Collector (78') (See Figure 17)
	Collector (66') (See Figure 17)

**INFORMATION**  
 In-tract streets are designated as Local Roads (60')

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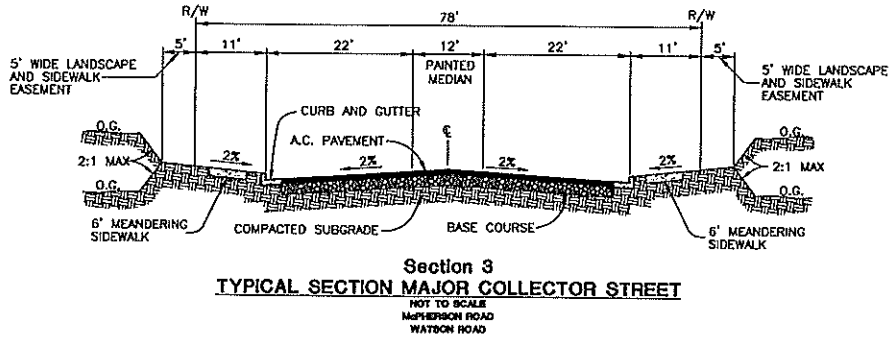
**Circulation Plan**



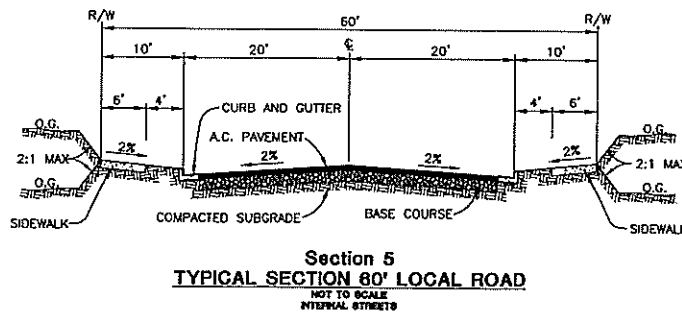
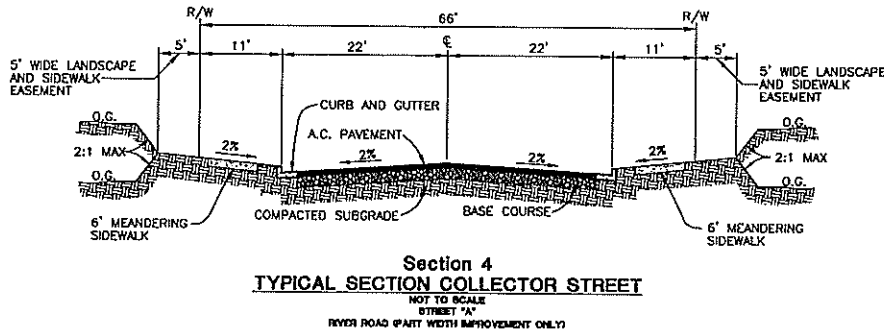


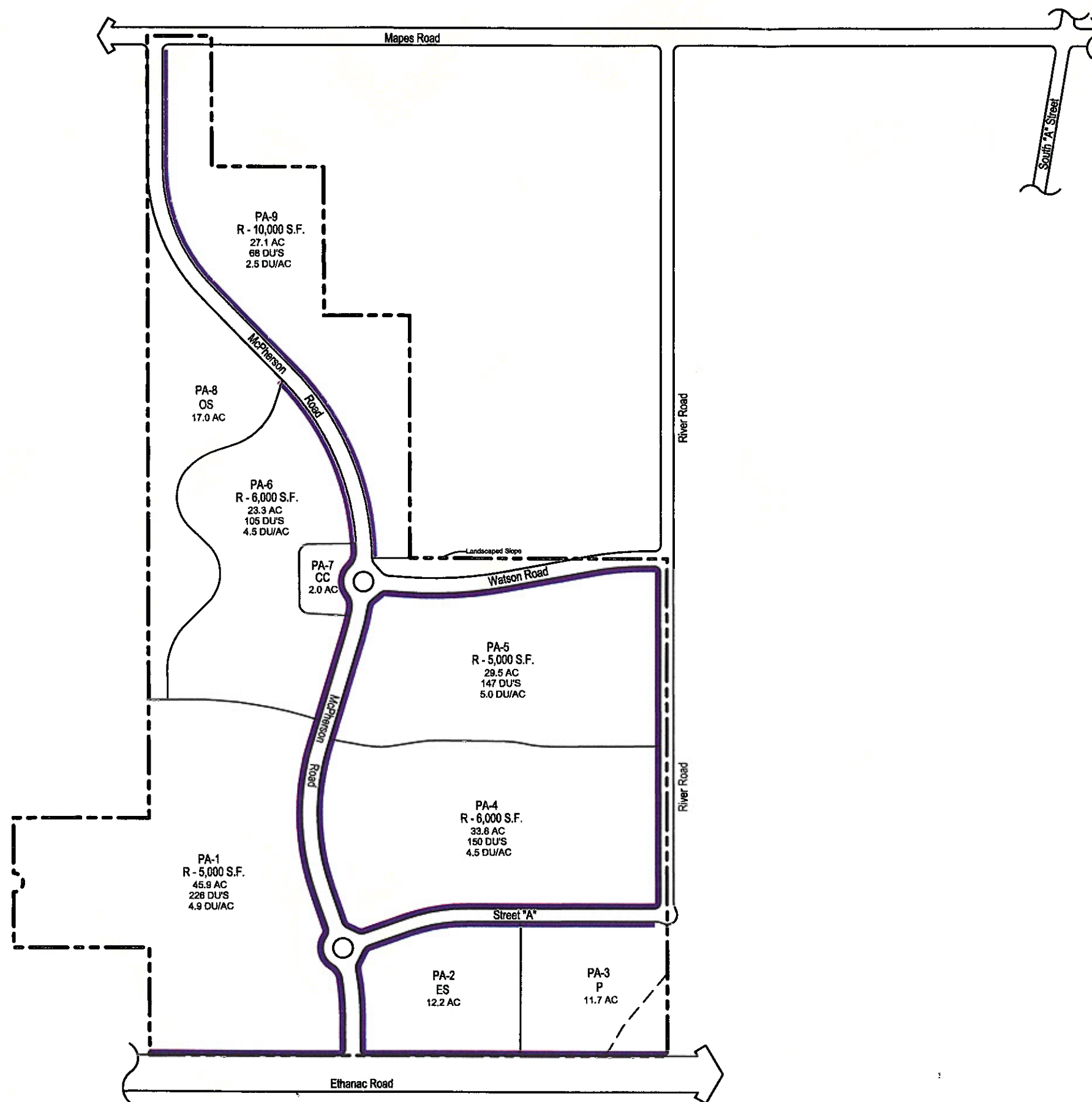
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# Road Cross-Sections



NOTE:  
 5' WIDE LANDSCAPE AND SIDEWALK EASEMENT TO BE PROVIDED ON THE WEST AND EAST SIDES OF MCPHERSON ROAD, AND THE SOUTH SIDE OF WATSON ROAD.





LEGEND



Enhanced Pedestrian Pathway  
(See Figures 16 and 17)

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Non-Vehicular Circulation Plan



**D. HYDROLOGY AND DRAINAGE PLAN**

The existing undeveloped storm runoff flows shown on Figure 19, Existing Hydrology, were calculated using the Riverside County Flood Control and Water Conservation District topographical map for the area and the Hydrology Manual compiled by the District.

The project boundary lies within several drainage subareas that flow southeasterly or easterly to the San Jacinto River. Under existing conditions, surface runoff drains primarily in unimproved natural channels and swales. The majority of the offsite drainage area tributary to the Riverwoods project lies north and west of the project boundary. Runoff from approximately 60 acres north of the site drains parallel to Mapes Road, and ultimately to the San Jacinto River. Runoff from the remainder of the drainage areas tributary to the project, generally flows in a southeasterly direction to the San Jacinto River.

Under the proposed conditions, the 408-acre drainage basin to the west will be conveyed through a culvert under the extension of Ethanac Road near the southwest corner of the project. Other offsite flows tributary to the project will be collected in the proposed storm drain system. The combined offsite and onsite flows conveyed by the project storm drain system will be discharged to the San Jacinto River at the southeast corner of the project. According to Mr. Robert Cullen, Riverside County Flood Control and Water Conservation District, the San Jacinto River is considered an adequate outlet for the increased runoff from the project site, and mitigation for increased storm runoff rates will not be required for storm flows discharging to the San Jacinto River.

Storm drain facilities will be designed in accordance with RCFCWCD design standards to provide protection from a 100-year storm event. Storm drain facilities within public roads will be maintained by City of Perris. Maintenance of the drainage and storm drain facilities will be established prior to the issuance of a grading permit within the Riverwoods Specific Plan Amendment area.

The 10-year and 100-year Rational Method hydrologic analyses are based on the RCFC&WCD Hydrology Manual. The drainage basin boundaries for existing conditions and the offsite tributary flow areas were delineated from the Riverside County 4-foot contour interval orthophoto topographic maps. The proposed conditions drainage boundaries were obtained from a preliminary site design, consistent with the Specific Plan.

Existing conditions land uses in the offsite areas tributary to the project are primarily estate residential, rural mountains, very low residential, and agriculture. Existing condition land uses for offsite tributary areas were determined to be the same as ultimate condition land uses as shown on the Riverside County RCIP Land Use Map. Existing conditions land cover types are primarily Riversidean Sage Scrub and non-native grasslands. Proposed condition land uses are single-family residential.

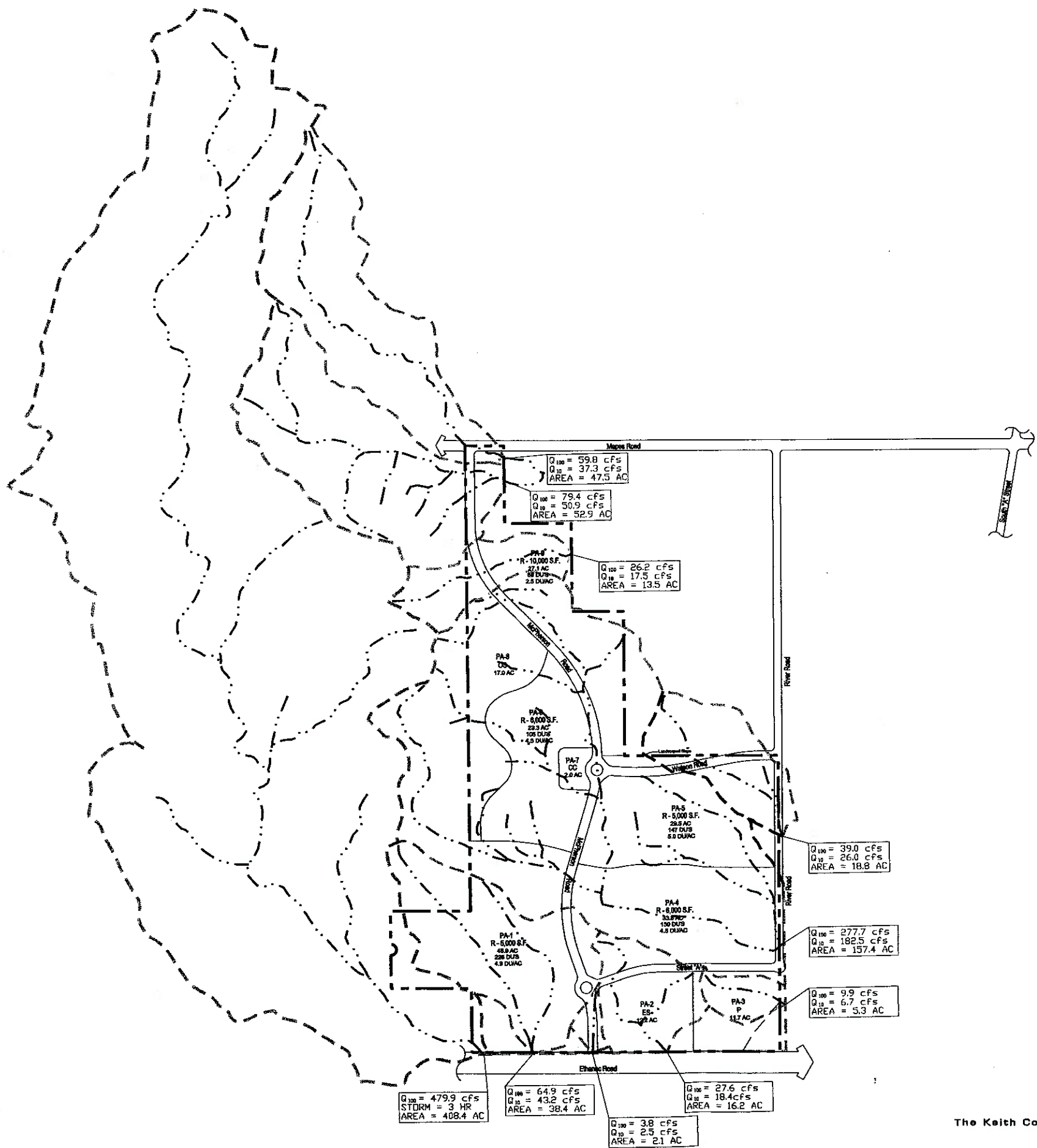
The off-site, 408.4 acre drainage basin located to the west of the project, was evaluated with the Synthetic Unit Hydrograph Method, according to the criteria in the RCFCWCD Hydrology Manual. Analyses were conducted for the 100-year, 3-hour, 6-hour, and 24-hour storms to determine the maximum peak discharge.

Rational Method analyses were performed for the 10-year and 100-year storm events using the CivilCADD/CivilDesign computer program. The storm drain inlets have been preliminarily located to meet the criteria for maintaining the 10-year flow within the top of curb and the 100-year flow within the street right-of-way.


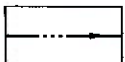
### Drainage Plan Development Standards

1. Drainage and flood control facilities and improvements shall be designed in accordance with City of Perris and RCFCWCD design standards to provide protection from the 100-year storm event.
2. Drainage and storm drain facilities shall be maintained by the City of Perris. Maintenance of the drainage and storm drain facilities shall be established prior to the recording of final maps for the development of the Specific Plan area.
3. Drainage facilities shall be designed to provide 100-year protection. The 10-year storm flow shall be contained within the curb, and the 100-year storm flow shall be contained with the street right-of-way. When either of these criteria is exceeded, additional drainage facilities should be installed.
4. Development proposing construction activities including clearing, grading, or excavation that results in the disturbance of at least one acre of total land area, or activities which are part of a larger development plan with total disturbance of one acre or greater, shall obtain a NPDES construction permit. Development within the Specific Plan boundaries shall be subject to future requirements adopted by the City of Perris to implement the NPDES program. In addition, drainage mitigation measures adopted as part of the Specific Plan shall be incorporated and implemented into the final drainage plan design and Storm Water Pollution Prevention Plan (SWPPP).
5. Erosion control and Storm Water Pollution Prevention Plans (SWPPP) incorporating Best Management Practices (BMP) shall be prepared and implemented for the project grading and construction phases in accordance with the City of Perris and the Regional Water Quality Control Board.

Figure: 19

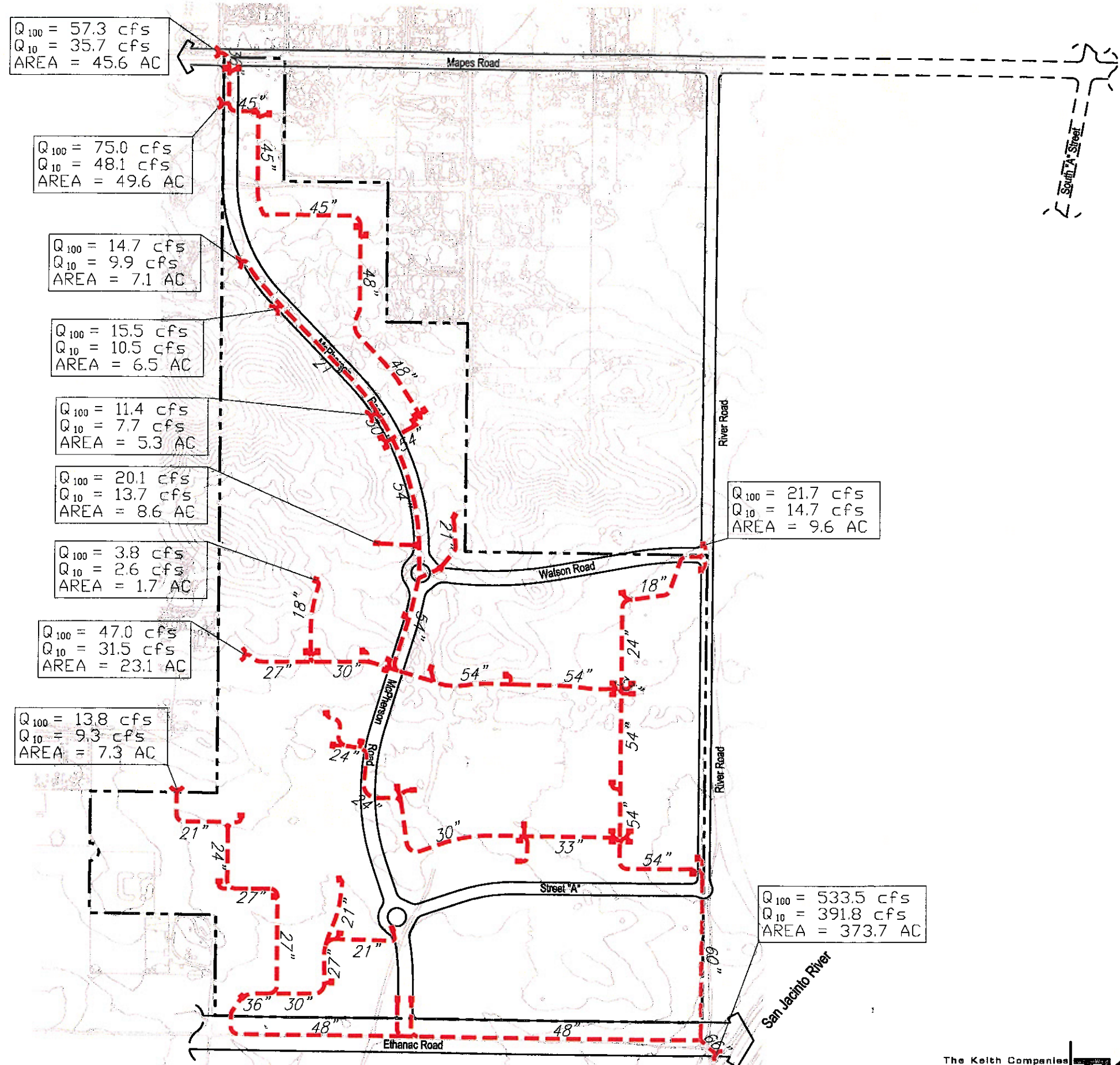


LEGEND

-  Subarea Boundary
-  Drainage Flow Pattern

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**Existing Hydrology**

Figure: 20



**LEGEND**

--- Proposed Storm Drain & Pipe Size  
 24"

**Notes:**

1. Pipe Sizes Are 18"Ø Unless Otherwise Noted.
2. Pipe Sizes Are Preliminary And Subject To Change.
3. Storm Drain Layout Is Preliminary And Subject To Change.

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**Master Drainage Plan**

**E. WATER AND SEWER PLANS**

Sewer and water service for the Riverwoods project will be provided by the Eastern Municipal Water District (EMWD). The Perris Valley Regional Reclamation Facility, as shown in Figure 20, Regional Sewer and Water Facilities, will serve the Riverwoods project. The closest existing gravity sewer main is located east of the project in Ethanac Road, at the intersection of Goetz Road. This sewer is proposed to be extended to a high point in Ethanac Road, approximately 1500 feet west of Goetz Road by Tract 30662. The closest existing domestic water facilities are an 8-inch line in Mapes Road and a 6-inch line in Jimmy Taylor Road at the northerly project boundary, and a 12-inch line in River Road, at the easterly boundary of the project, from Watson Road to approximately 400 feet south of Watson Road.

Domestic water for residential and school land uses will be provided from two pressure zones, PZ 1627 and PZ 1705. In-tract street parkways will be irrigated from the potable water system. In the future, reclaimed water may become available to the project site, for use in irrigating the park, school, community center and backbone street parkways.

The Master Water Plan, as depicted in Figure 22, will provide domestic water to the future residents of the project site in a manner consistent with the requirements of EMWD. The project complies with the applicable requirements of Senate Bill 221 and Senate Bill 610. Senate bill 610 focuses on the content of a water supply agency's Urban Water Management Plan and stipulates that, when an environmental impact report is required in conjunction with a project, the appropriate water supply agency must provide an assessment of whether its projected water supplies will meet the projected water demands associated with the proposed project. Senate Bill 221 also requires a water supply assessment when a tentative map, parcel map or development agreement for a project is submitted to a land use agency for approval. Both Senate Bills define a project as one that has the water demands equal to or greater than that associated with a 500 dwelling unit subdivision.

In its Water Supply Assessment Report for the Riverwoods Specific Plan Amendment dated December 1, 2003, EMWD has determined that it is able to provide adequate water supply to the project.

Domestic Water

The subject project is on the boundary between the 1627 Perris Valley and 1705 Good Hope Pressure Zones (PZ). For Riverwoods, PA-6 and PA-9 will be served by the 1705 PZ and the remainder to the south will be served by the 1627 PZ. Refer to Figure 22.

Domestic water peak flows from the subject projects are projected to be approximately 500 gallons per minute for the 1627 PZ and 100 gallons per minute for the 1705 PZ.

Detailed demands for the school and park will be determined when more information about landscaping and actual uses are known. The City Fire

Department will establish the fire flow requirement. The estimated requirement for residential areas is 1,500 gpm over a 2-hour duration at a minimum 20 psi residual pressure. The fire flow requirement for the school is estimated to be 3,000 gpm for 3 hours.

Based on the estimated demands, the following water facilities will be needed to adequately serve the subject project (Please see Figure 22.):

**1627 Pressure Zone Facilities:**

1. 12-inch diameter pipeline located within River Road, between Mapes Road and Ethanac Road;
2. 12-inch diameter pipeline located within Watson Road, between River Road and McPherson Road;
3. 12-inch diameter pipeline located within McPherson Road, between Watson Road and Ethanac Road;
4. 12-inch diameter pipeline located within "Street A", between McPherson Road and River Road; and,
5. 8-inch diameter pipelines located within all remaining in-tract streets fronting lots requiring water service.

**1704 Pressure Zone Facilities:**

- 1) 18-inch [12-inch] diameter pipeline located within McPherson Road, between Mapes Road and the south boundary of PA-6;
- 2) 8-inch [n/a] diameter pipeline located within Watson Road, between McPherson Road and River Road; and,
- 3) 8-inch diameter pipelines located within all remaining streets fronting lots requiring water service.

Water pipeline facilities for both the 1627PZ and 1705 PZ are not required by EMWD in Ethanac Road along the project's south boundary, because the road over the future pipeline alignments is not being improved by the Riverwoods project.

**Sanitary Sewer**

The Riverwoods project sewer system, as illustrated in Figure 21, will drain to a small lift station just south of the intersection of River Road and Street 'A', where it will be pumped to the Ethanac Road gravity sewer.

