

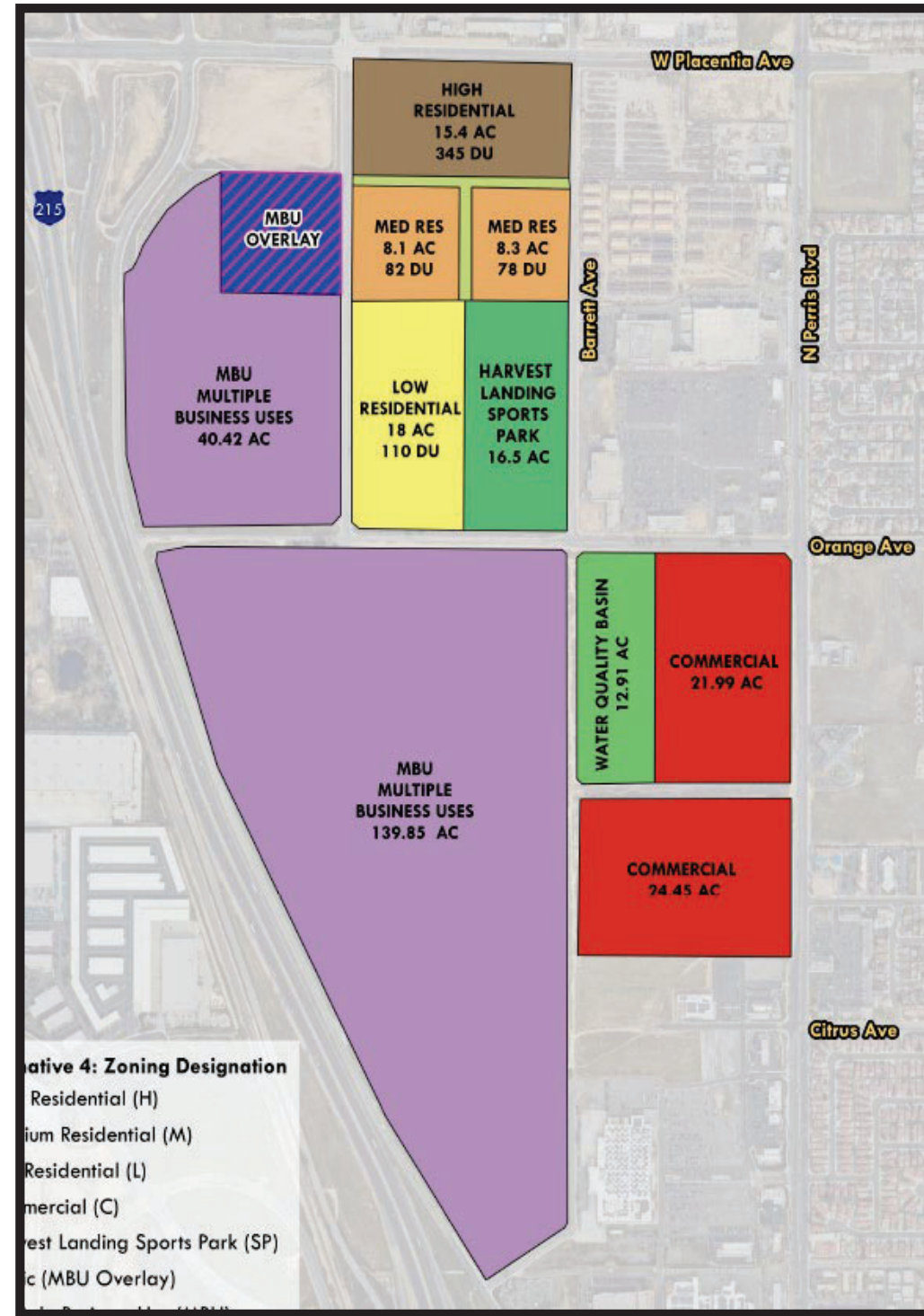
HARVEST LANDING PROJECT - PROJECT LOOKBOOK



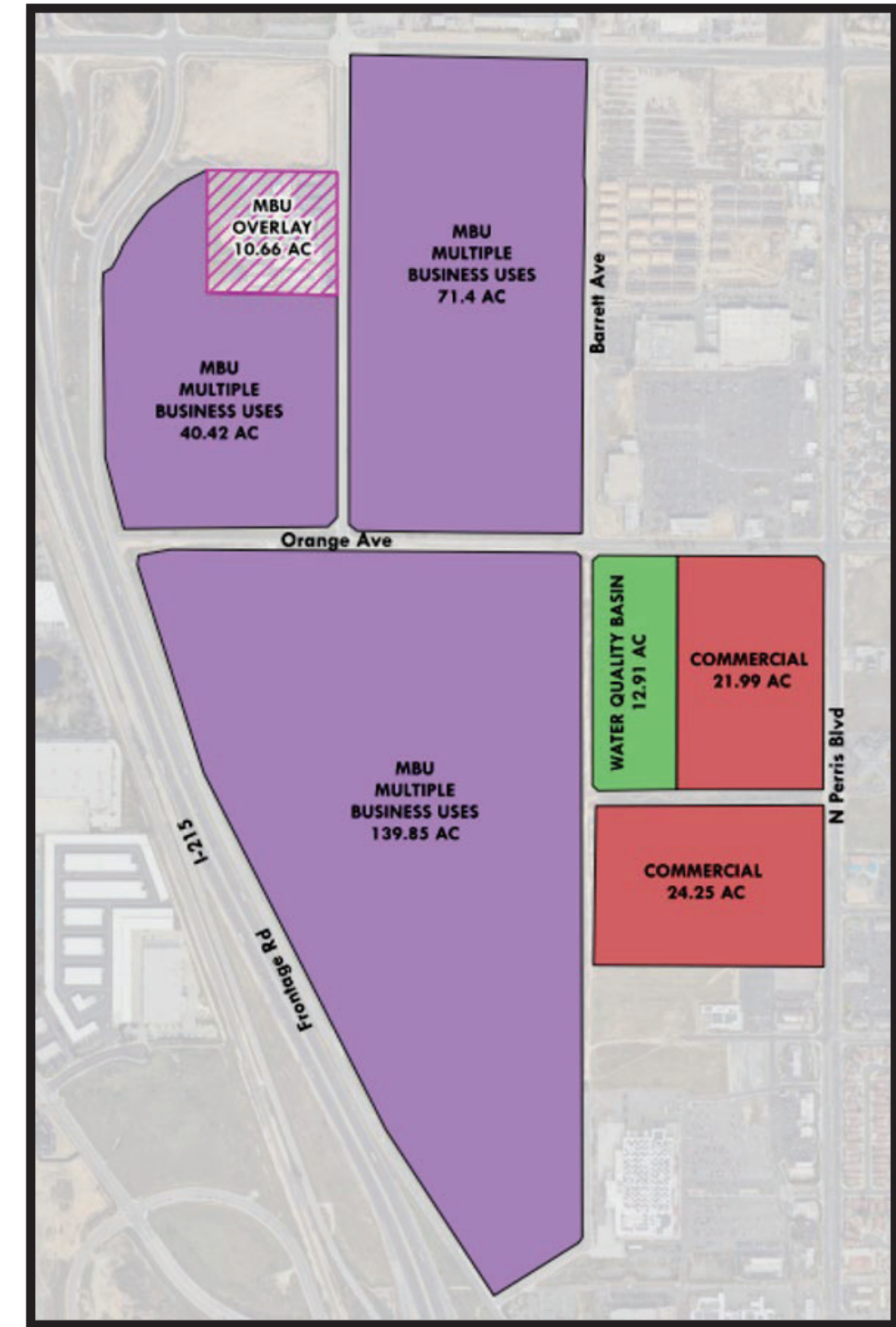
Existing Land Use



Alternative 4 from EIR



Proposed Land Use





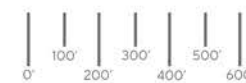
LAND USE AREAS	
MBU (MULTIPLE BUSINESS USE)	= 251.72 AC
COMM (COMMERCIAL)	= 46.49 AC
WATER QUALITY BASIN	= 12.91 AC
ROADS	= 36.50 AC
TOTAL SPA	= 347.62 AC
OVERLAY	= 10.66 AC
TOTAL WITH OVERLAY	= 358.28 AC