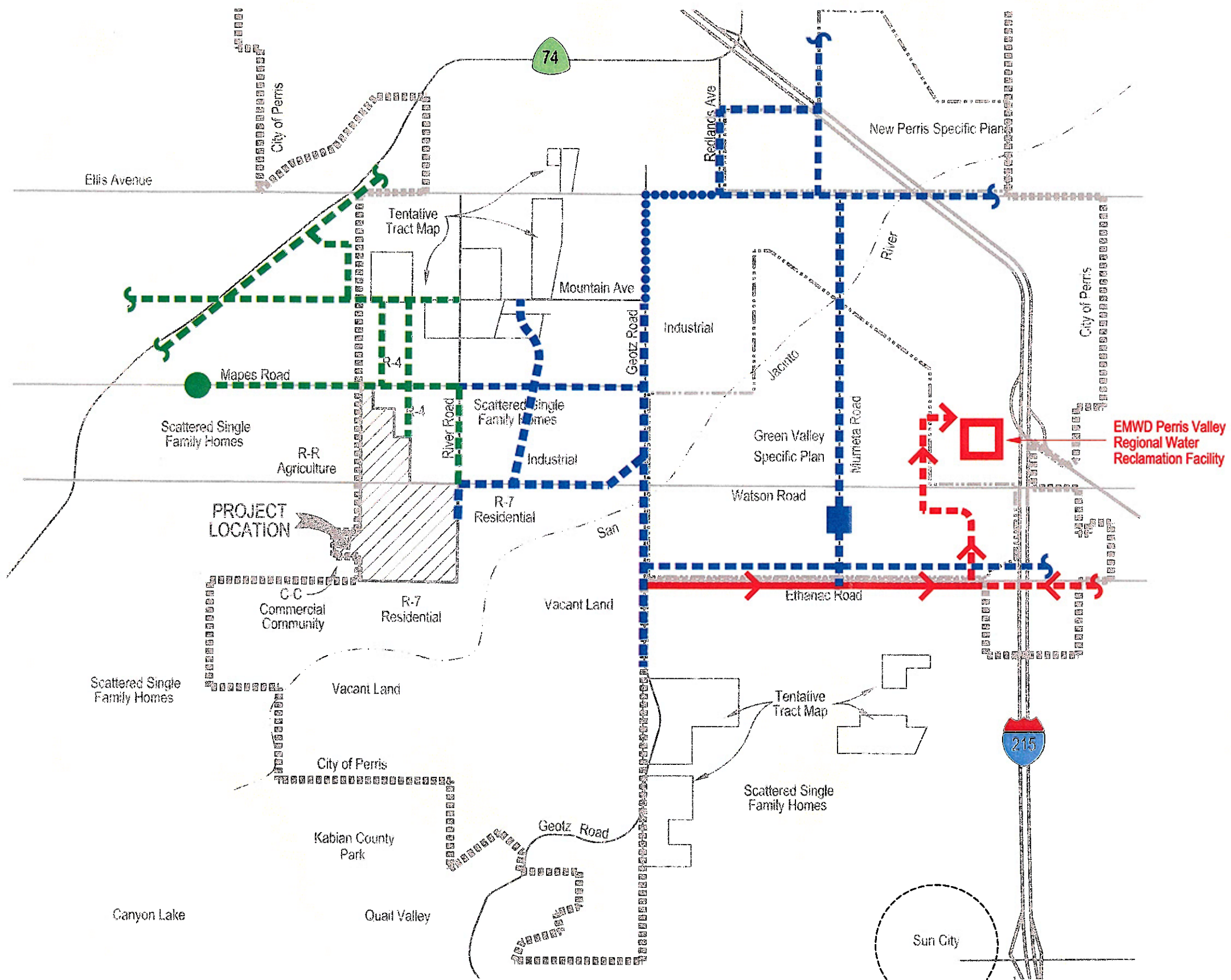
The estimated peak sewage flow generated by the Riverwoods project is approximately 350 gallons per minute (gpm).

## Riverwoods Specific Plan Amendment

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Based on the estimated sewer flows from the Riverwoods project, the following sewer facilities will be needed to provide service to the site:

- 1) 15-inch sewer in Ethanac Road from the high point west of Goetz Road to a point of connection with the existing 42-inch sewer at Green Valley Parkway.
- 2) A 500 gpm lift station located at the intersection of Ethanac Road and River Road;
- 3) 8-inch diameter force main in Ethanac Road from the lift station to a high point west of Goetz Road;
- 4) 10-inch pipeline in the alignment of River Road from Ethanac to the local street along the north boundary of the park/school planning areas (PA-2 & PA-3);
- 5) 10-inch pipeline in Street 'A' along the north boundary of the park/school planning areas (PA-2 & 3) to the easterly local street intersection to PA-4);
- 6) 10-inch pipeline in Ethanac Road from River Road to McPherson Street;
- 7) 10-inch pipeline in McPherson Road from Ethanac Road to the point of intersection with an easterly extension of the most southerly local street in PA-1;
- 8) 8-inch pipeline in all other streets where sewer service will be needed including River Road north of the local street along the north boundary of the park/school planning areas (PA-2 & 3).



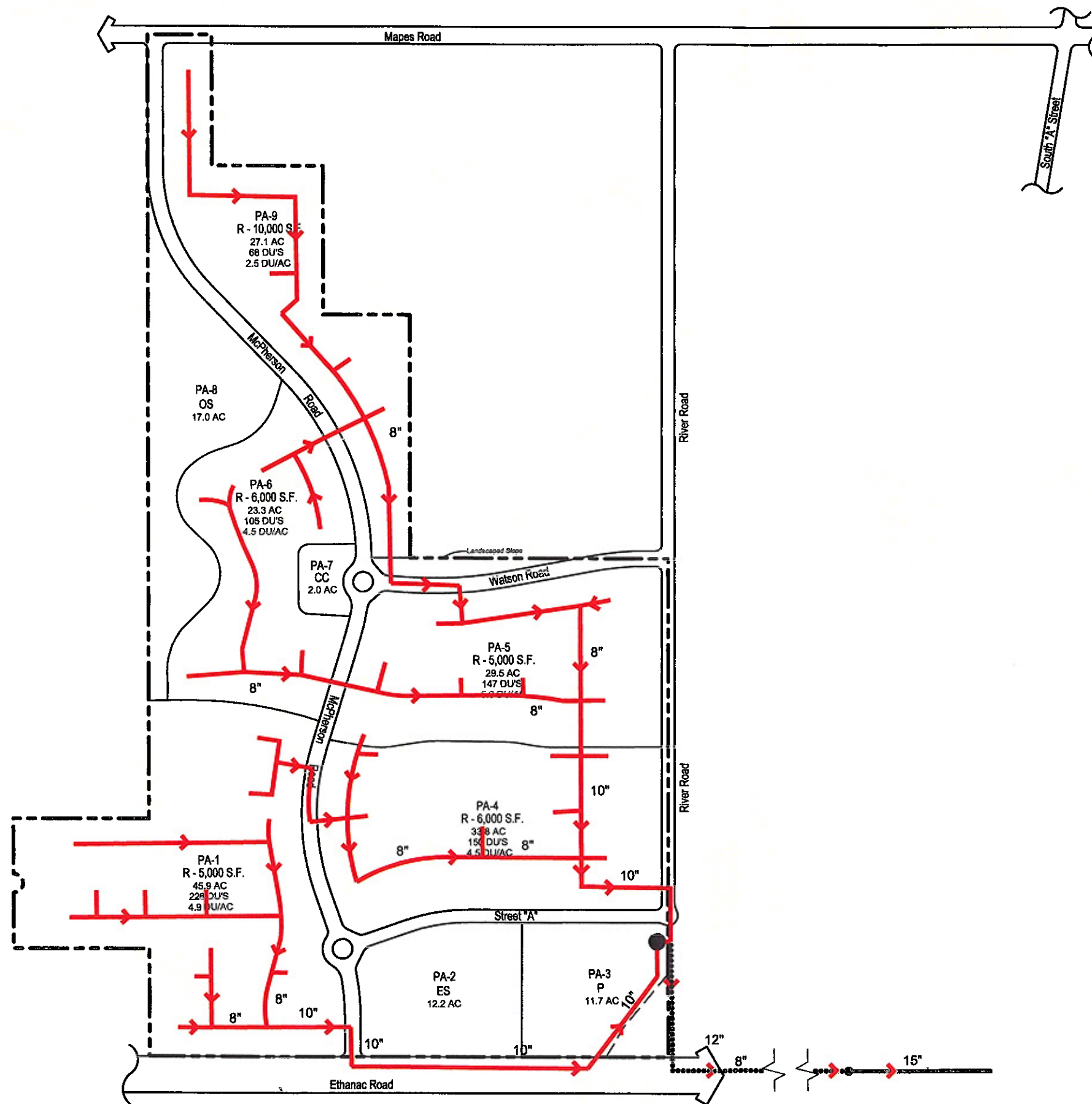
LEGEND

- Existing Sewer Main & Direction of Flow
- Proposed Sewer Main & Direction of Flow
- Existing Water Main (pressure zone 1627)
- Existing Booster Station
- Proposed Water Main - Booster Pumping Plant
- Existing Water Main (pressure zone 1684/1705)
- Existing Storage Reservoir
- Proposed Water Main (pressure zone 1684/1705)
- Indicates Extension of Water System beyond Influence of Project

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**Regional Sewer and Water Facilities**

↑  
NOT TO SCALE

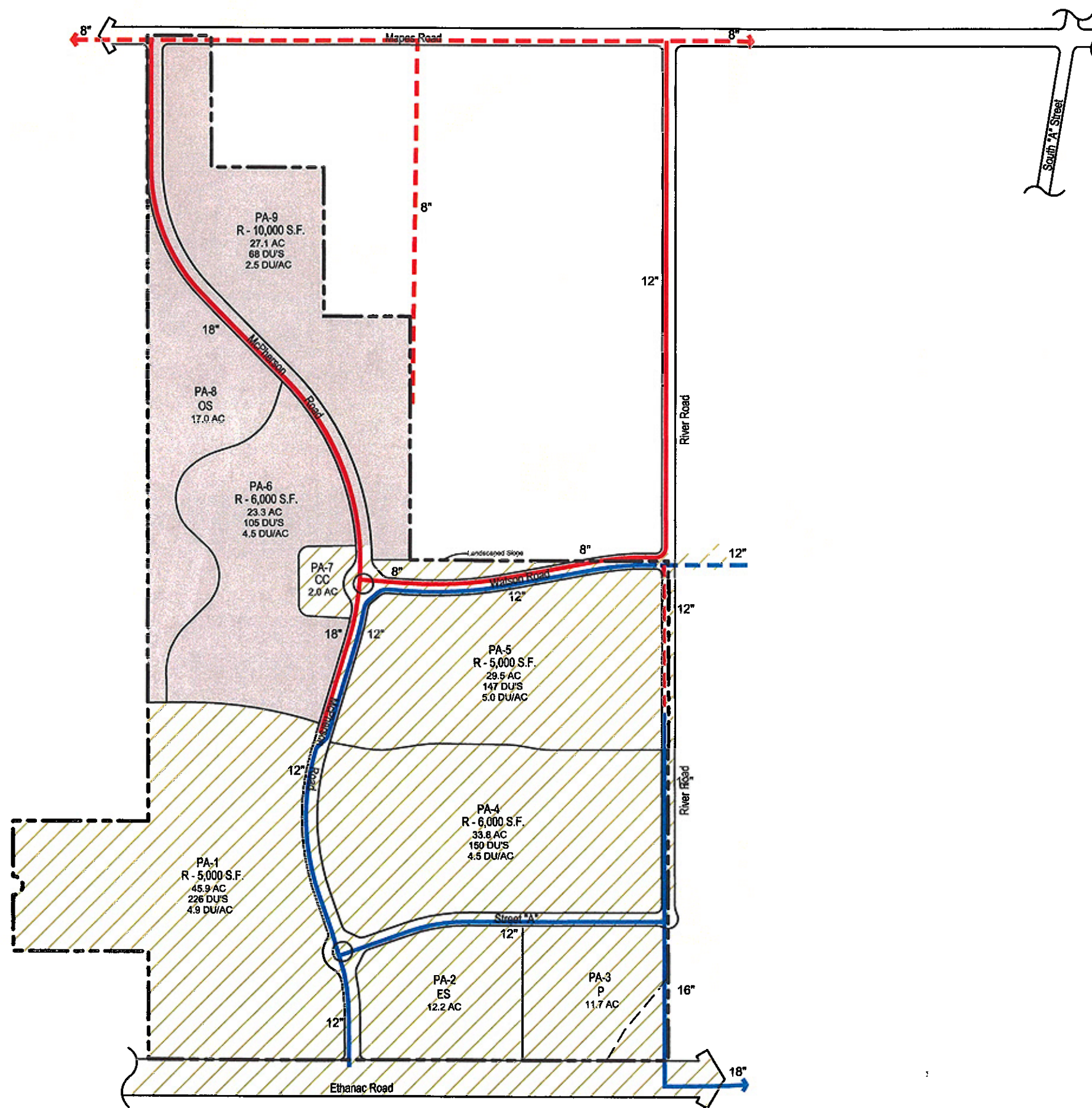


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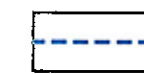
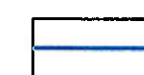


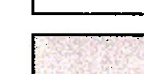

- Proposed Sewer Main 8" (8" otherwise noted)
- Direction of Flow
- Dead End Main Branch Connection
- Proposed Life Stations
- Proposed Force Main

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Master Sewer Plan



LEGEND

-  Existing Water Main - 1627 P.Z.
-  Proposed Water Main - 1627 P.Z. (8" Line unless noted)
-  Existing Water Main - 1705 P.Z.
-  Proposed Water Main - 1705 P.Z.
-  1705 Pressure Zone
-  1627 Pressure Zone

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# Master Water Plan



**F. PHASING PLAN**

The proposed Riverwoods project will be phased incrementally with single-family residential dwelling units being constructed over an approximate 2- to 4-year time-frame in two phases. Please refer to Figure 24, Conceptual Phasing Plan. Table 3 provides a detailed phasing breakdown of land uses, acreages and dwelling units per phase.

Phase 1

Phase I will consist of a total of 523 dwelling units on 133.1 acres of the project site and will include Planning Areas 1, 2, 3, 4 and 5. These units will have 5,000 and 6,000 square foot lots. The Elementary School and the Community Park sites will be mass graded during this phase, with site development occurring no later than Phase II. Phase I will also include the following:

Phase I – On-site

- Mass grading of the site and installation of infrastructure.
- Construct sewer lift station.
- Construct sewer lines in Watson Road, McPherson Road (south of Watson), Ethanac Road, River Road, and in-tract sewers for PA-1, PA-4, and PA-5.
- Construct 1627 PZ water mains in Watson Road, McPherson Road (south of Watson Road), Street 'A', River Road, and in-tract water mains in PA-1, PA-4, and PA-5.
- Construct 1705 PZ water mains in Watson Road and McPherson Road (south of Watson Road).
- Construct Watson Road between River Road and McPherson Road
- Construct McPherson Road between Watson Road and Ethanac Road
- Construct west half of River Road between Watson Road and Street "A"
- Construct Street "A"
- Construct north half of Ethanac Road adjacent to the project and offsite connection
- The Riverwoods project will deliver active park amenities in phase 1 with all park improvements completed prior to project build out. Actual phasing and delivery of park amenities shall be subject to a Parks Agreement with the City of Perris. Said agreement shall be in effect prior to final map recordation. It is contemplated that the park amenities will be developer constructed with costs credited against park fees through a reimbursement agreement.

### Phase I – Off-site

- 
- Construct 30-foot paved section in Ethanac Road from River Road to Goetz Road, including a low-flow culvert crossing at the San Jacinto River.
- Construct a 30-foot paved section in River Road from Mapes Road to Street 'A'.
- Construct a 30-foot paved section in Mapes Road from River Road to A Street.
- Construct sewer force main in Ethanac Road, and off-site gravity sewer in Ethanac Road.

### Phase II

Phase II will consist of 173 dwelling units, the Community Center, natural open space on 69.4 acres and will include Planning Areas and 6, 7, 8 and 9. Phase II will also include the Community Park. Table 3 and Figure 24 are conceptual in nature. The actual phasing may vary depending on market conditions at the time of development. Phase II will also include the following:

#### Phase II – On-site

- Construct McPherson Road from Watson Road to Mapes Road
- Construct sewer lines in PA-6, PA-7, and PA-9.
- Construct 1705 PZ water mains in McPherson Road (north of Watson Road), and in-tract water mains in PA-6, PA-7, and PA-9.

#### Phase II – Off-site

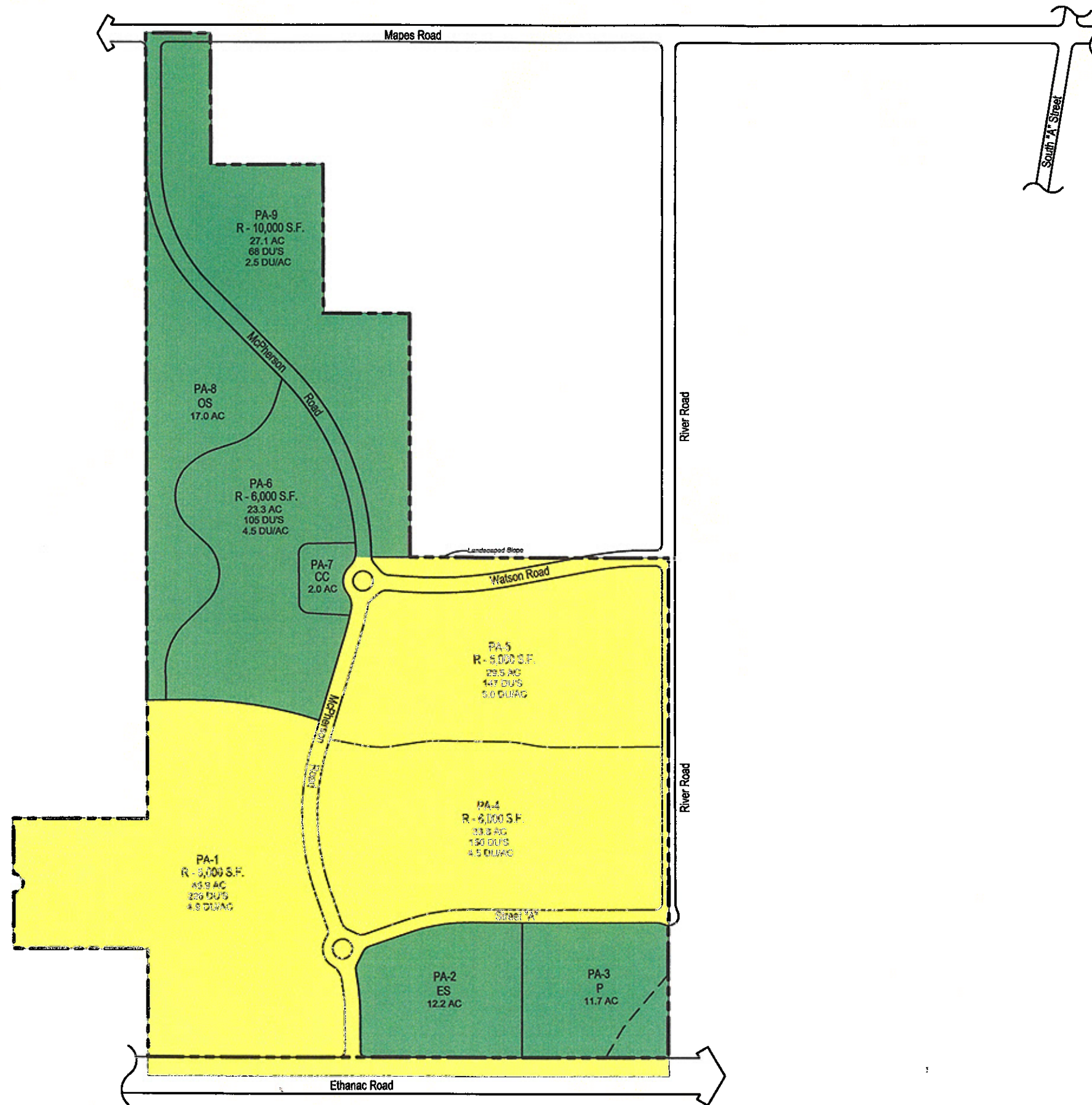
- Construct South half of Mapes Road at project boundary.
- Construct a 30-foot paved section in Mapes Road from project boundary McPherson Road to River Road.
- Construct 1705 PZ water main in River Road.

**Riverwoods Specific Plan Amendment**

**TABLE 3  
PHASING SUMMARY**

	<b>LAND USE</b>	<b>PLANNING AREA</b>	<b>ACRES</b>	<b>DWELLING UNITS</b>
<b>PHASE I</b>				
	R-5,000	1	45.9	226
	ES	2*	12.2	-
	Community Park	3*	11.7	-
	R-6,000	4	33.8	150
	R-5,000	5	29.5	147
Sub-Total			133.1	523
<b>PHASE II</b>				
	Community Center	7	2.0	-
	6,000	6	23.3	105
	Open Space	8	17.0	-
	R-10,000	9	27.1	68
Sub-Total			69.4	173
Other Land Uses				
	Circulation		24.4	-
<b>TOTAL</b>			<b>226.9</b>	<b>696</b>

\* The Elementary School and Community Park will be mass graded in Phase I and completed in Phase II. Actual phasing and delivery of park amenities shall be subject to a Parks Agreement with the City of Perris. Said agreement shall be in effect prior to final map recordation. It is contemplated that the park amenities will be developer constructed with costs credited against park fees through a reimbursement agreement.



LEGEND

- Phase One
- Phase Two

NOTES:

INFORMATION

R-6,000 for single family & R-14,000 for multiple family dwelling units.

**G. GRADING PLAN**

Grading for Riverwoods is tailored to the existing topography of the site. It is intended that the proposed plan be sensitive to and reflect natural landforms where possible, so that different residential, park and open space areas are distinguished and separated by topographic features. Please see Figure 24, Grading Plan. The site generally slopes from the northwest corner to the southeast corner. The project is designed to balance and not require import or export. Based upon this preliminary grading plan, approximately 1.2 million yards of material will be moved on-site. Please refer to Table 4, Riverwoods Preliminary Earthwork Volumes. This conceptual figure may vary as final grading plans are developed at a latter stage. Grading within the Riverwoods Specific Plan shall be performed in accordance with City of Perris Ordinances and Standards.

**TABLE 4  
RIVERWOODS PRELIMINARY EARTHWORK VOLUMES**

<b>Planning Area</b>	<b>Cut (cu yds)</b>	<b>Fill (cu yds)</b>	<b>Net (cu yds)</b>
PA-1 R-5,000	45,000	380,000	(335,000)
PA-2 Elementary School	110,000	0	110,000
PA-3 Community Park	435,000	0	435,000
PA-4 6,000	85,000	325,000	(240,000)
PA-5 5,000	210,000	125,000	85,000
PA-6 6,000	125,000	235,000	(110,000)
PA-7 Community Center	15,000	15,000	0
PA-8 Open Space	0	0	0
PA-9 R-10,000	155,000	100,000	55,000
<b>Total</b>	<b>1,180,000</b>	<b>1,180,000</b>	<b>0</b>

Notes:

1. Raw earthwork quantities are based on preliminary grading study prepared by The Keith Companies, dated August 4, 2003.
2. Raw earthwork quantities do not include adjustments for shrinkage and/or bulkage.
3. Earthwork quantities in parentheses represent the amount of fill material required for import.

The intent of the conceptual grading plan is to produce buildable parcels by cutting the higher areas to fill in the lower areas in order to achieve generally flat development pads for development. The proposed grading will result in ground elevations which are typically within one to five feet of the existing grade. The building pad areas will be graded to approximately .5% with circulation and parking areas graded to an average of 2% to 3% and not exceeding 15%. It is anticipated that the grading will be completed as identified in the Phasing Plan, Figure 24.

The goals of the grading plan are to mitigate potential hazards of the site, provide stable areas for proposed land uses, and maintain current sedimentation rates. The quantities estimated for the site consist of approximately 1,180,000 cubic yards of cut and 1,180,000 cubic yards of fill.

## Riverwoods Specific Plan Amendment

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Prior to any development within any planning area in the Specific Plan Area, an overall Conceptual Grading Plan for each planning area in the Specific Plan Area in process shall be submitted to the City of Perris for review and approval. Each Grading Plan shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that planning area and shall include at a minimum:

- Techniques employed to prevent erosion and sedimentation during and after the grading process;
- Approximate time frames for grading;
- Identification of areas which may be graded during higher probability rain months (January through March); and
- Preliminary pad and roadway elevations.

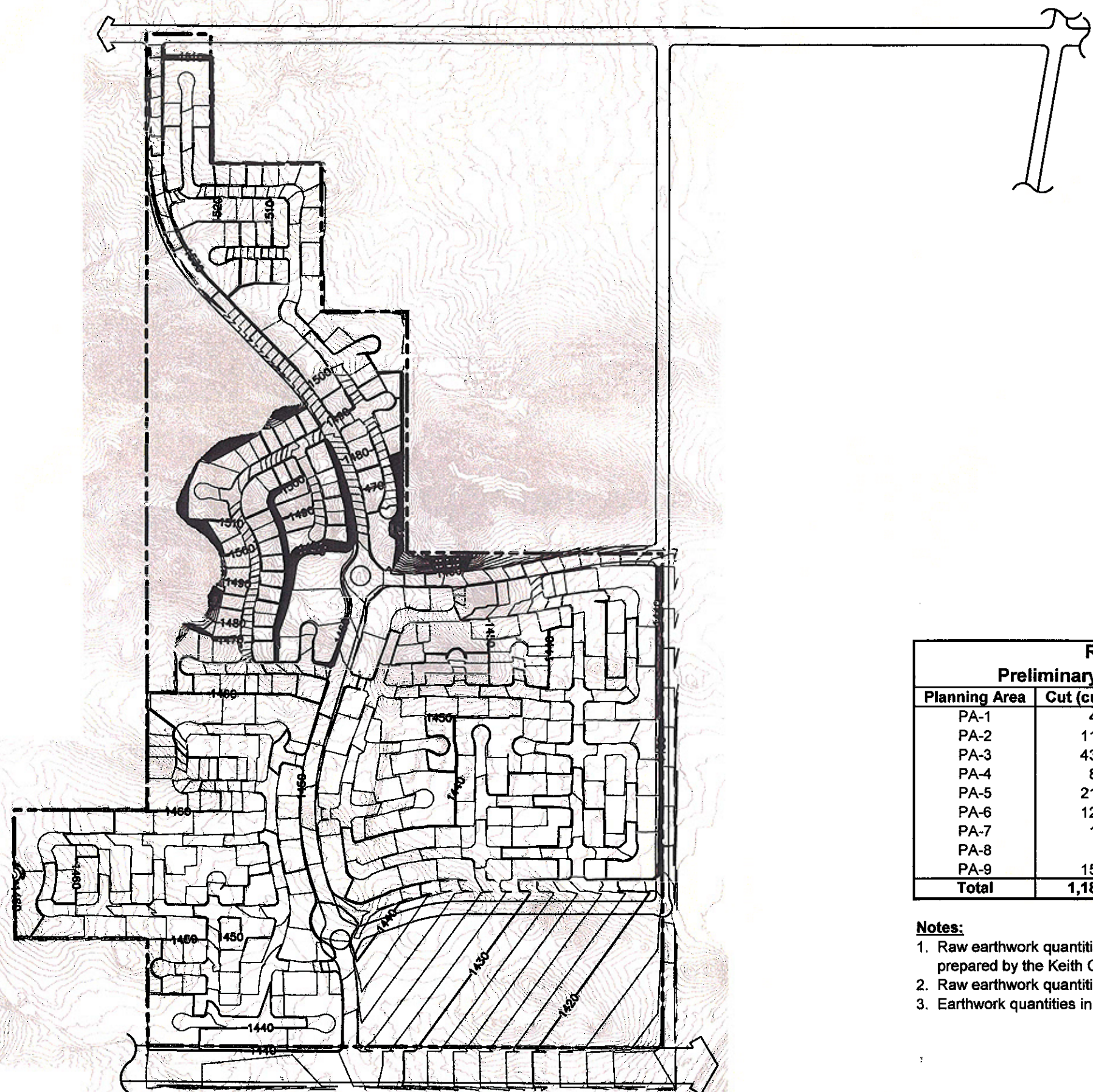
Prior to initial grading activities within the project site, a current detailed soils report and geotechnical study shall be prepared which analyzes on-site soil conditions and slope stability and includes appropriate measures to control soil erosion.

Development proposing construction activities including clearing, grading, or excavation that results in the disturbance of at least one acre of total land area, or activities which are part of a larger development plan with total disturbance of one acre or greater, shall obtain a NPDES construction permit. Development within the Specific Plan boundaries shall be subject to future requirements adopted by the City of Perris to implement the NPDES program. In addition, drainage mitigation measures adopted as part of the Specific Plan shall be incorporated and implemented into the final drainage plan design and Storm Water Pollution Prevention Plan (SWPPP).

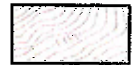

Erosion control and Storm Water Pollution Prevention Plans (SWPPP) incorporating Best Management Practices (BMP) shall be prepared and implemented for the project grading and construction phases in accordance with the City of Perris and the Santa Ana Regional Water Quality Control Board.

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# Grading Plan



**LEGEND**

	Existing Contour (10' C.I.)
	Proposed Contour (2' C.I.)

Riverwoods Preliminary Earthwork Volumes			
Planning Area	Cut (cu yds)	Fill (cu yds)	Net (cu yds)
PA-1	45,000	380,000	(335,000)
PA-2	110,000	0	110,000
PA-3	435,000	0	435,000
PA-4	85,000	325,000	(240,000)
PA-5	210,000	125,000	85,000
PA-6	125,000	235,000	(110,000)
PA-7	15,000	15,000	0
PA-8	0	0	0
PA-9	155,000	100,000	55,000
<b>Total</b>	<b>1,180,000</b>	<b>1,180,000</b>	<b>0</b>

- Notes:**
1. Raw earthwork quantities are based on preliminary grading study, prepared by the Keith Companies, dated August 4, 2003.
  2. Raw earthwork quantities do not include adjustments for shrinkage and/or bulking.
  3. Earthwork quantities in parentheses represent the amount of fill material required for import.

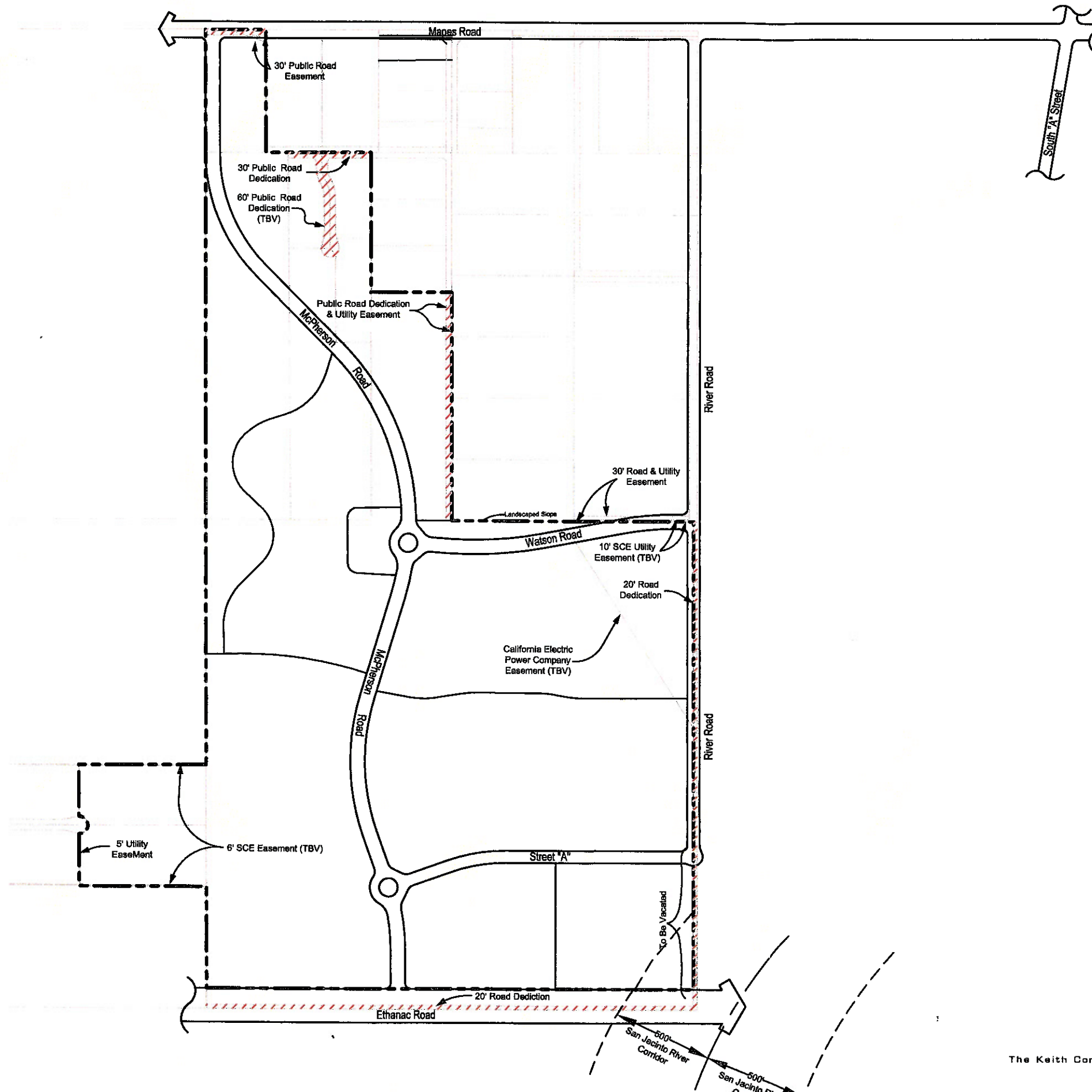


SCALE: 1" = 40'

**H. DEVELOPMENT CONSTRAINTS**

There are several recorded easements on the project site according to the preliminary title reports supplied to our project engineer by First American Title Company. The easements mentioned in the title reports are for access and utilities. Please see Figure 26, Development Constraints. It appears that the road dedications and utility easements can be vacated and quitclaimed to accommodate the Riverwoods Specific Plan Amendment. In summary, we do not feel that the easements and road dedications listed in the title reports impose a development constraint which can not be mitigated through normal procedure.

According to the County of Riverside Multi-Species Habitat Conservation Plan (MSHCP), the subject site is located within the Mead Valley Area Plan. The site is not located within a cell group.



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# Development Constraints Plan



SCALE: 1" = 400'

**I. OPEN SPACE AND RECREATION PLAN**

Open Space

Open Space (See Figures 5, 13 and 27)

The Riverwoods Specific Plan Amendment proposes that 17.0-acres of hillside open space will be preserved at the western edge of the project adjacent to Planning Area 6 and southwest of McPherson Road as illustrated in Figure 5. The hillside area will be maintained by an HOA.

Recreation

Community Center (See Figures 5, 12, 27 and 44)

Planning Area 7 consists of a 2.0-acre Community Center site. The conceptual design of this center consists of a community building, outdoor pool/spa/gazebo/fireplace, children's play area, open turf areas and community plaza. Please refer to Figure 44, Conceptual Community Center. The Community Center building will be a minimum of 2,000 sq.ft., including a 750 sq.ft. minimum meeting room. The Community Center will be a focal point for the Riverwoods community and will provide a place for neighborhood meetings, socialization and recreation opportunities. It is anticipated that the Community Center building will be used by the residents of Riverwoods for various parties, receptions, club meetings, and as a general meeting room for social activities. The Community Center will be maintained by the HOA.

Community Park (See Figures 5, 8, 27 and 43)

Planning Area 3 is an 11.7-acre Community Park site. The Riverwoods project will deliver active park amenities in phase 1 with all park improvements completed prior to the project build out. Actual phasing and delivery of park amenities shall be subject to a Parks Agreement with the City of Perris. Said agreement shall be in effect prior to final map recordation. It is contemplated that the park amenities will be developer constructed with costs credit against park fees through a reimbursement agreement.

The Community Park will be dedicated to the City of Perris and will be operated and maintained by the City. The park may consist of a children's play area, a picnic area, basketball court(s) and open play turf areas. The City of Perris has designated a 500 foot river corridor along the San Jacinto River. Approximately 1.7 acres of the southeastern portion of the park site is located within this corridor. This area will be used for detention purposes only. Structures are not proposed within the corridor that traverses the park site. Future proposed activities, uses and improvements within the San Jacinto River corridor should be consistent with all applicable guidelines and regulations.



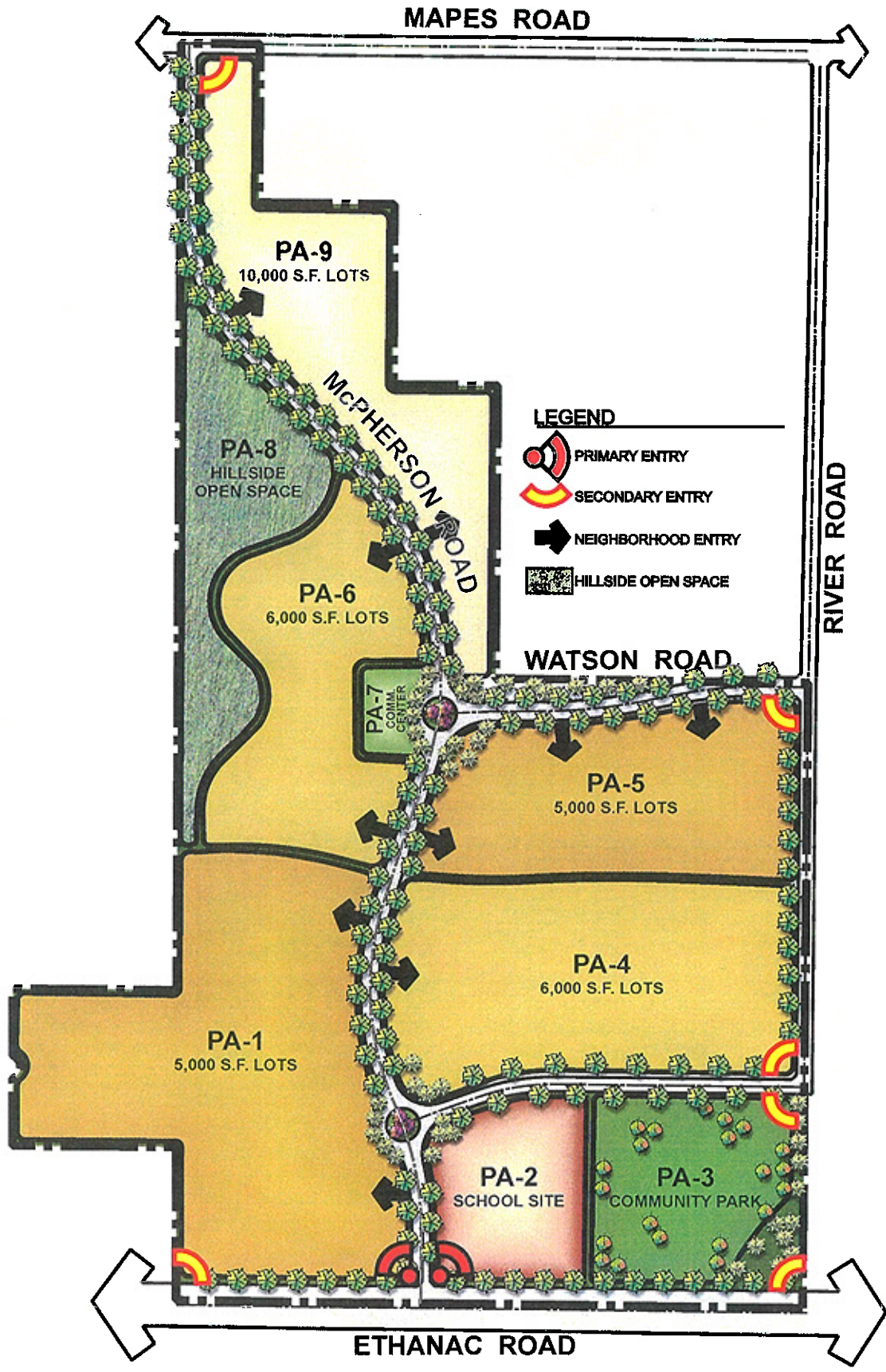
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- PA-8  
OS  
Open Space (OS)  
(See Figure 13)
- PA-7  
CC  
Community Center (CC)  
(See Figures 12 and 44)
- PA-3  
P  
Community Parks (P)  
(See Figures 8 and 43)

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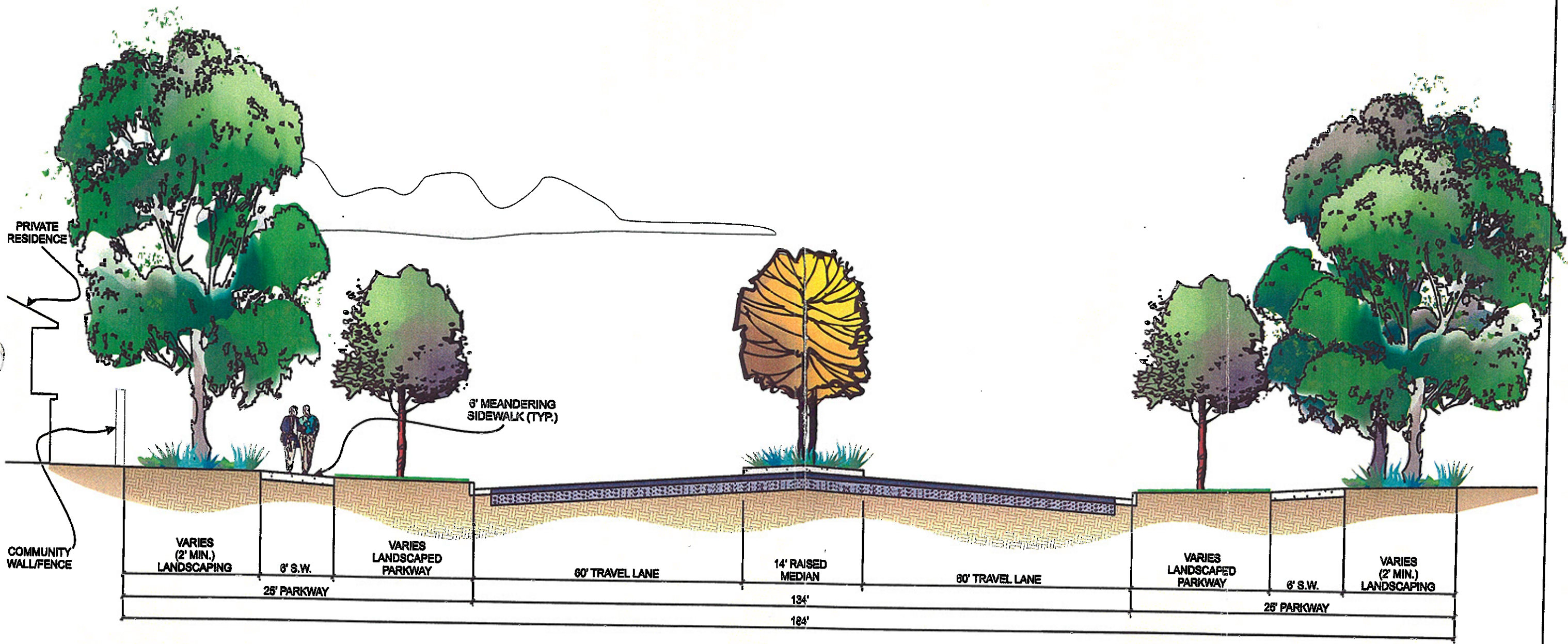
Open Space and Recreation Plan



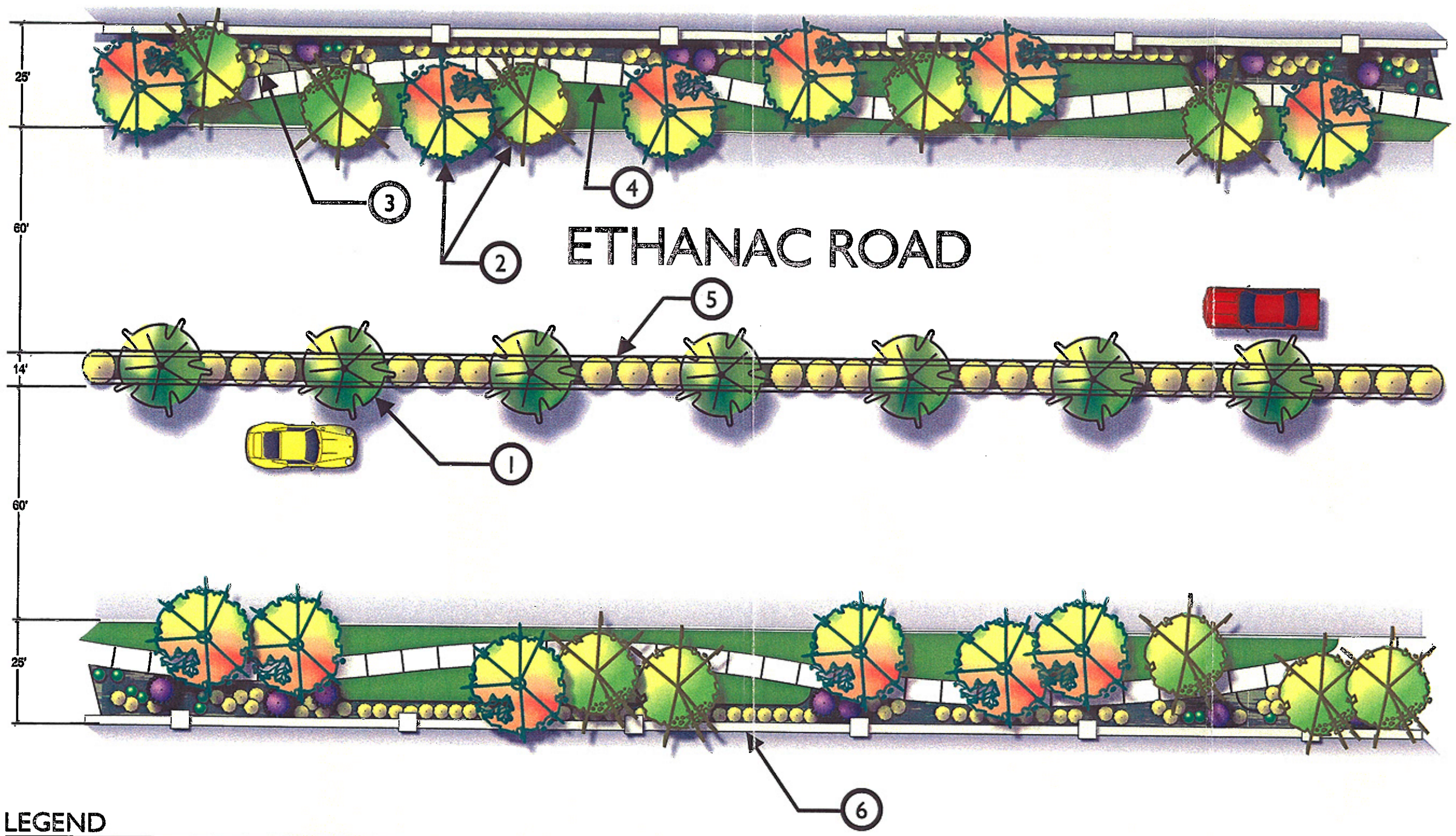


LANDSCAPE CONCEPT PLAN





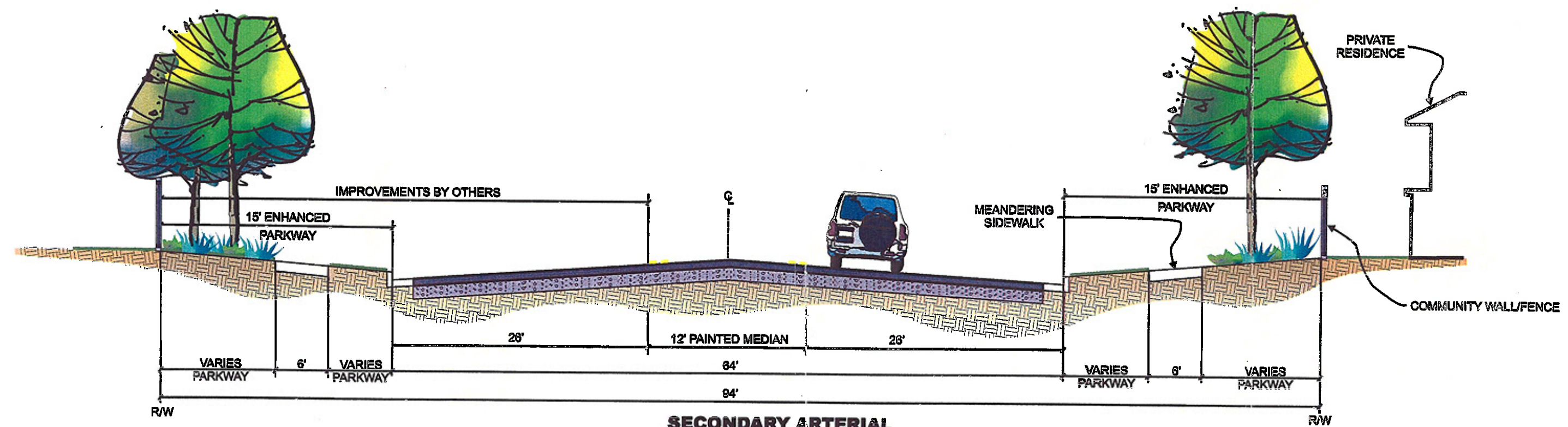
**ETHANAC ROAD STREETSCAPE SECTION**



**LEGEND**

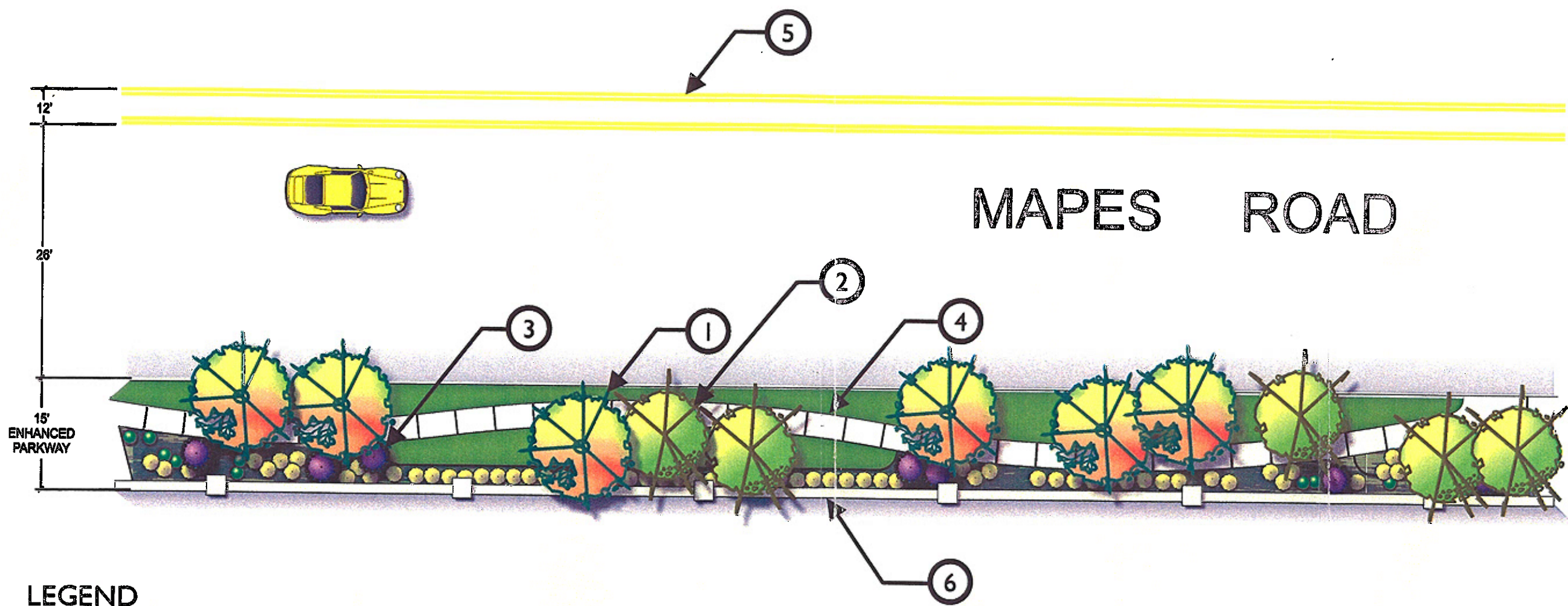
- ① ACCENT TREE
- ② STREET TREE
- ③ LANDSCAPING
- ④ 6' MEANDERING SIDEWALK
- ⑤ 14' RAISED MEDIAN
- ⑥ COMMUNITY WALL

ETHANAC ROAD STREETSCAPE- PLAN VIEW



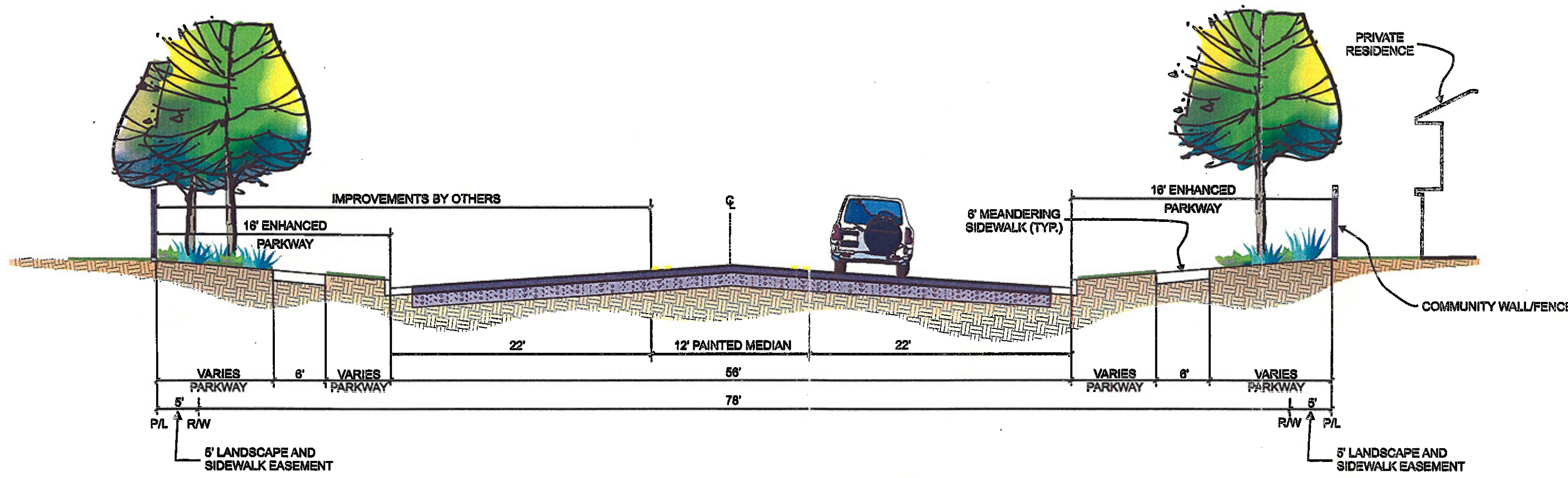
**SECONDARY ARTERIAL  
STREETScape SECTION**  
MAPES ROAD  
(PART WIDTH IMPROVEMENTS ONLY)

MAPES ROAD STREETScape SECTION



LEGEND

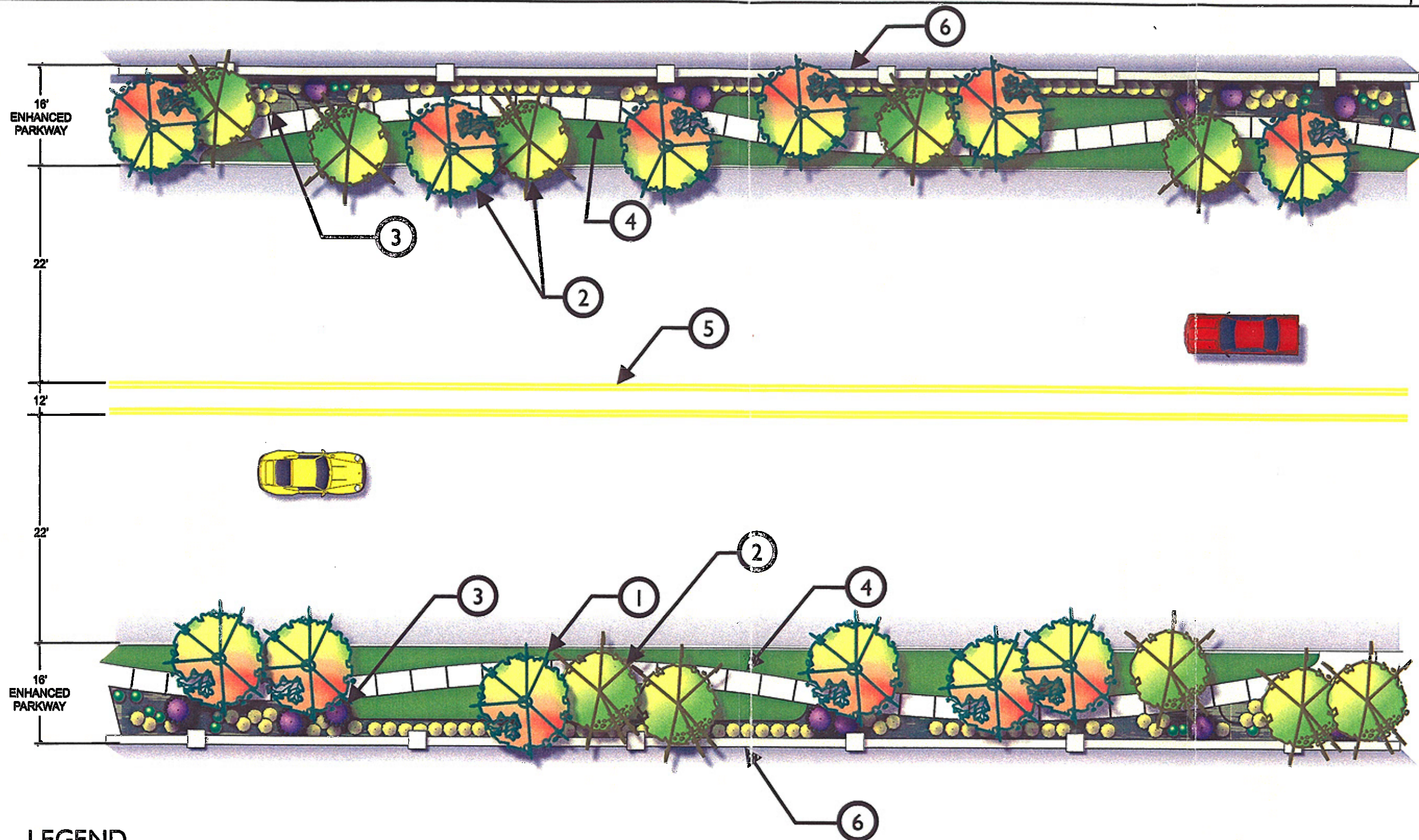
- ① ACCENT TREE
- ② STREET TREE
- ③ LANDSCAPING
- ④ 6' MEANDERING SIDEWALK
- ⑤ 12' PAINTED MEDIAN
- ⑥ COMMUNITY WALL



**STREETSCAPE SECTION**  
 McPHERSON ROAD  
 WATSON ROAD

**NOTE:**  
 5' LANDSCAPE AND SIDEWALK EASEMENTS  
 PROVIDED ON EAST AND WEST SIDES OF  
 McPHERSON ROAD AND SOUTH SIDE OF  
 WATSON ROAD

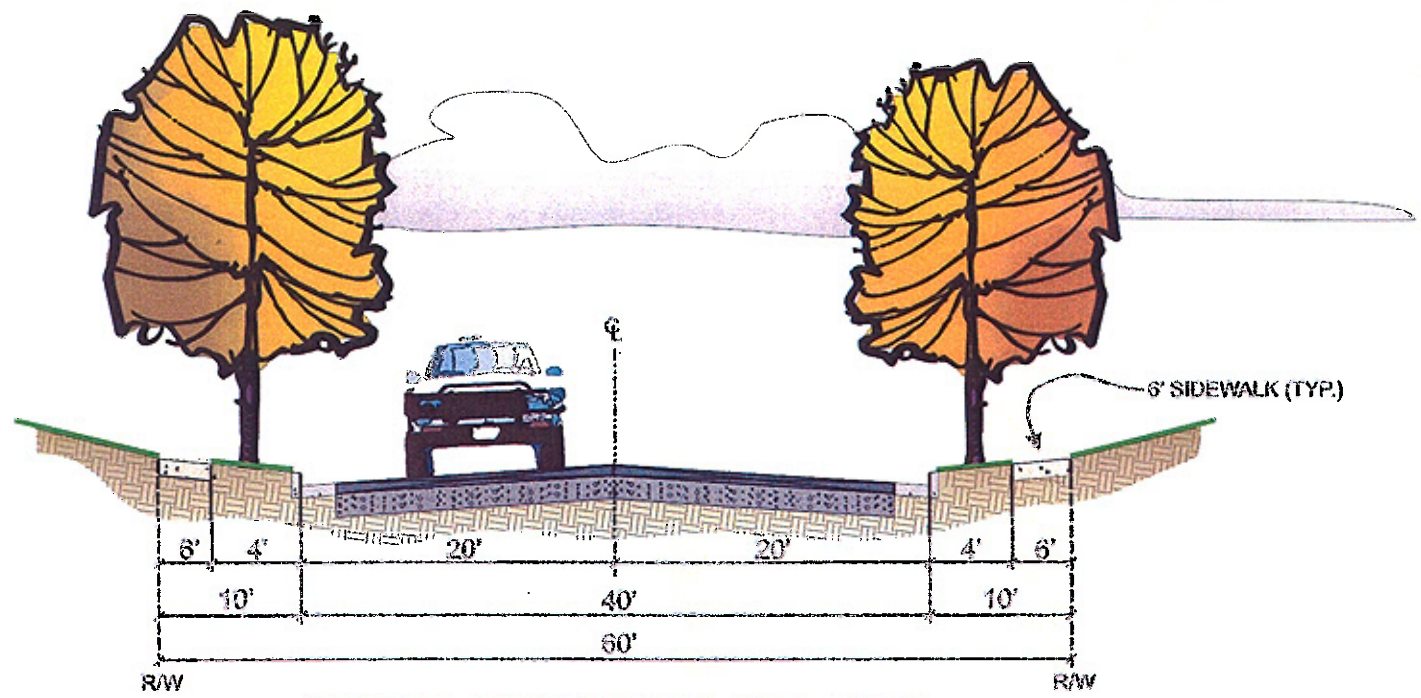
McPHERSON ROAD AND WATSON ROAD  
 STREETSCAPE SECTION



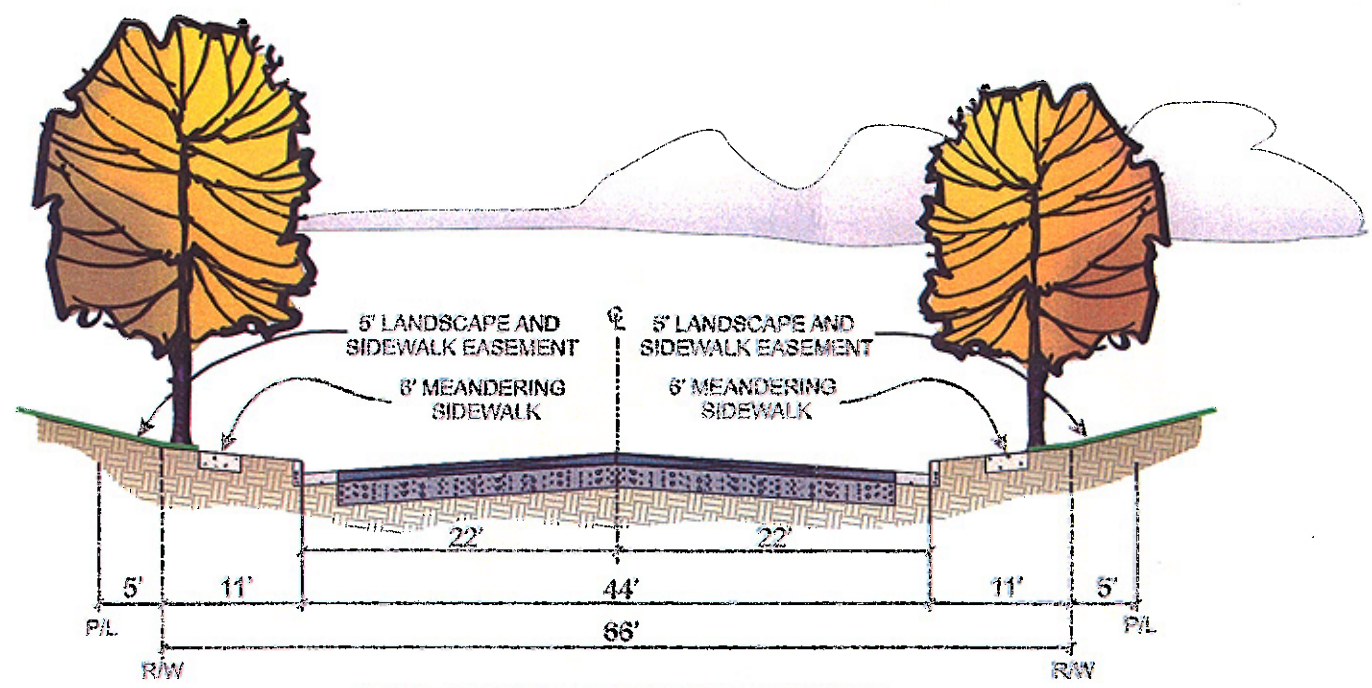
**LEGEND**

- ① ACCENT TREE
  - ② STREET TREE
  - ③ LANDSCAPING
  - ④ 6' MEANDERING SIDEWALK
  - ⑤ 12' PAINTED MEDIAN
- ⑥ COMMUNITY WALL

**MCPHERSON ROAD AND WATSON ROAD  
 STREETSCAPE-PLAN VIEW**



**TYPICAL SECTION 60' LOCAL ROAD**  
INTERNAL LOCAL STREETS

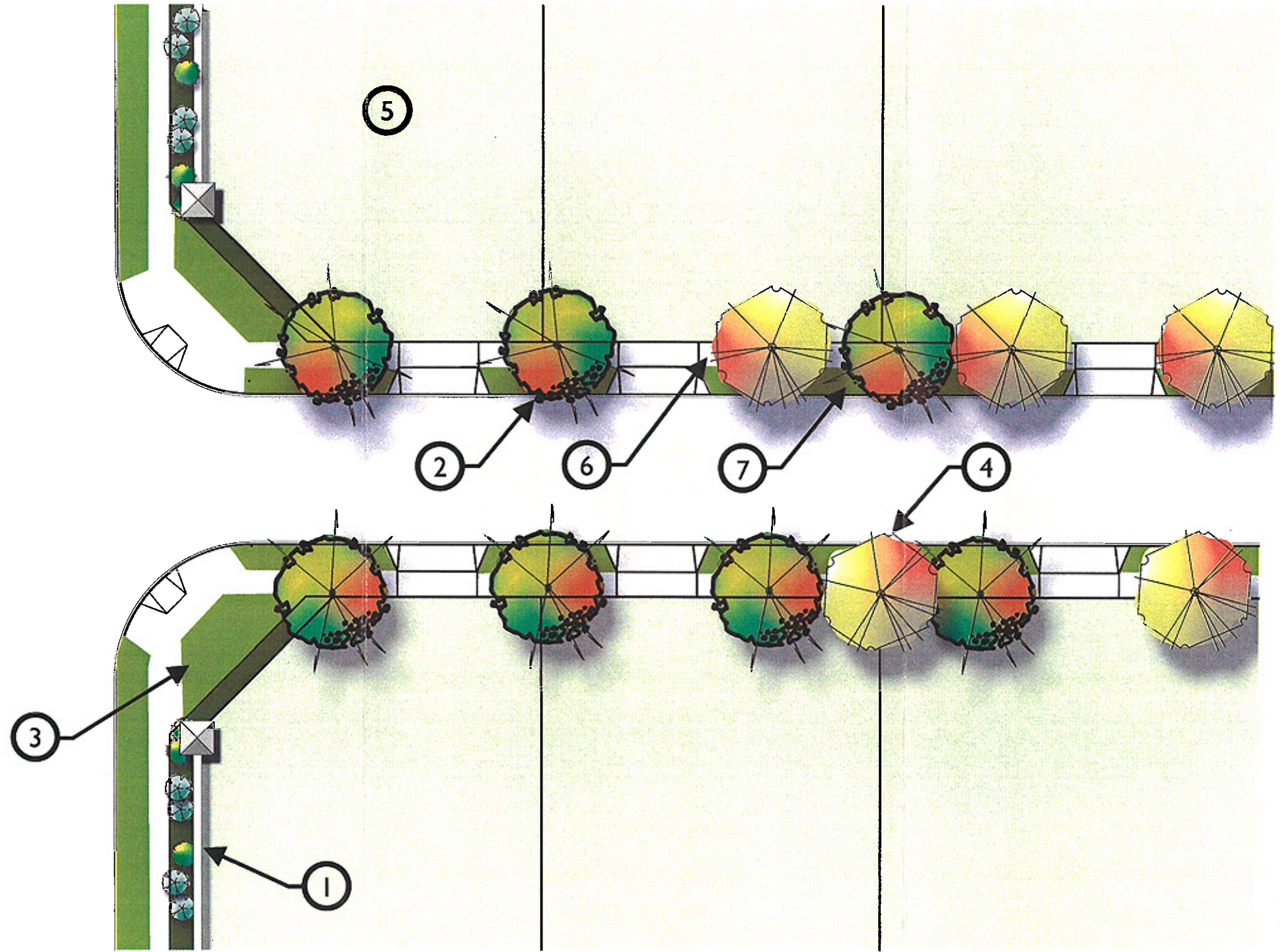


**COLLECTOR STREET SECTION**  
STREET "A"  
RIVER ROAD (PART WIDTH IMPROVEMENTS ONLY)

LOCAL AND COLLECTOR STREETSCAPES

**LEGEND**

- ① COMMUNITY WALL
- ② STREET TREE
- ③ STREETScape / SETBACK LANDSCAPING
- ④ FLOWERING ACCENT TREE
- ⑤ RESIDENTIAL LOT (TYP.)
- ⑥ SIDEWALK
- ⑦ GRASS PARKWAY



LOCAL ROAD STREETScape PLAN

#### IV. DESIGN GUIDELINES

##### A. INTRODUCTION/STATEMENT OF INTENT

###### 1. Introduction

This section outlines the Design Guidelines for landscaping, residential and lot design criteria for the Riverwoods Specific Plan Amendment. An Architectural Design Guidelines Manual will be prepared under a separate document and submitted to the City for review prior to the issuance of any building permits. This separate manual will include at a minimum, the following design standards:

- Site planning,
- Building massing and scale,
- Architectural themes and styles,
- Materials and colors, and
- Architectural details

The intent of this section is to serve as a compendium of suggestions, standards and criteria to be used by planners, landscape architects, and architects in the design of projects that will implement the Specific Plan Amendment.

The purpose of the Design Guidelines is to provide guidance in the landscaping, residential and lot design criteria of the individual projects within the Riverwoods Specific Plan Amendment area. This document is intended to provide both specific standards and general suggestions which should be incorporated into the design of individual projects. It is not the purpose of this document to answer all design questions, or to provide specific design solutions for every situation. Rather, these Design Guidelines provide a framework, providing specific standards in some situations, general statement of intent in others.

###### 2. Relationship to Riverwoods Specific Plan Amendment

The Design Guidelines are a companion document to the Riverwoods Specific Plan Amendment, and forms an integral part of the proposed project. As noted above, the Architectural Design Guidelines will be prepared under a separate document and will be submitted to the City prior to the issuance of any building permits. Since a primary intent of the Riverwoods Specific Plan Amendment is to establish a quality mixed-use development within the study area, the Design Guidelines standards and requirements form a critical component of the project.

To a large degree, the standards and requirements included in the Design Guidelines have been determined by the types and arrangement of land uses proposed in the Specific Plan Amendment. It is the Specific Plan Amendment, therefore, and not the Design Guidelines, which should be consulted for a determination of allowable land uses, infrastructure requirements, and other components of the proposed project. Much of this information is referenced in this Design Manual; however, this document should be used with the Specific Plan Amendment, and not in place of it.

**B. PROJECT-WIDE DESIGN CRITERIA**

The Riverwoods Specific Plan Amendment is one of several major development projects either currently under development or proposed in the vicinity of this project. These projects reflect the City of Perris' desire to build a quality, mixed-use community.

These projects, in combination with the local topography and climate and City of Perris standards, have influenced the design of landscaping and other features of the Riverwoods Specific Plan Amendment.

The following sections describe criteria which should be followed in the design of features which will be found throughout the project area. For clarity, both illustrations and narrative descriptions are provided where necessary to clearly illustrate the intent of the Design Guidelines. An illustration of the overall landscape concept is shown in Figure 28.

**1. Community Design Theme**

The Riverwoods project will occur within a new quality oriented mixed-use community that will be identified by the use of select landscape elements. These elements will reflect a wooded feeling which may have been present in the area during earlier times. The Community design theme consists of the following elements:

- Design theme
- Streetscapes/setbacks
- Entry monumentation
- Fuel modification interface
- Landscape palette
- Community walls and fences

The Riverwoods project intends to work with this established theme, helping set design standards for the community while providing a separate and unique identity for itself. As a reflection of both the Perris Valley climate and a growing regional awareness of the need to conserve water, this project will provide this separate identity in part through the use of selected plant species and planting designs which are both attractive and xeriphytic (water conserving) while at the same time giving a wooded feeling.

To provide this unique character, an overall theme of "California Xeriscape" has been selected for use in project-wide landscape designs. This theme, which incorporates many design elements typical of a woodland setting, will provide both water conservation and a unique character and identity through the following:

- Use of tree massing. The "Riverwoods" provided a logical framework for the establishment of landscape designs which incorporate the use of a number of tree species in both massed effect and single drift plantings, as major thematic and background elements. Complementing the use of

tree massing is the incorporation of other plantings and landscape elements which reinforce the wooded feeling throughout the project.

- Use of alternate planting materials. The use of alternative planting materials such as groundcover and drought tolerant shrubs instead of the typical turf and ornamental shrub plantings will give emphasis to the overall "Early California" and "California Xeriphytic" project themes.
- Replacement of some planted areas with alternative materials. In keeping with the water conservation theme, alternative landscaping materials may be incorporated in some areas. This may include the replacement of some planted areas with boulders, rock mulches, organic mulches, etc.
- Use of theme walls. The use of perimeter walls along with the project and individual tract boundaries and incorporation of upgraded entry monumentation will serve as a strong visual influence throughout the project site. These walls reflect the "Early California" theme and are in keeping with the traditional "California" look which this design manual proposes.

The following discussions describe how this overall theme and style has been applied to the landscape design of various features of the proposed project.

## 2. Streetscapes/Setbacks

As a reflection of the project's intention to establish a quality design theme, this Design Manual proposes a variety of streetscape designs (Figures 29 through 33) which both reflect the overall theme of the project and provides additional landscaped areas.

The streetscape designs contained in this section are intended not only to provide a unique, yet complimentary identity for the Riverwoods project, but to reflect the street hierarchy and variety of adjacent uses which will occur throughout the project area.

For further detail on specific streetscape designs, please refer to the following discussions and illustrations. An identification of the locations of various streetscape types is provided in Figure 28.

### a. Ethanac Road

Ethanac Road will form a major transportation corridor, both as a through route and as the main access to the Riverwoods. For this reason, a distinctive streetscape, combining elements of the Riverwoods landscaping theme, is proposed, as shown in Figures 29 and 29A.

b. McPherson Road/Watson Road (On-site)

McPherson Road and Watson Road provide access into the project site and will incorporate their own distinctive streetscape using various elements as illustrated in Figures 31 and 31A. McPherson Road will serve as the main corridor through the project site. All interior entries will access this street. It will be distinguished by plantings similar to those used along Ethanac Road as shown in Figures 28 and 33.

c. River Road/Local Street

River Road is classified as a collector and will form the eastern boundary of the project site, as a through route and as a secondary access to the Riverwoods. It will incorporate its own distinctive streetscape utilizing various elements found along Ethanac Road, see Figures 31 and 31A. These local streets will serve as routes connecting individual tracts within the project site. Like River Road, they are down-scaled versions of Ethanac Road, combining various landscape elements.

d. Mapes Road

Mapes Road will be partially improved adjacent to the project site at Planning Area 9 and extending to River Road. It will incorporate its own distinctive planting elements, as shown in Figures 30 and 30A.

3. Entry Monumentation

Serving as major focal points and entries into the Riverwoods Specific Plan Amendment area, entry monuments serve an important role and are a major design consideration. This Design Manual proposes a series of designs for three distinct entry monuments which reflects this role and implements the overall theme of the project.

As shown in Figure 28, the entry monuments are proposed at a variety of locations throughout the Riverwoods Specific Plan Amendment area. Locations have been selected based on several considerations including traffic patterns, adjacent land uses, and the exposure that each monument receives. In general, entry monuments are located at roadway intersections that would form "gateways" into the specific plan area. The primary entry monument into the Riverwoods Specific Plan Amendment area will be located at the intersection of Ethanac Road and McPherson Road. All other entry monumentation will be designed utilizing the planting style established by the primary entry, at varying degrees of scale. Secondary entry monumentation will occur along River Road and Mapes Road. Tertiary monumentation will occur at selected entry points into individual residential tracts from the internal thoroughfare.

Planting design at each entry location will reflect both the "Early California" and "California Xeriphytic" themes and will be designed so as to complement the streetscape landscaping of the adjacent parkways.

Specific project signage will be coordinated as to style and content and incorporated into the monumentation design at the time of City review.

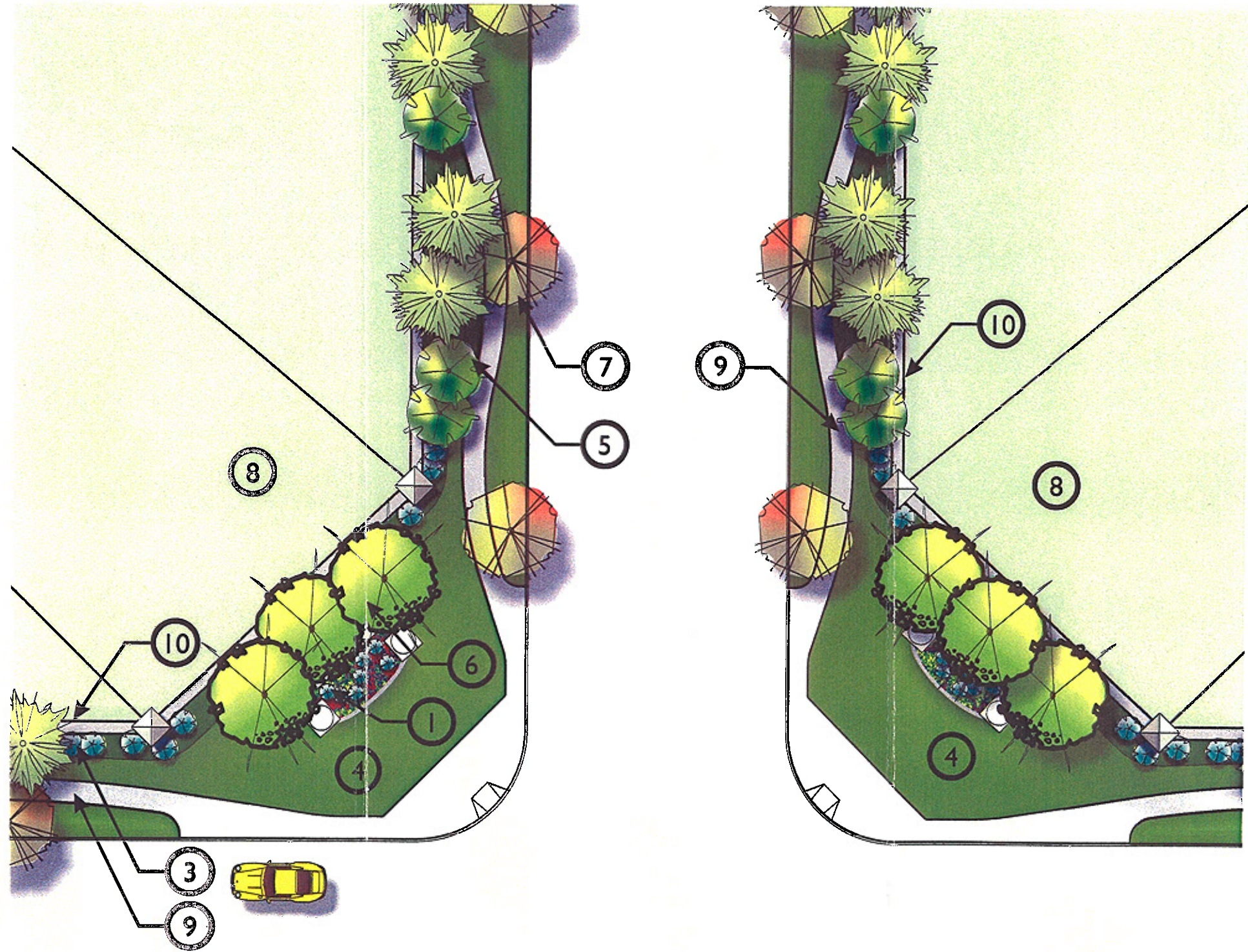
The following are descriptions of the designs for the entry monuments which will be constructed within the Riverwoods Specific Plan Amendment area:

a. Ethanac Road Entry

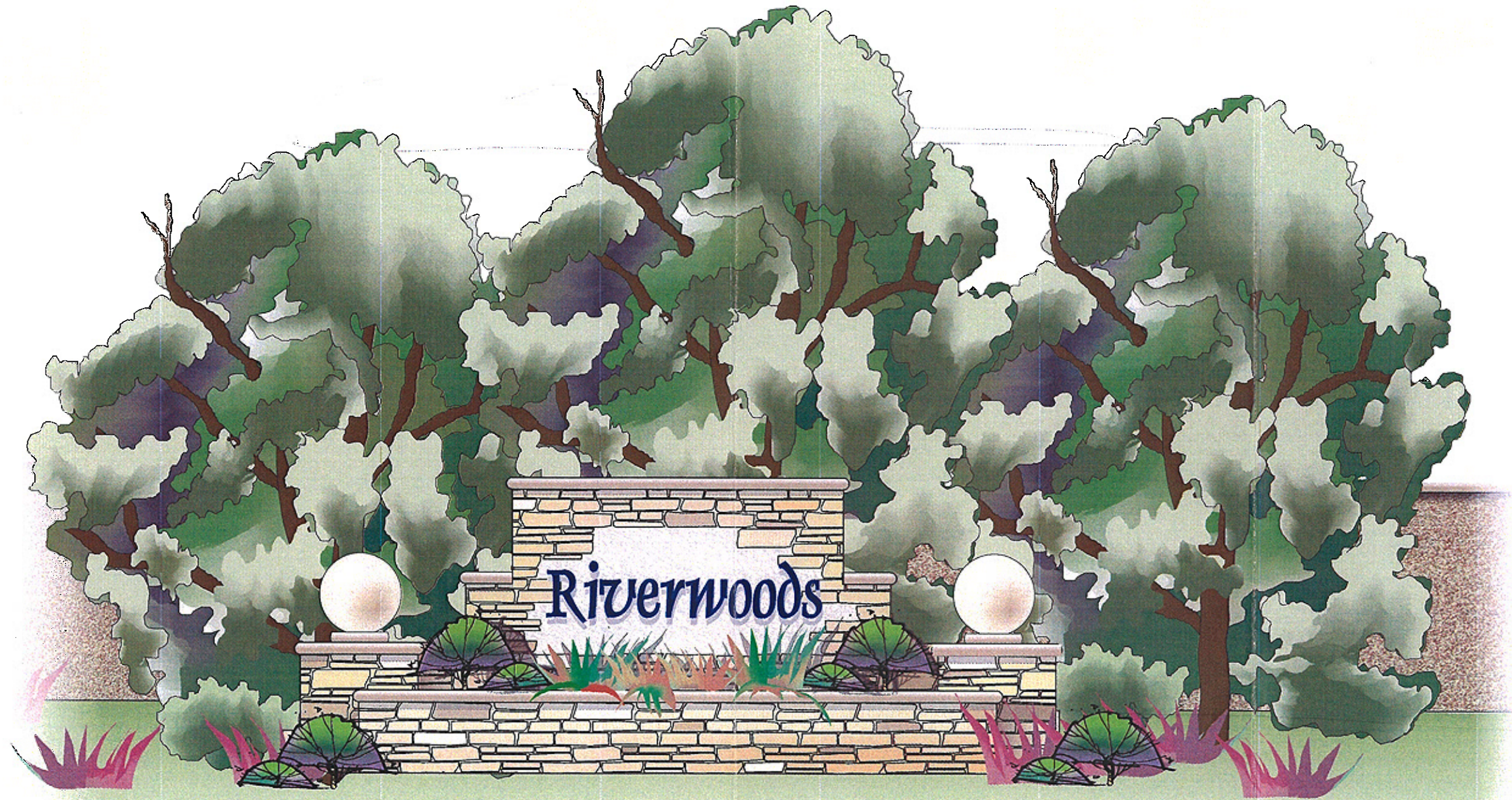
The major entry monument at Ethanac Road will combine the use of both hardscape, accent uplighting and planting features to implement the project landscape theme and to provide a distinctive identity for the project area.

**LEGEND**

- 1 PRIMARY ENTRY MONUMENT SIGN
- 2 COMMUNITY WALL
- 3 STREETScape / SETBACK LANDSCAPING
- 4 LAWN
- 5 PARKWAY PLANTING
- 6 LARGE DOME EVERGREEN TREE
- 7 STREET TREE
- 8 RESIDENTIAL LOT (TYP.)
- 9 6' MEANDERING SIDEWALK
- 10 COMMUNITY WALL



PRIMARY ENTRY MONUMENT PLAN



PRIMARY ENTRY ELEVATION

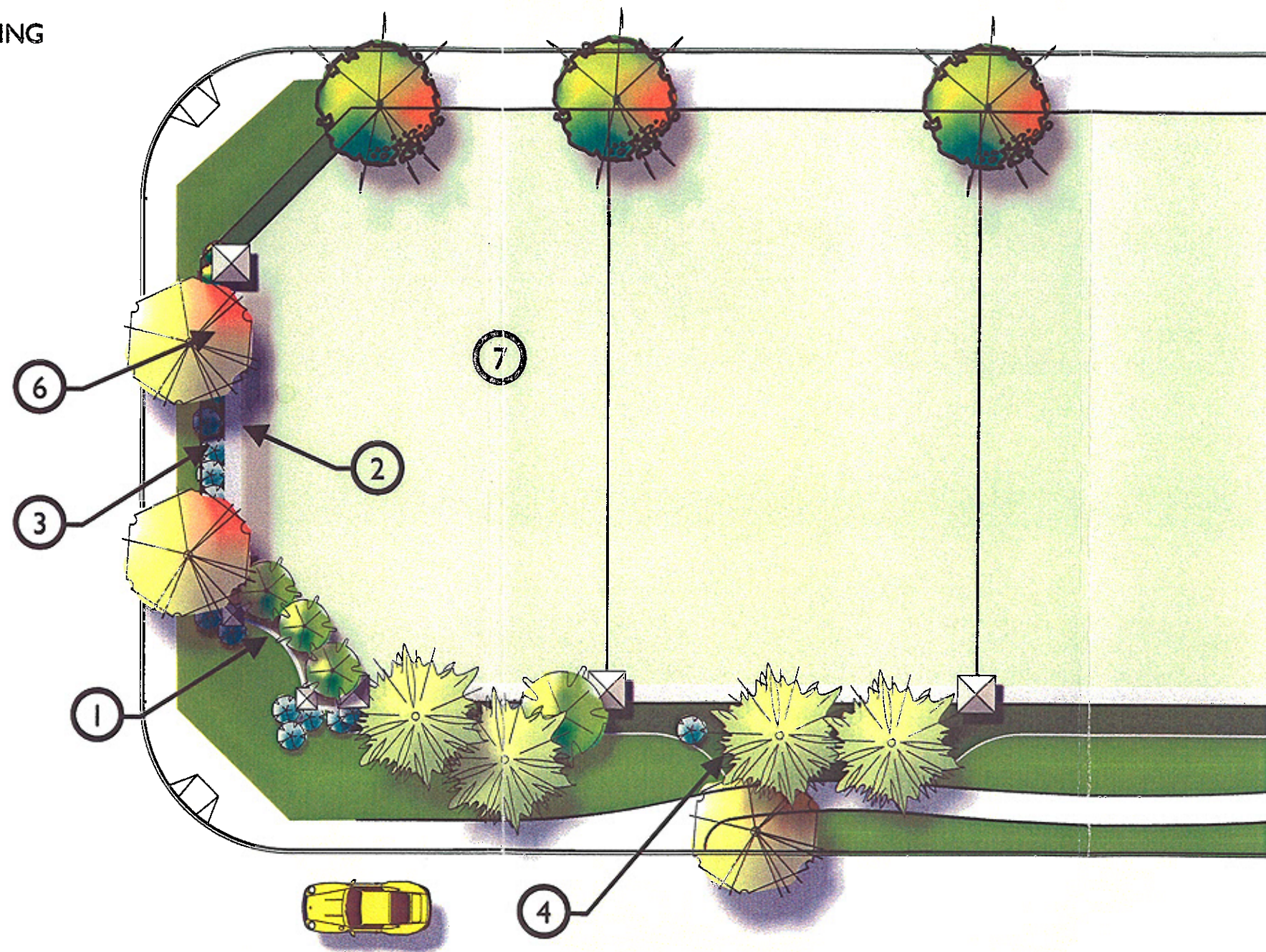
b. River Road/Mapes Road Secondary Entries

Secondary entries will occur at locations as shown in Figure 28 along River Road and Mapes Road. These locations are found along secondary access routes and will not be as visible as the Ethanac Road entry.

These entries will reflect the overall theme of the primary Ethanac Road entry, but will be constructed on a smaller scale. As shown in Figure 36 and 37, these entries will contain the same elements as the primary entry, including accent uplighting, although they will utilize downscaled theme planting. Planting will feature other elements of the Ethanac Road entry, including the extensive use of theme oriented plantings and boulders.

### LEGEND

- 1 SECONDARY ENTRY MONUMENT SIGN
- 2 COMMUNITY WALL
- 3 STREETScape / SETBACK LANDSCAPING
- 4 PARKWAY PLANTING
- 5 FLOWERING ACCENT TREE
- 6 STREET TREE
- 7 RESIDENTIAL LOT (TYP.)



SECONDARY ENTRY PLAN



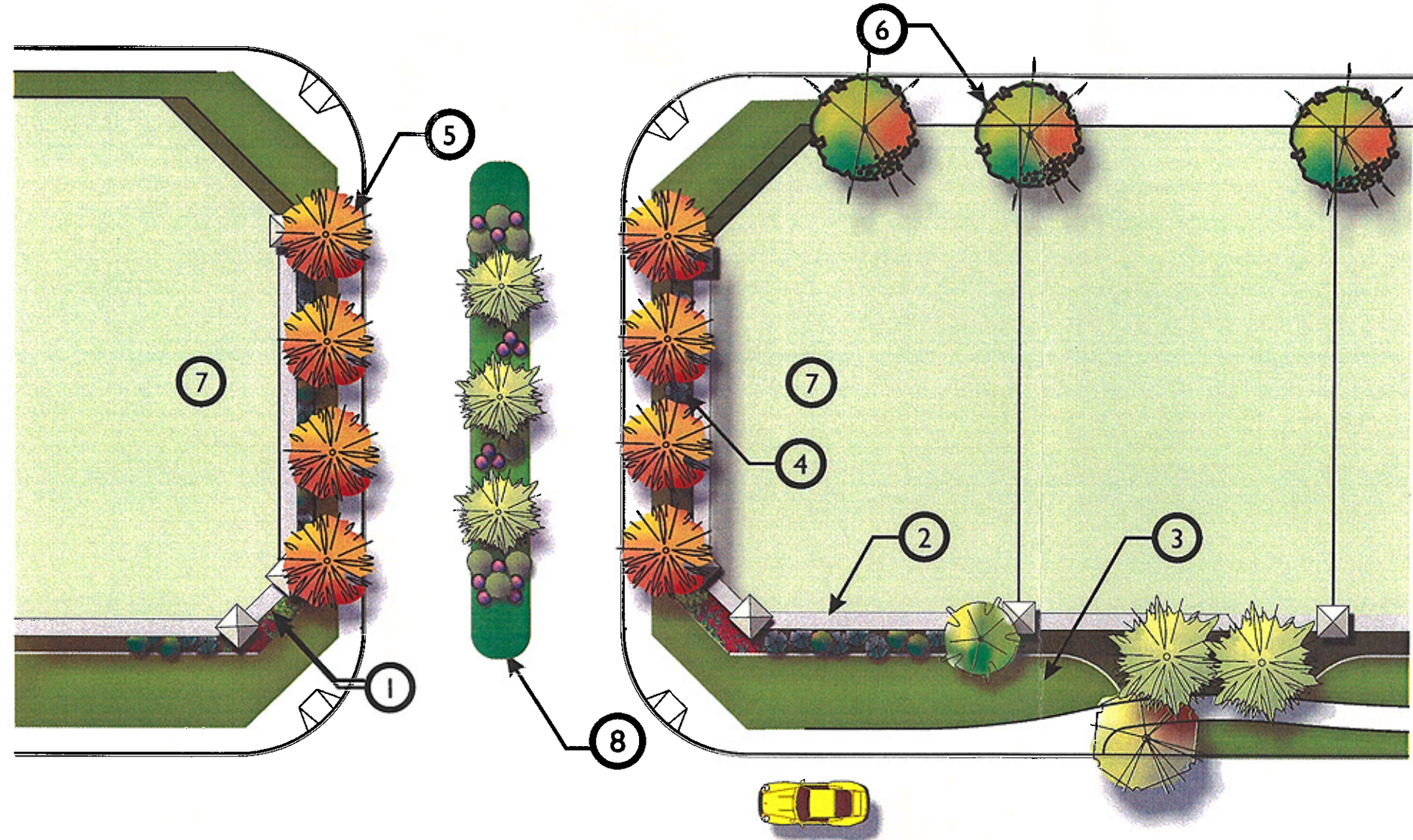
c. **Neighborhood Entries**

The tertiary entry monuments found within the Riverwoods will be used to denote entries into individual tracts within the specific plan area.

To reinforce the identity of the Riverwoods Specific Plan Amendment area, all neighborhood entry monuments will incorporate features of the other entry treatments, but on a smaller scale. An illustration of the design concept for a typical internal entry is shown on Figures 28, 38 and 39.

LEGEND

- 1 SECONDARY ENTRY MONUMENT SIGN
- 2 COMMUNITY WALL
- 3 STREETScape / SETBACK LANDSCAPING
- 4 PARKWAY PLANTING
- 5 FLOWERING ACCENT TREE
- 6 STREET TREE
- 7 RESIDENTIAL LOT (TYP.)
- 8 12' WIDE RAISED ENTRY MEDIAN (MCPHERSON ROAD AND WATSON ROAD ENTRIES ONLY)



NEIGHBORHOOD ENTRY PLAN



NEIGHBORHOOD ENTRY ELEVATION

4. Fuel Modification Interface

Land use transitions provide environmental design and edge treatments which allow land uses of dissimilar intensity or limited compatibility to be physically separated or buffered from each other. The land use transitions proposed for Riverwoods are intended to:

- o Provide for the separation and buffering of dissimilar land uses by employing community design elements such as walls or fencing and landscaping.

This interface, as shown in Figure 40, occurs in the west portion of the site adjacent to the hillside open space (Planning Area 8). This area can be defined as the edge created where the park meets side and rear property lines of residential uses and is intended to transition rear and side yard slope plantings to the naturalized open space plantings. This fuel modification zone is further described in the fuel modification guidelines as discussed below.

The concept of the interface is to preserve and protect views beyond the adjacent hillside open space while maintaining its rural character. Because the open space will have limited physical improvements, the open space is not perceived as a high intensity use area. Therefore, unobstructed views from residential lots should be encouraged. To take advantage of the open space's amenities, edge treatments should incorporate the use of view fencing at the rear and side residential property lines. Plant palettes for rear and side yard slope plantings should reflect the open space plantings so as to endure a semi-natural transition. The open space planting palette should take into account the need for fire-resistant plant material at the residential interface and should reflect a natural feel. Indigenous trees which would normally occur on the site should be encouraged as part of the planting palette.

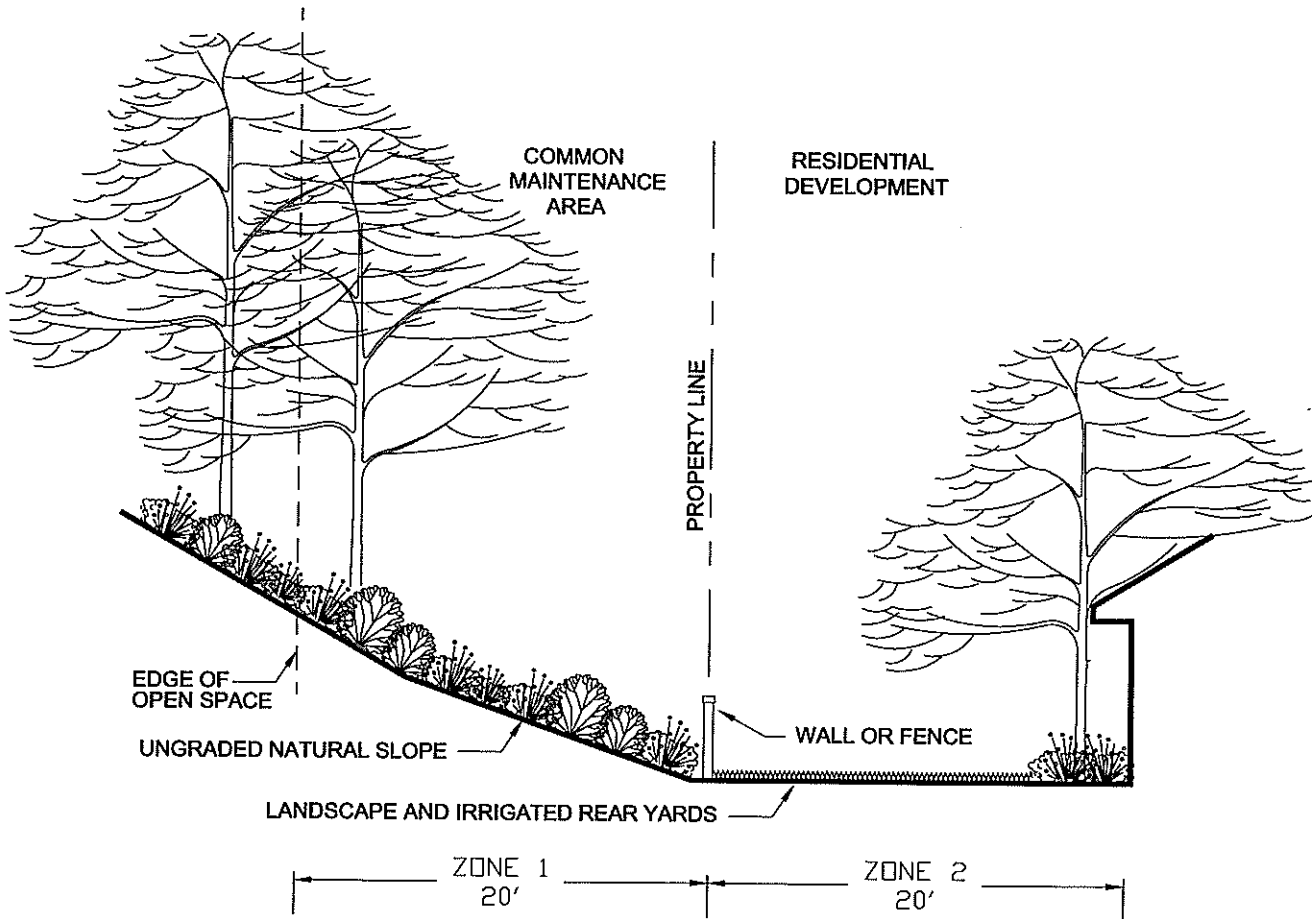
The County of Riverside Fire Code requires fuel modification zones to be maintained along residential edges adjacent to natural open space areas (Planning Areas 1 and 6). Fuel modification zones represent a physical separation between development and open space. The purpose of this zone is to reduce the hazard of wildfires and to provide a natural and visual transition between developed areas and open space. The County of Riverside Fuel Modification Plan Guidelines is utilized by the City of Perris. The primary criteria for achieving a fire safe buffer in this zone are mandates that fuel load be lessened and the moisture content of the vegetative biomass be increased.

A landscape maintenance program will be established, depicting a Fuel Modification Zone from the rear of a residential unit to undisturbed open space. The developer shall be responsible for establishing the Fuel Modification Zones, preparing a plan to implement the fuel modification and performing the required improvements. The Fuel Modification Plan shall be prepared in accordance with the County of Riverside Fire Code and reviewed for approval by the City of Perris. Maintenance of all fuel modification areas shall be the responsibility of a master homeowners association.

The fuel modification zone will be one hundred feet (100') wide extending into the open space areas from the right of way and planning area boundary lines (Planning Areas 1 and 6). All areas disturbed by project construction will be re-vegetated with hydroseeded non-irrigated low fuel plant material. All native areas not disturbed by project construction will be thinned out to lessen the fuel load and increase the moisture content of the vegetative biomass. Refer to thinning guidelines below.

### Thinning Guidelines:

- Selectively remove highly flammable plant species.
- Selectively thin out large, dense groupings of plant materials.
- Remove plant material in a manner that will promote a natural appearance to fuel modification areas.



NOTE: THE TOTAL COMBINED AREA OF ZONE 1 & 2 SHALL NOT BE LESS THAN 40 FEET.

- \* SELECTIVELY REMOVE HIGHLY FLAMMABLE PLANT SPECIES.
- \* SELECTIVELY THIN OUT LARGE, DENSE GROUPINGS OF PLANT MATERIALS.
- \* REMOVE PLANT MATERIAL IN A MANNER THAT WILL PROMOTE A NATURAL APPEARANCE.
- \* ALTERATIONS TO EXISTING PLANT MATERIALS TO BE IN COMPLIANCE WITH SUB-REGIONAL HABITAT CONSERVATION PLAN.

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# Fuel Modification - Elevation



5. Landscape Palette

The following plant palette was developed to include a wide variety of plant materials which are compatible with the Perris Valley climate, reflect the overall theme of Riverwoods, and provide many opportunities for decreased water consumption.

With several exceptions, all plant materials listed below are appropriate for use throughout the project site; plants inappropriate or especially appropriate for use in various situations are listed after the plant palette.

As noted, the majority of plants proposed for use within the Riverwoods Specific Plan Amendment area are "drought tolerant." For the purposes of this Manual, "drought tolerant" refers to plants which are able to thrive on less water than is typically applied to more traditional plantings. Some drought tolerant plants indicated below will become drought tolerant once established and may require conventional levels of irrigation during early phases of growth; others will require lower levels of irrigation throughout their lifetimes.

PROJECT-WIDE PLANT PALETTE

Evergreen Trees

Arbutus unedo  
Brachychiton populenus  
Cupressus glabra  
Feijoa sellowiana  
Geijera parviflora  
Heteromeles arbutifolia  
Magnolia grandiflora ssp.  
Olea europaeo Fruitless  
Pinus canariensis  
Pinus eldarica  
Pinus halepensis  
Pinus pinea  
Pittosporum rhombifolia  
Podocarpus macrophyllus  
Prunus ilicifolia  
Quercus agrifolia  
Quercus ilex  
Quercus Virginiana  
Rhus lancea  
Schinus molle  
Schinus terebinthifolius  
Sequoia sempervirens

Strawberry Tree  
Bottle Tree  
Arizona Cypress  
Pineapple Guava  
Australian Willow  
Toyon  
Southern Magnolia Sub-Species  
Fruitless Olive  
Canary Island Pine  
Mondell Pine  
Desert Pine  
Italian Stone Pine  
Queensland Pittosporum  
Yew Pine  
Hollyleaf Cherry  
California Live Oak  
Holly Oak  
Southern Live Oak  
African Sumac  
Coast Redwood  
Desert Gum

Deciduous Trees

Aesculus California  
Alnus cordata  
Cercis occidentalis  
Fraxinus valutina 'Modesto'  
Ginko biloba  
Gleditsia triacanthos ssp.  
Koelreuteria bipinnata  
Koelreuteria panniculata  
Lagerstroemia indica "Indian Tribe"  
Liquidambar styraciflua  
Pistacia chinensis  
Platanus acerifolia  
Platanus racemosa  
Salix babylonica  
Sophora japonica  
Tipuana tipu

California Buckeye  
Italian Alder  
Western Redbud  
Modesto Ash  
Maidenhair Tree  
Honey Locust Sub-Species  
Chinese Flame Tree  
Golden Rain Tree  
Crape Myrtle  
Sweet Gum  
Chinese Pistache  
London Plane Tree  
California Sycamore  
Weeping Willow  
Japanese Pagoda Tree  
Tipu Tree

## Riverwoods Specific Plan Amendment

### Shrubs

Abelia "Edward Goucher"	Edward Goucher Abelia
Agapanthus africanus	Lily of the Nile
Arbutus unedo "Compacta"	Dwarf Strawberry Tree
Arctostaphylos species	Manzanita Species
Callistemon species	Bottlebrush Species
Camellia species	Camellia Species
Caesalpinia gilliesil	Bird of Paradise Bush
Cassia artemisioides	Feathery Cassia
Ceanothus species	California Lilac Species
Cistus species	Rockrose
Cocculus laurifolius	Laurel Leaf Snailseed
Cotoneaster species	Cotoneaster species
Dendromecon rigida	Bush Poppy
Dietes bicolor	Fortnight Lily
Dodonaea viscosa	Hopseed Bush
Grevillea species	Grevillea species
Hemerocallis species	Day Lily Species
Ilex cornuta <u>ssp.</u>	Chinese Yaupon Holly Species
Ilex vomitoria <u>ssp.</u>	Chinese Yaupon Holly Species
Iris douglasiana	Beardless Iris
Leptospermum scoparium	New Zealand Tea Tree
Leucophyllum frutescens	Texas Ranger
Ligustrum japonicum	Japanese Privet
Magnolia soulangeana <u>ssp.</u>	Saucer Magnolia Sub-Species
Mahonia species	Oregon Grape Species
Nerium Oleander	Oleander
Osmanthus fragrans	Sweet Olive
Phorium tenax	New Zealand Flax
Photinia fraseri	Photinia
Pittosporum tobira <u>ssp.</u>	Tobira Sub-Species
Prunus caroliniana "Compacta"	Carolina Laurel Cherry
Punica granatum	Pomegranate
Phyracantha species	Frethorn Species
Raphiolepis indica "Springtime"	Pink Indian Hawthorn
Rhus ovata	Sugar Bush
Ribes sanguinum	Pink Winter Currant
Ribes speciosum	Flowering Fuschia
Romneya coulteri	Matilija Poppy
Ternstroemia gymnathera	Ternstroemia
Xylosma congestum	Xylosma

Vines

Cissus antarctica	Kangaroo Treevine
Cissus hypoglauca	(No common name)
Doxantha unguis-cati	Cat's Claw Vine
Ficus pumila	Creeping Fig
Gelsemium sempervirens	Carolina Jessamine
Jasminum mesnyi	Primrose Jasmine
Lonicera japonica	Japanese Honeysuckle
Parthenocissus tricuspidata	Boston Ivy
Trachelospermum jasminoides	Star Jasmine

Ground Covers

Aptenoa cordifolia	Red Apple
Arctostaphylos edmundsii	Little Sir Manzanita
Baccharis pilularis "Twin Peaks"	Coyote Brush
Campanula pascharskyana	Serbian Bellflower
Ctoneaster "Lowfast"	Rock Cotoneaster
Duchesnea indica	Indian Mock Strawberry
Festuca species	Fescue
Hedera helix "Needlepoint"	English Ivy
Lonicera japonica	Honeysuckle
Nandina domestica "Harbor Dwarf"	Dwarf Heavenly Bamboo
Verbena peruviana	(No common name)
Potentilla verna	Spring Cinquefoil
Resemarinus officinalis	Rosemary

Plants Inappropriate in Residential Areas:  
Eucalyptus/Pepper Trees

Schinus molle (California Pepper) shall not be used in turf areas.

Plants Appropriate for use in Barrier Plantings

The use of barrier plants is proposed where residential areas require physical screening as well as visual buffering. "Barrier plants" include species which are capable of preventing or discouraging unwanted entry, either by their dense grown or by thorns or serrated foliage. A wide variety of barrier plants is available; the following is a selection of some appropriate species.

**Thorny Stems or Leaves:**

Mahonia (Mahonia)  
Pyracantha (Firethorn)  
Rosa var. (Rose)

**Dense Foliage:**

Abelia grandiflora (Glossy Abelia)  
Dodonea viscosa (Hopseed Bush)  
Euonymus japonica (Evergreen Euonymus)  
Osmanthus fragrans (Sweet Olive)  
Photinia sp. (Photinia)  
Prunus lyonii (Catalina Cherry)  
Xylosma congestum (No common name)

These species represent a sampling of barrier plants which are acclimated to the climate of the Perris Valley area. Others are also available and may be suggested by the Landscape Architect preparing plans for individual portions of the project. In general, barrier plants should be attractive as well as functional; unattractive, thorny plant, for instance, should not be used.

6. Landscape Planting Guidelines

a. Landscape Criteria

The objectives of the landscaped areas within the Riverwoods Specific Plan Amendment are to provide a unified design concept and treatment consistent with the overall design theme, to provide identity for the various portions of the specific plan area, and to provide active and passive recreational opportunities.

To achieve these objectives, the following criteria should be followed:

- Landscaping shall complement the overall design theme through the careful use of flower and leaf color and texture, plant forms and plant masses.
- A simplified palette of plant materials which complements the overall project theme of the landscape shall be used. The use of many unrelated plant varieties shall be avoided in favor of board plant masses and consistency of landscape character.
- Grouped masses of plant materials shall be designed to compliment architectural elevations and roof lines through color, texture, density and form on both the vertical and horizontal planes.
- The spacing of the plant material shall be commensurate with anticipated mature growth in order to promote natural forms without the need for excessive future pruning and maintenance.
- All plant material selected for use shall be of a type known to have been successful in the area of in similar climate and soil conditions.

- Plant materials known to have invasive or destructive root systems shall be avoided. Plants known to produce excessive litter or pose dangers due to falling limbs shall also be avoided.
- Mulch shall be used whenever appropriate to conserve water.
- Landscaping shall be designed to enhance existing views or provides new view corridor opportunities to open space areas, major land forms, and other visual amenities within the project and vicinity.
- Landscaping shall be used to screen utility enclosures or utility cabinets from view from major streets.

b. **Planting Guidelines**

Because of the climate extremes in the Perris Valley area, the installation of plant materials during the coldest winter months (December through March) or the hottest summer/fall month (July through September) should be avoided. If planting must be done during these periods, plant establishment may be difficult, and may require a prolonged period of time. In all installations, the use of plant materials acclimated to the Perris Valley area is encouraged.

c. **Maintenance**

All landscaped public and common areas shall be maintained in accordance with the best industry standards for professional landscape maintenance. Regular maintenance shall include watering, fertilization, mowing, edging, pruning, trimming, weeding, herbicide programming, pesticide programming, clean-up and other on-going seasonal programmed maintenance functions. Replacement of dead or diseased plant materials originally approved shall be done on a routine basis.

Automatic irrigation systems shall be routinely inspected and repaired and maintained in peak operating condition at all times. All common areas and areas open to public, including sidewalks, parking areas and service areas, shall be routinely cleaned of litter and debris.

d. **Soil Testing**

Soil characteristics within the project will most likely be variable. Prior to landscape development, a horticultural soils report shall be arranged in order to determine proper planting and maintenance requirements for proposed plant materials. This soils test shall be performed by a qualified agricultural laboratory and shall include a soil fertility and agricultural suitability analysis with pre-plant and post-planting recommendations. Special attention shall be paid to those areas requiring slope stabilizations and erosion control.

7. Irrigation Systems

All areas within the Riverwoods Specific Plan Amendment required to be landscaped shall be provided with a complete, automatic irrigation system. The system must conform to the requirements of the City of Perris.

Irrigation systems for landscape development of single family residential projects shall provide uniform water coverage. Irrigation system design shall provide precipitation rates that avoid saturated soil conditions, cause surface erosion or discharge excessive amounts of run-off water into public or private streets or adjacent properties.

A low precipitation system will be designed for parking areas to provide deep watering in all parkway areas where groundcover, shrubs and trees are planned. Irrigation systems will be controlled by an automatic irrigation dual-program controller.

The following general irrigation concepts and site conditions shall be considered in the design and installation of irrigation systems:

- Irrigation systems (with the exception of drip systems) shall be designed with head-to-head 100 percent (100%) double coverage at a minimum time setting of one (1) minute, and be capable of providing multiple repeat and start times.
- Pop-up orientation type sprinkler heads shall be used adjacent to walks, drives, curbs, parking areas and public right-of-way to avoid breakage and reduce maintenance costs.
- Irrigation sprinkler heads used to water 2:1 slopes shall have application rates which reduce the amount of run-off and shall be of a type, such as stream rotors, which do not apply water in a fixed, steady stream.
- Backflow protection devices shall be installed on irrigation systems which are connected to a potable water system.
- The design of irrigation systems, particularly the location of controller boxes, valves, and other above-ground equipment, shall be incorporated in the design of overall landscaping. Where above-ground equipment is provided, it shall be screened or otherwise removed from public view to the extent possible.
- Sprinklers with proper nozzles shall be selected to provide water to the landscape that is compatible with their respective soils. If soil information is not available, utilize low precipitation sprinklers and program controller to minimize run-off.
- Sprinkler systems shall be separated according to the following criteria:
  - Top, toe and center of slope.

- Contour along slope, when possible.
- NE-SW exposures shall generally be on separate circuits.
- Separation of turf from groundcover and shrub areas.
- Radical soil differences.
- Separation of high points from low points (and drainage swales) in general landscaped areas.
- Separation of slopes from general landscaped areas (Slopes are considered steeper than 3:1).
- The landscape sprinkler irrigation system shall be designed to meet the peak moisture demand of all plant materials used within all landscaped areas.
- Systems shall be designed considering a 5-10 MPH wind velocity.
- Systems shall be designed to guarantee no greater than 20% operating pressure differential and no less than the manufacturer's recommendation.

Maximum flow velocity through pipes shall be five feet (5') per second.

### 8. Community Walls and Fences

The wall and fence plan, as shown in Figure 41, indicates the location of both the perimeter wall and view fence. The wall types which will be used in the Riverwoods project are shown in Figure 42. This perimeter wall, which will be used to provide privacy and security, is designed to be aesthetically pleasing and compatible with other design elements. Standards for this wall are described below. The view fence is intended to be used only at the edges of any area where views and security are required.

#### Community Theme Wall (Perimeter/Buffer Block Wall)

This wall is to be used in all perimeter situations requiring privacy and sound attenuation. In general, this wall will be used at the boundaries of residential tracts throughout the specific plan area.

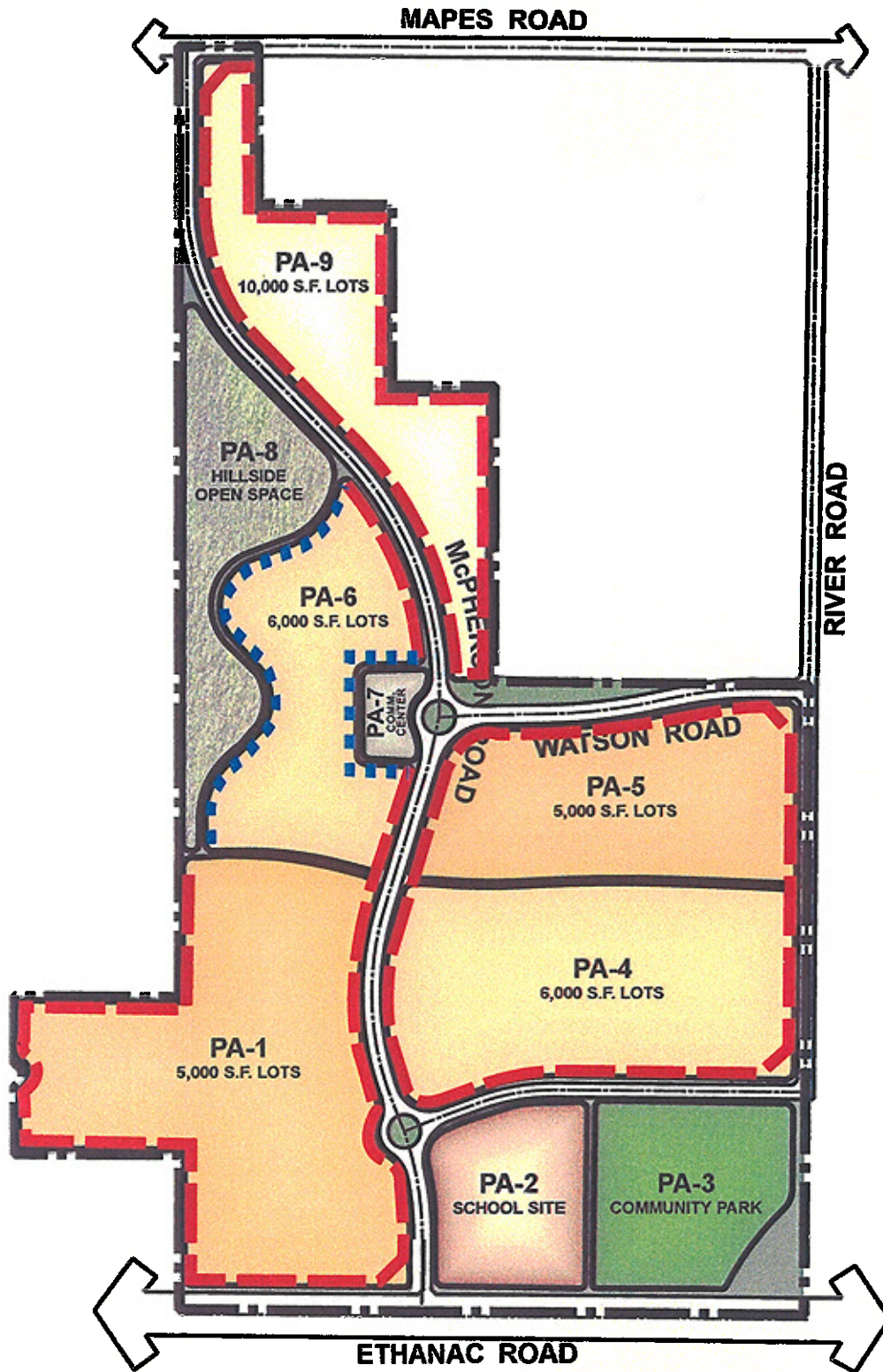
This wall type shall be at least six (6) feet high, and constructed of concrete or similar "precision" blocks at least six (6) inches wide, covered with an even stucco coat in a color complementary to the overall design theme. As shown in Figure 42, this wall shall be constructed with a cap and pilasters, the latter of which shall be provided at each property line, at changes in vertical or horizontal direction, and at other appropriate locations. Pilasters at the primary and secondary entry monuments shall have a cultured stone facing in keeping with the overall design theme as illustrated by the entry monument exhibits.\* Pilasters at the Ethanac entry shall have ornate caps as shown in the Ethanac

entry exhibit. Other dimensional information regarding this wall type is shown in Figure 42.

This wall type shall be placed at the tops of slopes. No perimeter/buffer walls shall be placed at the bottoms of slopes.

**Residential Theme Fencing (View Fencing)**

As shown in Figure 42, view fencing consists of tubular steel fencing panels supported at regular intervals by pilasters consistent with the perimeter/theme wall (steel supports may be used between pilasters, which should be provided at property corners and changes in direction or elevation. The fencing pilasters shall be constructed per the requirements for the perimeter/theme wall.

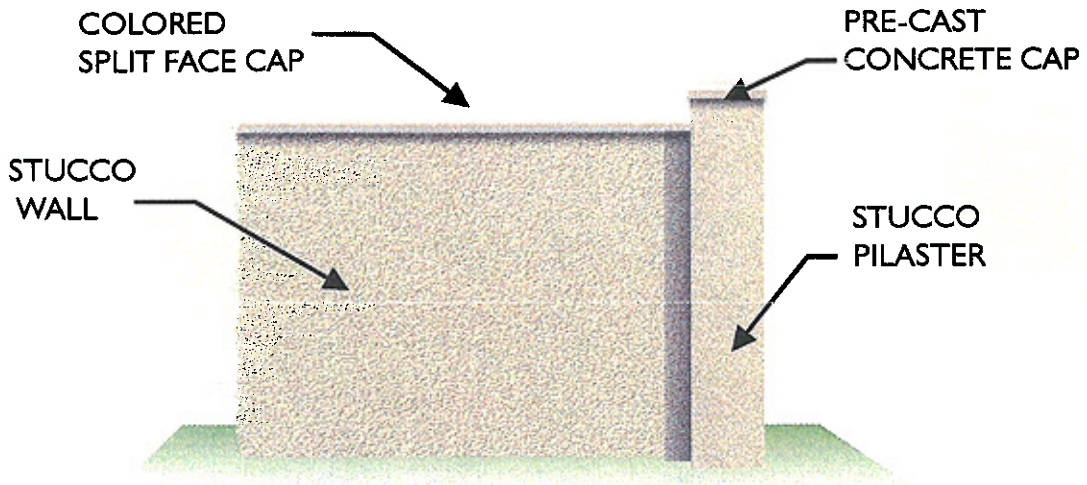


WALL AND FENCE PLAN

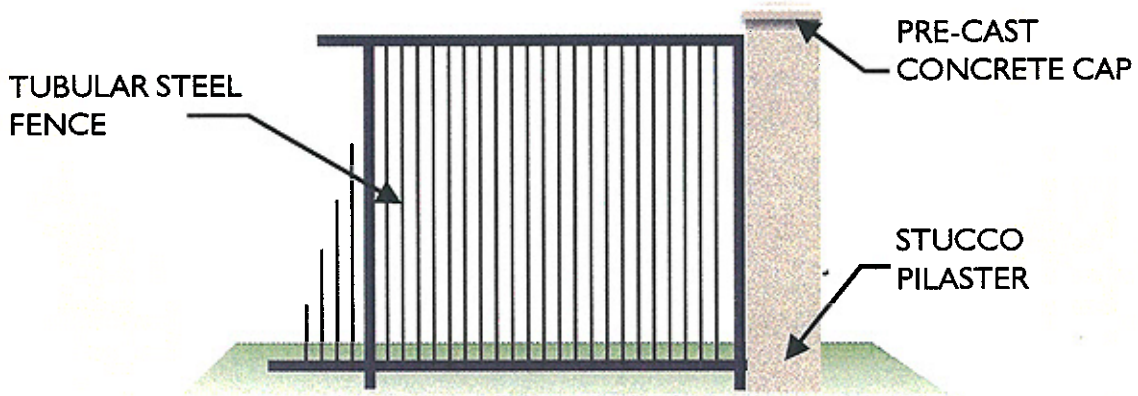
LEGEND

- COMMUNITY WALL (SEE FIG. 42)
- VIEW WALL / FENCE (SEE FIG. 42)

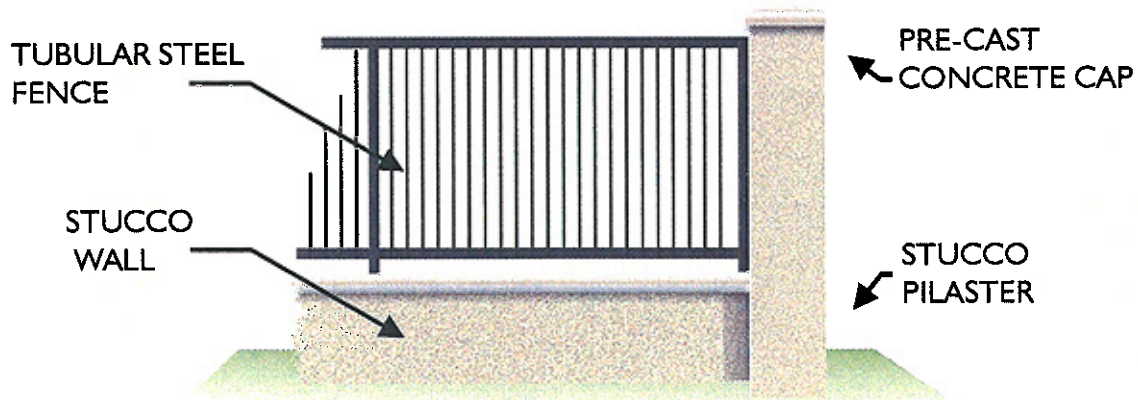




**COMMUNITY THEME WALL**



**VIEW FENCE**



**VIEW WALL**

PERIMETER / THEME WALL AND VIEW FENCING

**C. COMMUNITY AMENITIES**

**1. Community Park (Planning Area 3)**

The Community Park (Planning Area 3) will provide for both active and passive recreation uses. Amenities as suggested in the Conceptual Park Plan (Figure 43) may include the following:

- Children's play area
- Picnic area
- Covered seating area
- Basketball courts
- Open lawn
- Parking
- San Jacinto Corridor

The Community Park will be dedicated to the City of Perris and will be operated and maintained by the City. The final design and amenities of the Community Park will be subject to approval by the City of Perris.

**2. Community Center (Planning Area 7)**

Planning Area 7 consists of a 2.0-acre Community Center site. The conceptual design of this center consists of a community building, outdoor pool/spa/gazebo/fireplace, children's play area, open turf areas and community plaza. Refer to Figures 28 through 44 for landscaping, streetscape, entry treatments and wall/fence design guidelines. The Community Center will be a focal point for the Riverwoods community and will provide a place for neighborhood meetings, socialization and recreation. It is anticipated that the Community Center building will be used by the residents of Riverwoods for various parties, receptions, club meetings, and as a general meeting room for social activities. The Community Center will be maintained by the Riverwoods HOA.

LEGEND

- 1 PARKING
- 2 BASKETBALL COURTS
- 3 CHILDREN'S PLAY AREA
- 4 COVERED SITTING AREA
- 5 PICNIC AREA
- 6 OPEN LAWN
- 7 SAN JACINTO RIVER CORRIDOR
- 8 EMWD SEWAGE LIFT STATION

SCHOOL SITE

LANDSCAPE BUFFER

STREET "A"

RIVER ROAD

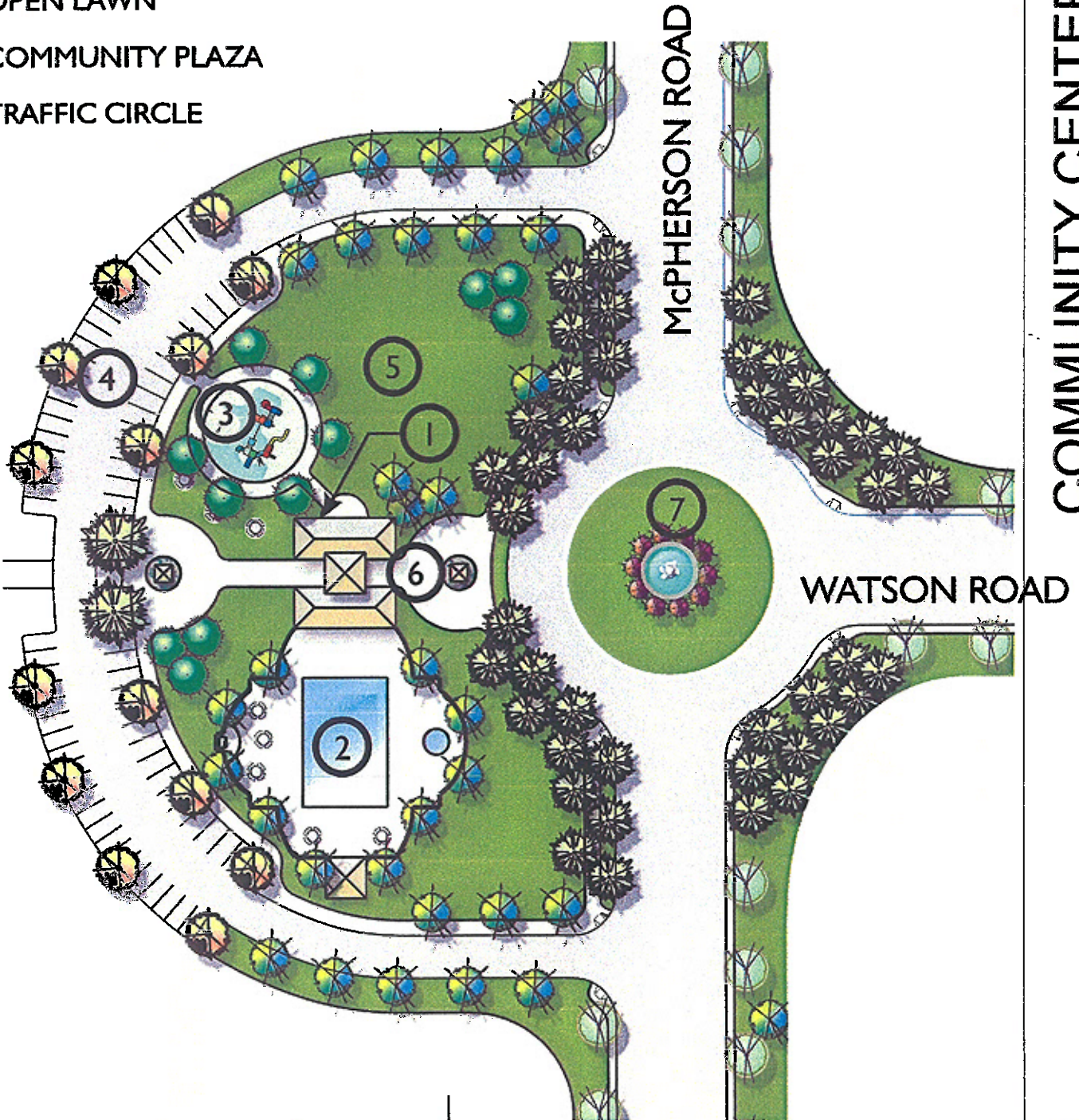
ETHANAC ROAD

COMMUNITY PARK CONCEPT



# LEGEND

- 1 COMMUNITY CENTER
- 2 POOL / SPA / GAZEBO / FIREPLACE
- 3 CHILDREN'S PLAY AREA
- 4 PARKING
- 5 OPEN LAWN
- 6 COMMUNITY PLAZA
- 7 TRAFFIC CIRCLE



COMMUNITY CENTER CONCEPT



**ARCHITECTURAL DESIGN GUIDELINES WILL BE SUBMITTED UNDER A  
SEPARATE DOCUMENT TO THE CITY OF PERRIS PRIOR TO THE ISSUANCE OF  
ANY BUILDING PERMITS**

**D. RESIDENTIAL DESIGN CRITERIA**

1. Introduction

The formation of and commitment to a set of architectural guidelines establishes a hierarchy of priorities. Design image, use of materials, and appropriate massing and scale are all key issues in the public's perception of the community. The goal is to establish and promote a high quality and consistent appearance within the new Riverwoods neighborhood.

The intent of the architectural guidelines is to develop a common vocabulary to insure the compatibility of adjacent product types within a neighborhood theme. This theme, in its broad scope, encourages diversity and variety, for it allows a wide range of contemporary and traditional interpretations of architectural styles. The guidelines are intended to be used as a tool for builders, architects, landscape architects, and planners in their design efforts. Adherence to the architectural guidelines will encourage the exploration of variations on themes, while maintaining the basic palette of materials, colors, and design elements for the betterment of the community.

The Architectural Design Guidelines Manual will be submitted under a separate document to the City of Perris prior to the issuance of any building permits. This section will outline the residential and lot design criteria.

2. Residential Criteria

The major objective of Riverwoods is to provide detached single-family dwellings in a balanced family-oriented community setting. A variety of neighborhoods featuring diverse lot and home styles will satisfy a broad spectrum of life styles. Such a diversity of housing is intended to appeal to several market segments, including singles, couples, young families, move-up buyers and retirees.

Typical housing types as approved by the City of Perris within the Riverwoods project will be organized according to three density categories. These categories include:

**R-5,000 RESIDENTIAL DEVELOPMENT**

Detached single-family homes are planned on 75.4 acres with a total not to exceed 373 dwelling units. These dwelling units are planned for Planning Areas 1 and 5. The average density will be 5.0 dwelling units per acre. The minimum living area per dwelling unit shall be 1,100 square feet. The minimum lot sized in the R- 5,000 residential area shall be 5,000 square feet.

R-6000 RESIDENTIAL DEVELOPMENT

The R-6000 residential areas are established for the development of approximately 255 detached, single-family homes on 57.1 acres in Planning Areas 4 and 6. The total number of dwelling units shall not exceed 255 units at an average density of 4.5 dwellings per acre. The minimum living area per dwelling unit shall be 1,200 square feet. The minimum average lot size in the R-6000 residential areas shall be 6,000 square feet.

R-10,000 RESIDENTIAL DEVELOPMENT

Detached, single-family residential development is planned on 27.1 acres in Planning Area 9. The total number of dwelling units in this Planning Area shall not exceed 68 units. The average density will be 2.5 dwellings per acre. The minimum lot in the R-10,000 shall be 10,000 square feet in size. The minimum living area per dwelling unit shall be 1,250 square feet.

In total, Riverwoods will consist of 696 detached single-family dwellings spread among 3 density categories. In no event, shall any lot less than 5,000 square feet in area be permitted. The blending of these density categories is the result of thoughtful planning so that the completed dwellings complement one another and are unified through project design elements.

The developer and/or builder of each residential tract will follow architectural standards to assure compatibility of individual development tracts with the same distinctive community theme. The developer and/or builder of each development will be required to submit plans for architectural product types and public right-of-way landscaping to the City of Perris for review and approval prior to final recordation.

3. Design Criteria

- a) In the R-5,000, R-6000, and R-10,000 residential areas one and two story homes shall be permitted. The overall minimum lot sizes shall be as follows:

Each dwelling unit in the following:

R-5,000 – 1,100 sq. ft.  
R-6000 – 1,200 sq. ft.  
R-10,000 – 1,250 sq. ft.

(Exclusive of garages and porches, either covered or uncovered)

- b) R-5,000
1. No lot smaller than 5,000 sq. ft.

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- c) R-6000
  - 1. No lot smaller than 6,000 sq. ft.
- d) R-10,000
  - 1. No lot smaller than 10,000 sq. ft.
- e. A development review application shall be submitted to the Department of Community Development in the City of Perris for all tentative subdivision maps within the Riverwoods Specific Plan Amendment project area.
- f. Building height shall not, in any event, exceed a maximum of 35 ft.
- g. Minimum front yard set back shall be as follows:
  - 1. 16 feet to the dwelling unit;
  - 2. 16 feet to side-entry garage wall
  - 3. 20 feet to front-entry garage door
  - 4. 12 feet to porches.
- h. Minimum side yard setback shall be 10 feet to the dwelling unit. Fireplaces and chimneys may intrude up to 3 feet into the side yard setback. The minimum separation between buildings shall be 10 feet.
- i. Minimum rear set back shall not be less than 20 feet average as measured from the edge of the proposed future roadway right-of-way or the adjacent lot line. Construction of accessory uses such as patio covers may extend to within 10 feet of the rear property line.
- j. Maximum lot coverage on any lot shall not exceed 50% for R-5,000 and R-6,000 lots and 40% for R-10,000 lots.
- k. Fencing and walls shall be designed according to the standards and guidelines as set for in the City of Perris Zoning Code, Section 19.20.130.
- l. Off-street parking consisting of at least a two-car garage with a minimum of 400 square feet provided for each dwelling. Garages shall provide a minimum of 2 spaces for a total of 20' x 20'. Water heater may project into 1 corner of this space.
- m. Residential lots located at the end of cul-de-sac bulbs shall be designed per the City of Perris standards at right angles off the street centerline or in a radial pattern.

4. Lot Design Criteria Summary

**R-5,000**

Minimum Lot Size	5,000 square feet
Minimum Average Lot Width	50 feet
Minimum Lot Width at Building Setback	45 feet
Minimum Lot Width on Cul-de-sac or Knuckle	35' (35' at face of curb)
Minimum Lot Depth	90'
Minimum Average Lot Depth	100 feet
Maximum Footprint	45 x 60
Maximum Lot Coverage	50%
Maximum Building Height	Two and ½ stories, 35 feet
Front Yard Setback	16 feet from Property Line
Front Yard Setback (Garage: Roll up Door)	20 feet front entry; 16 feet side entry
Front Yard Setback (Garage: Non-Roll up Door)	20 feet front entry; 16 feet side entry
Front Yard Setback to Porches	12 Feet
Side Yard Setback (Interior)	5 feet adjacent to single story and/or two-story home 12 feet cumulative for adjacent two story home
Side Yard Setback (Street Side)	10 feet
Rear Yard Setback	20 feet; may be reduced to 10 feet for patios and decks.
Fireplace encroachment into side yard setback	3 feet
Building Separation	10 feet
Off-Street Parking	2-Car Garage (20 feet by 20 feet)

**R-6000**

Minimum Lot Size	6,000 square feet
Minimum Average Lot Width	60'
Minimum Lot Width at Building Setback	55' (in no case less than 55')
Minimum Lot Width on Cul-de-sac or Knuckle	35' (35' at face of curb)
Minimum Lot Depth	90'
Minimum Average Lot Depth	100'
Maximum Footprint	50 x 60
Maximum Lot Coverage	50%
Maximum Building Height	Two and ½ stories, 35 feet
Front Yard Setback	16 feet from Property Line
Front Yard Setback (Garage: Roll up Door)	20 feet front entry; 16 feet side entry
Front Yard Setback (Garage: Non-Roll up Door)	20 feet front entry; 16 feet side entry
Front Yard Setback to Porches	12 Feet
Side Yard Setback (Interior)	5 feet adjacent to single story and/or two-story home 15 feet cumulative for adjacent two story home
Side Yard Setback (Interior, one-story)	5 feet
Side Yard Setback (Interior, two-story)	5 feet minimum, 15 feet total on 2 <sup>nd</sup> floor
Side Yard Setback (Street Side)	10 feet
Rear Yard Setback	20 feet; may be reduced to 10 feet for patios and decks.
Fireplace encroachment into side yard setback	3 feet
Building Separation	10 feet
Off-Street Parking	2-Car Garage (20 feet by 20 feet)

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### R-10,000

Minimum Lot Size	10,000 square feet
Minimum Average Lot Width at Building Setback	80 feet
Minimum Width	70 feet (in no case less than 70 feet)
Minimum Lot Width on Cul-de-sac or Knuckle	35' (35' at face of curb)
Minimum Lot Size	10,000 square feet
Minimum Lot Depth	100'
Minimum Average Depth	100 feet
Maximum Footprint	60 x 60
Maximum Lot Coverage	50%
Maximum Building Height	Two and ½ stories, 35 feet
Front Yard Setback	16 feet from Property Line
Front Yard Setback (Garage: Roll up Door)	20 feet front entry; 16 feet side entry
Front Yard Setback (Garage: Non-Roll up Door)	20 feet front entry; 16 feet side entry
Front Yard Setback to porches	12 feet
Side Yard Setback (Interior)	5 feet adjacent to single story and/or two-story home 20 feet cumulative for adjacent two story home
Fireplace encroachment into side yard setback	3 feet
Side Yard Setback (Street Side)	10 feet
Rear Yard Setback	20 feet; may be reduced to 10 feet for patios and decks.
Building Separation	10 feet
Off-Street Parking	2-Car Garage (20 feet by 20 feet)

**V. GENERAL PLAN CONSISTENCY ANALYSIS**

**A. INTRODUCTION**

The Riverwoods Specific Plan Amendment has been developed to respond to the known opportunities and constraints presented by the physical and jurisdictional conditions of the site. Section III of this document discussed in detail how the Specific Plan Amendment has been designed for harmony with the various physical conditions. It is also critical that the project be in harmony with the City of Perris General Plan. Therefore, this section will evaluate the Specific Plan's Amendment compatibility with goals, policies and objectives of the City of Perris General Plan. For more detailed information, a separate EIR document was prepared for the original Riverwoods project by outside, independent consultants under the direction of City staff and is on file at the City of Perris.

**B. GENERAL PLAN GOALS AND POLICIES**

**1. Land Use Element**

The Specific Plan Amendment is located within the City of Perris. A discussion of the most applicable goals, policies and programs relating to the project follows.

**Land Use Goal**

- a. To encourage an orderly, contiguous development pattern sufficient to handle the City's expected population growth, in a manner that will preserve the City's fiscal capacity to provide the expanded public services that will be required by both its present and future residents.
- b. To assure equal opportunity for the availability of decent, affordable and sound housing units for all economic segments of the community without regard to ethnic, racial or religious background. Ensure that sufficient buildable land area, accessible to public utilities and City services, will be available for the construction of housing units needed by low and moderate income households expected to reside within the City.
- c. To provide a system of open space and recreation facilities that is adequate for the needs of the City's residents by maintaining and enhancing existing parks and facilities, as well as insuring an open space form of natural areas in conjunction with the City's future physical growth.
- d. Provide a safe and efficient network of local streets and arterial highways to provide for the efficient movement of inter-regional traffic through the region as well as providing a logical system of routes to connect the various sectors of the City and the central business district with a minimum of traffic and safety conflicts.

### Riverwoods Land Use Program

The major objective of the proposed project is to provide family-oriented single-family dwellings in a carefully design environment that will contribute to a sense of a cohesive community. The project has been designed to provide a variety of lot sizes and product types that will meet the needs of existing and future Perris residents.

In addition to the various housing types offered within Riverwoods, approximately 17.1 acres have been set aside as hillside open space that will provide passive recreational opportunities.

The Riverwoods project has been master-planned to provide a safe and efficient network of local streets and major roads that will connect to the major circulation routes in the City as shown in the Circulation Element of the Perris General Plan. The proposed circulation system will facilitate traffic within the entire region, as well as the project.

## 2. Natural Hazards and Public Safety Element

The emphasis of the City of Perris' Natural Hazards and Public Safety Element is to protect the citizens. The natural hazards and public safety element are combined into one document and share a common set of goals and policies. The project has been designed to be in conformance with the provisions of this element. Given below are the goals and the most applicable policies with related programs.

### City Drainage Goal

Approved developments shall not result in the diversion of storm runoff into adjacent properties, nor result in any undue alteration of natural drainage courses that cannot be handled by existing or proposed storm drainage and flood control improvements. Compliance with the recommendations and conditions of the Riverside County Department of Flood Control and Water Conservation shall be required prior to development approval.

### Riverwoods Drainage Program

Drainage and flood control facilities and improvements shall be provided in accordance the City of Perris requirements.

### City Noise Policy (Exterior)

Residential construction shall be strongly discouraged in those areas where exterior noise levels exceed Line 65 dB (A), especially within the March Air Force Base aircraft noise impact contours as depicted in the 1984 AICUZ Report. This report should be used as a guide in determining the appropriate type of land uses as well as appropriate noise mitigation measures to be used within these impact zones.

**Riverwoods Noise Program (Exterior)**

The Riverwoods project site is not located within an area of Perris Valley Airport where existing or projected future exterior noise levels from aircraft exceed 65 dB (A).

**City Fire Protection Policy**

Each development must prove the existence of a sufficient water supply and pressure level that is adequate for the suppression of structural fires. Required water lines and fire hydrants must be installed in accordance with the standards of the Riverside County Fire Department.

All development proposals should demonstrate an adequate fire response time and capability based upon the scale, intensity and proposed densities of the particular project.

**Riverwood Fire Protection Program**

Prior to the issuance of building permits, the applicant/developer shall provide fire protection fees in accordance with the recommendations of the adopted Public Safety Study.

Each tentative subdivision map will be submitted to the City of Perris for review and approval. During this process, the adequacy of the project regarding fire response times, as well as the capability of the City Fire Department to adequately handle the proposed development, will be demonstrated.

**City School Policy**

The two school districts that serve the Riverwoods site (i.e., the Perris School District and the Perris Union High School District) have imposed developer's fees which are required to be paid before building permits are taken out. These fees may not exceed the State of California mandated maximum amounts.

**Riverwoods School Program**

In compliance with California State Law, the developer of the Riverwoods project will pay the required school fees at the then prevailing rate.

**Infrastructure and Public Services Element**

The emphasis of the City of Perris Infrastructure and Public Services Element is to support both existing and proposed development with services which include streets, water mains, sewage collection lines and storm drain facilities.

**City Water Supply Policy**

Each lot in an approved subdivision shall be served by a public domestic water supply.

**Riverwoods Water Supply Program**

Every lot within the Riverwoods Specific Plan Amendment project area will be served by a public domestic water supply. Water supply facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department, Eastern Municipal Water District, and Regional Water Quality Control. Riverwoods will be served by the Eastern Municipal Water District.

**City Sewage Disposal Policy**

All provisions for sewage disposal within any approved land division or development project within the City of Perris shall meet the standards of the Riverside County Department of Health and the Regional Water Quality Control Board.

**Riverwoods Sewage Disposal Program**

Sewage disposal facilities shall be designed and installed in accordance with the requirements and specifications of the Riverside County Health Department, Eastern Municipal Water District, and Regional Water Quality Control. Riverwoods will be served by the Eastern Municipal Water District.

**City Circulation Policy**

Improved street access shall be provided to all new parcels in accordance with the standards of the City of Perris Circulation Element and applicable sections of the subdivision ordinance.

**Riverwoods Circulation Program**

A well-balanced circulation transportation network has been designed for the project that is adequately sized for safe and efficient movement of people and goods. Not only will the proposed roadways service the project, but the planned roadways will also expand the City's circulation system and facilitate traffic flow throughout the area.

**City Circulation Policy**

Local street patterns shall be logically related to the overall network of arterial and collector streets as provided for in the circulation network. Driveway entrances onto surrounding arterial, secondary, and major streets should be restricted in all possible instances, and through traffic on interior residential streets should be minimized.

**Riverwoods Circulation Program**

Residential neighborhoods will be accessed by local streets and will not be traversed by heavy through traffic. No private driveway access shall be permitted on Mapes Road, Ethanac Road, or River Roads.

**Environmental Resources, Conservation and Open Space Element**

The emphasis of this element is to retain open space to preserve its scenic character and to protect plant and wildlife communities. Land should also be set aside to satisfy the recreational, educational, and other public needs of the City's future population.

**City Recreational Policy**

Encourage the development of a system of community parks and recreational facilities for a recreational and open space resource for the residents of the Perris Valley Region.

**Riverwoods Recreational Program**

The Riverwoods Specific Plan Amendment proposes that approximately 17.1 acres to be set aside for a Community Park, which will provide for both passive and active recreational opportunities. In addition, the Specific Plan Amendment proposes a 2.0 acre Community Center for use by the Riverwoods residents. The Community center will include amenities such as an outdoor pool, tot lots, community building, picnic areas, and open space turf. This natural open space will add to the visual beauty and continuity of the site.

**3. Historic, Community and Scenic Resources Element**

The emphasis of the City of Perris Historic, Community and Scenic Resources Element is to preserve historical structures and districts that have particular historic value as to their architectural styles and to encourage quality design in new developments within the City of Perris.

**City Goal**

Efforts shall be made to identify and preserve any significant archaeological resources on or surrounding the site of proposed development.

**Riverwoods Program**

It is not expected that any significant archaeological resources will be found or identified within the project area. However, if archaeological resources are discovered on-site, a mitigation program, as set forth in the EIR, will be implemented.

**City Goal**

A high quality of aesthetic design should be encouraged in the development of the City's residential areas. Effective landscaping treatment should be required as a part of all new development.

**Riverwoods Program**

The Riverwoods program is planned as a cohesive community with a distinct identity. Landscaping and Architectural Guidelines have been incorporated into this Specific Plan Amendment with suggestions, standards and criteria to insure a high quality of aesthetic design. See Section IV, Design Guidelines.

**VI. PLAN IMPLEMENTATION AND ADMINISTRATION**

**A. IMPLEMENTATION OVERVIEW**

1. Applicability and Relationship to Existing City of Perris Ordinance

The City of Perris Municipal Code, 19.12.250, allows provisions for a Specific Plan Zone. The Specific Plan Amendment will act as the zoning for the subject property. For this reason, detailed regulations and standards, which will govern future development of this site, are included within this Specific Plan. Those sections of the City's Zoning Code that are general or procedural in nature and pertaining to all other projects or zones in the City shall remain in force for Riverwoods. Except as specifically referenced herein, no other provisions of the City's Zoning Ordinance shall apply.

**B. REGULATIONS AND STANDARDS FOR DEVELOPMENT**

1. General Notes

- a) Whenever the provisions contained herein conflict with those contained in the City Codes, the provisions of the Riverwoods Specific Plan Amendment document shall take precedence.
- b) When any issue, condition, situation arises or occurs that is not covered by or provided for by these Regulations and Standards for Development, those provisions provided by the City Codes that are most applicable for the most similar issue, condition, or situation, as determined by the Planning Director or designee, shall apply.
- c) Grading shall be permitted outside of the area of immediate development when it is consistent with an approved grading plan. Stockpile and borrow sites may be permitted within areas scheduled for future development, subject to an approved grading plan. Grading permits shall be authorized for issuance concurrent with or following the approved process of a Subdivision map, Conditional Use Permit, or a Development Plan review.
- d) Building setback requirements may be reduced if it is consistent with the Specific Plan Amendment goals and policies as determined by the Planning Director or designee.
- e) Only the general boundary alignments and residential acreage figures of the individual land use areas are shown in Figures 4 through 13. The precise boundaries and acreage's will be determined during the tentative map preparation.
- f) Planning area boundaries may be modified with the approval of the Planning Director or designee as an administrative approval.
- g) The Master Developer shall be permitted to construct one or more project information centers which shall be used to inform and direct home buyers to developments under construction or for sale or rent. Offices necessary

for the operation of the information center shall be permitted. The Master Developer shall obtain approval from the Planning Director or designee prior to the issuance of a building permit to construct an information center.

- h) The transfer of residential density from one Residential Planning Area to another Residential Planning Area or District, is permitted based upon the provisions listed below. Any revisions to Planning Areas as shown in Figures 5 through 14 and/or Tables 1 and 2, made in accordance with the provisions listed below do not require an amendment to the Riverwoods Specific Plan Amendment.
- Transfer of densities may be approved to add or reduce the number of units within any Planning Area as shown in Figures 5 through 14 and Tables 1 and 2.
  - In no case will the minimum lot size be less than 5,000 sq. ft. for detached single family dwellings within the project.
  - Residential density may be transferred from any Residential Planning Area to any other Residential Planning Area either within the same District or between Districts, regardless of Planning Area location or residential land use category.
  - The permitted density within any Planning Area need not be evenly distributed to all subdivisions which comprise the Planning Area.
  - A density transfer allows for any residential land use category to be developed within any given Residential Planning Area.
  - Applications for Density Transfer shall be made in writing to the Planning Director or designee and shall include the following:
    - Location of Planning Areas or District designations
    - The number of units to be transferred
    - A calculation for each Planning Area or District showing the approved current number of target units, the number of target units if the transfer is approved and the percentage increase and decrease.
    - The signature of all property owners involved.

## Riverwoods Specific Plan Amendment

- The Planning Director or designee shall review and approve the Density Transfer Application if it meets the provisions stated in this section. If so, the application for Density Transfer shall be reviewed and acted upon within 60 calendar days upon receipt of the application in writing. In the event the application is not acted upon in 60 calendar days, the application shall be deemed approved as submitted unless extended by mutual agreement of the reviewing authority and the developer.
  
- The Planning Director shall approve the Density Transfer if the following conditions are met:
  - The overall goals of the Specific Plan Amendment are maintained.
  - The full range of housing stock remains available.
  - Community facilities such as the school and park can accommodate the additional units in the affected area.
  - Infrastructure facilities such as roads, sewer, and water can accommodate the additional units in the affected area.
  - The proposed densities are compatible with existing land use designations.
  - There are no changes to the affected areas which require the preparation of additional environmental documentation.
  
- Any transfer of density to a non-residential planning area shall only be permitted with approval of a Specific Plan Amendment with the exception of a transfer to Planning Area 2 (Elementary School Site). If the City of Perris School District is not interested in using Planning Area 2, then the school site shall be converted to residential uses (R-6,000 or multi-family) provided that all the following are met: 1) The school district has indicated in writing that they are no longer interested in using Planning Area 2 as a school site; and 2) The entire project does not exceed 750 residential units.

2. Residential Development Standards

a. R-10,000 Residential Development Standards (Planning Area 9)

1) Land Use

Those portions of the Riverwoods Specific Plan Amendment project area that are designated for R-10,000 residential areas, Planning Area 10, may contain conventional single-family detached homes on minimum square foot lots. This density will allow for the development of 68 dwelling units on approximately 27.1 acres. Site design is the result of thoughtful planning so that the completed dwellings complement, rather than detract from the natural visual quality of the surrounding area.

2) Permitted Uses

The following uses are permitted in all areas of the Riverwoods Specific Plan project that are designated for R-10,000 development:

- o Permanent one-family dwellings.
- o Temporary real estate tract offices and on-site sales facilities located within a subdivision, to be used only during the original sale of the subdivision, but not to exceed a period of 5 years in any event. Temporary real estate tract offices will be required to have a minor development plan.

3) Accessory Uses Permitted

- o All accessory uses customarily incidental to the foregoing permitted uses and not used or operated commercially, including, but not limited to the following:
  - Directional and informational signs.
  - Fences and/or walls.
  - Flags, banners and flag poles to be used in conjunction with temporary sales offices only and not to exceed 30 feet in height.
  - Garages and/or carports.
  - Patio covers.
  - Trellis structures and arbors.
  - Non-commercial keeping of pets, excluding large animals, which are readily classifiable as being customarily incidental and accessory to a permitted principal residential uses.
  - Home occupations subject to City restrictions and/or permits (as described in Section 19.20.020 of the City of Perris Zoning Code).

4) Design Criteria

- In the R-10,000 residential area, one- and two-story homes shall be permitted. No lot shall be smaller than R-10,000 square feet.
- Each dwelling unit in the R-10,000 residential area shall have a minimum living area of 1,250 square feet, exclusive of garages and porches, either covered or uncovered.
- Physical design of buildings, walls or fencing, lighting and landscaping shall achieve consistency in the use of materials, color texture, height and bulk.
- Building design techniques which maximize family and functional privacy should be utilized whenever possible.
- Street signs and community directional signs shall be consistent with the character of the community and in terms of size, color and materials.
- Roadway planting should be consistent with the street trees and special accent trees as listed in Section IV, Design Guidelines or this Specific Plan Amendment. All plantings should be designed to complement neighborhood architectural styles.
- Front yard landscaping shall include at least one (1) 15-gallon street tree to be installed by the builder. Trees should be selected to reinforce the neighborhood landscape theme.
- A development review application shall be submitted to the Department of Community Development in the City of Perris for all tentative subdivision maps within the Riverwoods Specific Plan Amendment project area.

5) Site Development Standards

- Building height shall not, in any event, exceed a maximum of 35 feet, two and one-half stories.
- In no case shall any lot be less than 10,000 square feet.
- Minimum front yard set back shall be: 1) 16 Ft. to dwelling; 2) 16 Ft. to side-entry garage wall; 3) 20 Ft. to Front-entry garage door; and 4) 12 Ft. to porches.
- Minimum side yard setback shall be 10 feet to dwelling. Fireplaces and chimneys may intrude into the side yard setback. The minimum separation between buildings shall be 10 ft.

- Minimum rear yard setback shall be not less than 20 feet average as measured from the edge of the proposed future roadway right-of-way or the adjacent lot line. Construction of accessory uses such as patios and decks may extend to within 10 feet of the rear property line.
- Minimum lot width shall be 70 feet at the street right-of-way line, except on cul-de-sacs where the minimum lot frontage shall be 35 feet at the face of curb.
- Maximum lot coverage on any lot shall not exceed 50 percent.
- Minimum lot depth shall be not less than 100 feet.
- Fencing and walls shall be designed according to the standards and guidelines as set forth in Section IV, Design Guidelines.
- Off-street parking consisting of at least a two-car garage with a minimum of 400 square feet will be provided for each dwelling.

b. R-6,000 Residential Development Standards (Planning Areas 4 and 6)

1) Land Use

Those portions of the Riverwoods Specific Plan project area that are designated for R-6000 residential areas may contain conventional single-family detached homes on minimum 6,000 square foot lots. This density will allow for the development of 255 dwelling units on approximately 57.1 acres. Site design is the result of thoughtful planning so that the completed dwellings complement, rather than detract from, the natural visual quality of the surrounding area.

2) Permitted Uses

The following uses are permitted in all areas of the Riverwoods Specific Plan Amendment project that are designated for R-6000 development:

- Permanent one-family dwellings.
- Temporary real estate tract offices and on-site sales facilities located within a subdivision, to be used only during the original sale of the subdivision, but not to exceed a period of 5 years in any event. Temporary real estate tract offices will be required to have a minor development plan.

3) Accessory Uses Permitted

- All accessory uses customarily incidental to the foregoing permitted uses and not used or operated commercially, including, but not limited to, the following:
- Directional and information signs.
- Fences and/or walls.
- Flags, banners and flag poles to be used in conjunction with temporary sales offices only and not to exceed 30 feet in height.
- Garages and/or carports.
- Patio covers.
- Trellis structures and arbors.
- Non-commercial keeping of pets, excluding large animals, which are readily classifiable as being customarily incidental and accessory to a permitted principal residential uses.
- Home occupations subject to City restraints and/or permit (as described in Section 19.20.020 of the City of Perris Zoning Code).

4) Design Criteria

- In the R-6000 residential area, one- and two-story homes shall be permitted. No lots shall be smaller than 6,000 square feet.
- Each dwelling unit in the R-6000 residential area shall have a minimum living area shall have a minimum living area of 1,200 square feet, exclusive of garages and porches, either covered or uncovered.
- Physical design of building, walls or fencing, lighting and landscaping shall achieve consistency in the use of materials, color texture, height and bulk.
- Building design techniques which maximize family and functional privacy should be utilized whenever possible.
- Street signs and community directional signs shall be consistent with the character of the community and in terms of size, color and materials.
- Roadway planting should be consistent with the street trees and special accent trees listed in Section IV, Design Guidelines of this Specific Plan. All plantings should be designed to complement neighborhood architectural styles.

- Front yard landscaping shall include at least one (1) 15-gallon street tree to be installed by the builder. Trees should be selected to reinforce the neighborhood landscape theme.
- A development review application shall be submitted to the Department of Community Development in the City of Perris for all tentative subdivision maps within the Riverwoods Specific Plan project area.

5) Site Development Standards

- Building height shall not, in any event, exceed a maximum of 25 feet, two and one-half stories.
- In no case shall any lot be less than 6,000 square feet.
- Minimum front yard set back shall be: 1) 16 Ft. to dwelling; 2) 16 Ft. to side-entry garage wall; 3) 20 Ft. to Front-entry garage door; and 4) 12 Ft. to porches.
- Minimum side yard setback shall be 10 feet to dwelling Fireplaces and chimneys may intrude into the side yard setback. The minimum separation between buildings shall be 10 ft.
- Minimum rear yard setback shall be not less than 20 feet average as measured from the edge of the proposed future right-of-way or the adjacent lot line. Constructions of accessory uses such as patios and decks may extend to within 10 feet of the rear property lines.
- Minimum lot width shall be 55 feet at the street right-of-way line, except on cul-de-sacs where the minimum lot frontage shall be 35 feet at the face of curb.
- Minimum lot coverage on any lot shall not exceed 50 percent.
- Minimum lot depth shall be not less than 90 feet.
- Fencing and walls shall be designed according to the standards and guidelines as set forth in Section IV, Design Guidelines.
- Off-street parking consisting of at least a two-car garage with a minimum of 400 square feet will be provided for each dwelling.

c. R-5,000 Residential Development Standards (Planning Areas 1 and 5)

1) Land Use

Those portions of the Riverwoods Specific Plan project area that are designated for R-5,000 residential areas will contain conventional single-

family detached homes and patio homes on minimum 5,000 square foot lots. This density will allow for the development of 373 dwelling units on approximately 75.4 acres. Site design is the result of thoughtful planning so that the completed dwellings complement, rather than detract from, the natural visual quality of the surrounding area.

### 2) Permitted Uses

The following uses are permitted in all areas of the Riverwoods Specific Plan project that are designated for R-5,000 development:

- Permanent one-family dwellings.
- Temporary real estate tract offices and on-site sales facilities located within a subdivision, to be used only during the original sale of the subdivision, but not to exceed a period of 5 years in any event. Temporary real estate tract offices will be required to have a minor development plan.

### 3) Accessory Uses Permitted

- All accessory uses customarily incidental to the foregoing permitted uses and not used or operated commercially, including, but not limited to the following:
  - Directional and information signs.
  - Fences and/or walls.
  - Flags, banners and flag poles to be used in conjunction with temporary sales offices only and not to exceed 30 feet in height garages and/or carports.
  - Patio covers.
  - Trellis structures and arbors.
  - Non-commercial keeping of pets, excluding large animals, which are readily classifiable as being customarily incidental and accessory to a permitted principal residential use.
  - Home occupations subject to City restrictions and/or permits (as described in Section 19.20.020 of the City of Perris Zoning Code).

### 4) Design Criteria

- In the R-5,000 residential area, one- and two-story homes shall be permitted. No lot shall be smaller than 5,000 square feet.

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- Each dwelling unit in the R-5,000 residential area shall have a minimum living area of 1,100 square feet, exclusive of garages and porches, either covered or uncovered.
  - Physical design of buildings, walls or fencing, lighting and landscaping shall achieve consistency in the use of materials, color texture, height and bulk.
  - Building design techniques which maximize family and functional privacy should be utilized whenever possible.
  - Street signs and community directional signs shall be consistent with the character of the community and in terms of size, color and materials.
  - Roadway planting should be consistent with the street trees and special accent trees as listed in Section IV, Design Guidelines of this Specific Plan. All plantings should be designed to complement neighborhood architectural styles.
  - Front yard landscaping shall include at least one (1) 15-gallon street tree to be installed by the builder. Trees should be selected to reinforce the neighborhood landscape theme.
  - A development review application shall be submitted to the Department of Community Development in the City of Perris for all tentative subdivision maps within the Riverwoods Specific Plan Amendment project area.
- 5) Site Development Standards
- Building height shall not, in any event, exceed a maximum of 35 feet, two and one-half stories.
  - In no case shall any lot be less than 5,000 square feet.
  - Minimum front yard set back shall be: 1) 16 Ft. to dwelling; 2) 16 Ft. to side-entry garage wall; 3) 20 Ft. to Front-entry garage door; and 4) 12 Ft. to porches.
  - Minimum side yard setback shall be 10 feet to dwelling Fireplaces and chimneys may intrude into the side yard setback. The minimum separation between buildings shall be 10 ft.
  - Minimum rear yard setback shall be not less than 20 feet average as measured from the edge of the proposed future roadway right-of-way or the adjacent lot line. Construction of accessory uses such as patios and decks may extend to within 10 feet of the rear property line.

- Minimum lot width shall be 50 feet at the street right-of-way line, except on cul-de-sacs where the minimum lot frontage shall be 35 feet at the face of curb.
- Maximum lot coverage on any lot shall not exceed 50 percent.
- Minimum lot depth shall be not less than 90 feet.
- Fencing and walls shall be designed according to the standards and guidelines as set forth in Section IV, Design Guidelines.
- Off-street parking consisting of at least a two-car garage with a minimum of 400 square feet will be provided for each dwelling.

3. Park and Open Space Development Standards (Planning Areas 3 and 8)

a. Land Use

Planning Area 3 is an 11.7+ acre community park site. The Riverwoods project will deliver active park amenities in Phase 1 with all park improvements completed prior to the granting of the final building permit. Actual phasing and delivery of park amenities shall be subject to a Parks Agreement with the City of Perris. Said agreement shall be in effect prior to final map recordation. It is contemplated that the park amenities will be developer constructed with costs credited against park fees.

Prior to final approval of the San Jacinto River Plan, no significant grading or hardened improvements shall be permitted within 500 feet from the center line of San Jacinto River. The design of the proposed Community Park shall be revised to allow only passive recreational uses in this area, with more active amenities located in the northeasterly portion of the park site. If the mitigation corridor is reduced from the proposed 500 feet, the applicant shall expand the improved park site to the parameters set forth in the approved San Jacinto River Plan.

Open Space (OS) is intended to maintain the existing natural open space along the western portion of the project boundary west of the Community Center within Planning Area 8.

b. Permitted Uses

The following uses are permitted in all areas of the Riverwoods Specific Plan Amendment project area that are designated for park development:

- Parks, recreation areas (Planning Area 3) and open space (Planning Area 8).
- Drainage, water, sewer and utility infrastructure.

c. Site Development Standards

- Signs shall not be erected prior to obtaining City approval.

- No fence, wall or other type of screening shall be erected in recreational areas prior to obtaining City approval.

4. Elementary School Development Standards (Planning 2)

a. Land Use

The purpose of this district is to facilitate the construction of an Elementary School site.

b. Permitted Uses

Planning Area 2 shall be designated as an Elementary School site. If the School District decides that a school site is not needed within the project site, then the school site shall be converted to residential uses (R-6,000 for single family or R-14 for multi-family) provided that all the following are met: 1) The school district has indicated in writing that they are no longer interested in using Planning Area 2 as a school site; 2) The entire project does not exceed 750 residential units.

c. Site Development Standards

- Signs shall not be erected prior to obtaining City approval.
- No fence, wall or other type of screening shall be erected in Planning Area 2 prior to obtaining City approval.

5. Community Center Development Standards

a. Land Use

b. Permitted Uses

The following uses are permitted in all areas of the Riverwoods Specific Plan Amendment project area that are designated for the Community Center:

- Community Center Building
- Pool, spa, gazebo, fireplace
- Children's play area
- Parking
- Open Lawn
- Community Plaza
- Round-a-bout

c. Site Development Standards

- Signs shall not be erected prior to obtaining City approval.
- No fence, wall or other type of screening shall be erected in recreational areas prior to obtaining City approval.

**C. DEVELOPMENT APPROVAL PROCESS**

Following or concurrent with approval of this Specific Plan Amendment, subdivision maps will be filed, reviewed and approved by the City of Perris. The City's process of reviewing these maps is facilitated by inclusion of development standards within this Specific Plan Amendment document. The Director of Planning and Community Development will be responsible for determining what plans are in substantial compliance with the Specific Plan Amendment. Changes in street alignments to provide better circulation or reallocation of dwelling units among the planning areas will be permitted without amending this Specific Plan Amendment.

A development review application shall be required for submittal to the Department of Community Development in the City of Perris for all tentative subdivision maps within the Riverwoods Specific Plan Amendment project areas.

**D. SPECIFIC PLAN AMENDMENT PROCESS**

In accordance with the California Government Code Sections 65453 – 65454, Specific Plans shall be prepared, adopted and amended in the same manner as General Plans, except that Specific Plans may be adopted by resolution or by ordinance. This Plan may be amended as necessary in the same manner it was adopted, by ordinance. Said amendment or amendments shall not require a concurrent General Plan amendment unless it is determined by City staff that the proposed amendment would substantially affect the General Plan Goals, objectives, policies or programs. An environmental assessment form shall accompany the proposed amendment, but it is presumed that the master Environmental Impact Report (EIR) approved for the project area includes all future development for the Specific Plan Amendment. If further environmental documentation were required, in special cases, it would be a very focused analysis and action as documents in Section 15162 – 15182 of the CEQA guidelines.

**A. Minor Modifications**

Minor modifications to the Specific Plan Amendment are allowed at the discretion of the Planning Director or designee. Modification to the Specific Plan Amendment shall be consistent with the purpose and intent of the originally approved Specific Plan and Specific Plan Amendment. All modifications and /or amendments to the approved Specific Plan and the Specific Plan Amendment, other than minor changes, are to be processed as a Specific Plan Amendment.

**B. Changes That Do Not Require a Specific Plan Amendment**

Changes that do not require a Specific Plan Amendment shall include the following:

- The transfer of dwelling units from one Planning Area or District to another Planning Area or District or within a single Planning Area, while maintaining the maximum overall dwelling unit number.

- The addition of new information to the Specific Plan Amendment exhibits or text that does not change the effect of any regulation. The new information may include more detailed, site-specific information. If this information demonstrates that Planning Area boundaries are inaccurately designated, based upon the Goals of the Specific Plan, said boundaries may be adjusted or designated to reflect a more accurate depiction of on-site conditions, without requiring a Specific Plan Amendment.
- Changes to the community infrastructure such as drainage systems, roads, water and sewer systems, etc., which do not have the effect of increasing or decreasing capacity in the project area beyond the specified density range nor increase the backbone infrastructure, construction or maintenance costs.
- The development of Residential (R-6,000) in Planning Area 2. If the City of Perris School District is not interested in using Planning Area 2, then the school site shall be converted to residential uses (R-6000, R-7000 or R-14000) provided that all the following are met: 1) The school district has indicated in writing that they are no longer interested in using Planning Area 2 as a school site; and 2) The entire project does not exceed 750 residential units.

**C. Administrative Changes to the Specific Plan Amendment**

Administrative changes to the Specific Plan Amendment may be permitted if certain detail changes are appropriate in the Riverwoods Specific Plan Amendment provide a certain degree of flexibility with respect to the details of project developments well as those items in general terms in the Specific Plan Amendment. If and when it is determined that changes and/or adjustments are necessary or appropriate, these changes and/or adjustments shall be made as an administrative procedural approval by the Planning Director of designee. After such administrative change has been approved, it shall be attached to the Specific Plan Amendment as an addendum, and may be further changed or amended from time to time as necessary. Any such administrative changes do not require a Specific Plan Amendment.

**E. RELATIONSHIP TO EIR FOR SUBSEQUENT APPROVALS**

In accordance with the provisions of sections 6547(a) of the California Government Code, no environmental impact report or negative declaration need be filed pursuant to Division 13 (commencing with Section 21000) of the California Public Resources Code, for any residential project including any subdivision or Planning Area change, which is undertaken pursuant to and in conformity with the Riverwoods Specific Plan Amendment. A residential project is any development proposal which will result exclusively in the construction of housing and ancillary uses.

**F. FINANCING MECHANISMS**

The major infrastructure and facilities within the Riverwoods Specific Plan Amendment area and off site areas will be financed through appropriate funding mechanisms acceptable to the City of Perris. However, the developer shall ultimately be responsible for all fair share costs associated with implementing the project including but not limited to the cost to provide infrastructure and to comply with all mitigation measures, Conditions of Approval, and other requirements of the project.

Different financing strategies may be utilized to fund other public facility improvements specified by the Specific Plan Amendment. The scope of financing options will vary depending upon the entity responsible for the facility including Private and/or Developer Financing or Construction; Community Facilities District(s); the application of funds from City, County, State and other agency programs; Development Impact Fees, General Fund Revenue, Gas Taxes Redevelopment Funds, Federal State and Local Grant Funding, and Infrastructure Financing Districts and/or other financing mechanism accepted by the City.

The City, developer and builders will cooperate to ensure that the public facilities are built in accordance with all requirements as established in the Specific Plan Amendment. A Development Agreement, or other similar documents, together with the conditions of approval, may be used to facilitate this process.

**G. MAINTENANCE ASSOCIATIONS**

The creation and successful operation of a maintenance assessment district is an important factor in maintaining the aesthetic quality of the project. It is anticipated that maintenance responsibilities may be divided among a Master Homeowners Association, Neighborhood Associations, Community Facilities District (CFD) and/or other maintenance mechanisms. See Table 5 "Maintenance Plan" for final decisions regarding maintenance entities will be made at a future stage of project design review and in concert with the City of Perris.

**A. Master Homeowners Association**

Common areas identified within the Specific Plan Amendment shall be owned and maintained by a permanent public or private maintenance organization to assume ownership and maintenance responsibility for all common recreation areas, open space, circulation systems, landscape easements and landscaped areas. Areas of responsibility may include open space, fuel modification zone, HOA recreation facility, Community Center, landscaped entryways, and landscaped areas along the project roadways.

**B. Residential Neighborhood Associations**

In certain residential areas of the project, smaller associations may be created to provide maintenance responsibility for common areas and facilities that benefit only residents who reside in the immediate area.

**C. Open Space and Parks**

The Community Park (Planning Area 3) may not be directly associated with a particular neighborhood, and shall be the responsibility of a City-wide landscape district, Parks and Recreational districts, or a public facilities maintenance district. Planning Area 8 may be dedicated to an appropriate open space conservation organization for ownership and maintenance responsibilities.

**D. Project Roadways**

All public roadways, private streets, landscape parkways, and improvements shown in Table 5, shall be designed and constructed to standards as accepted by the City of Perris. All public roadways will be incorporated into the City of Perris system of roads for operation and maintenance as approved by the City.

**E. Schools**

It is planned that maintenance responsibilities of the school site will be the responsibility of the City of Perris School District. In the event the School District is not interested in using Planning Area 2 as a school site, then Planning Area 2 shall revert to R-6,000, R-7,000 or R-14000 with a maximum of 750 residential dwelling units within the project.

**F. Water and Sewer**

All public water and sewer lines will be designed and constructed to the standards as accepted by the EMWD. Water and Sewer lines will be provided as illustrated in Figures 22 and 23.

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**TABLE 5  
MAINTENANCE PLAN**

	HOA	PRIVATE COMMERCIAL OWNER	CFD	CITY OF PERRIS	Public Utility	RCFCD	EMWD	APPROPRIATE SCHOOL
Landscape Parkways				X				
Street Lighting				X				
Public Streets			X	X				
Sidewalks & Hardscape			X	X				
Storm Drains (in Roads)				X		X		
Public Sewer							X	
Public Water							X	
Project Signage	X		X					
Community Park				X				
Common Rec. Area	X							
Fuel Modification Zone	X							
School Site								X