HARVEST LANDING RETAIL CENTER & BUSINESS PARK

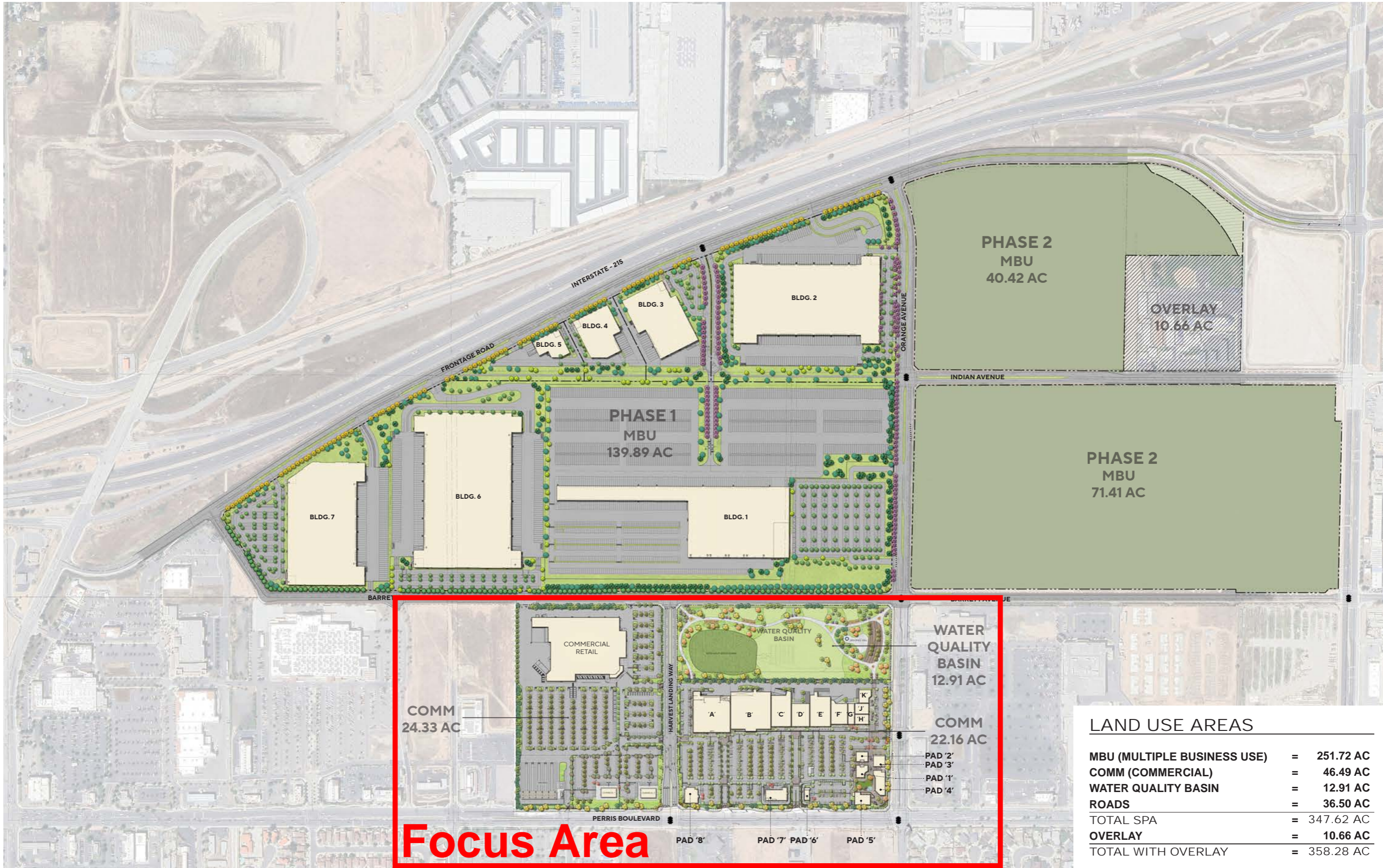
PERRIS, CA

CONCEPTUAL MASTER PLAN



A1

Scale: 1" = 200'
Job No: 2020-392
Date: 2025-10-29



LAND USE AREAS

MBU (MULTIPLE BUSINESS USE)	=	251.72 AC
COMM (COMMERCIAL)	=	46.49 AC
WATER QUALITY BASIN	=	12.91 AC
ROADS	=	36.50 AC
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HARVEST LANDING RETAIL CENTER & BUSINESS PARK

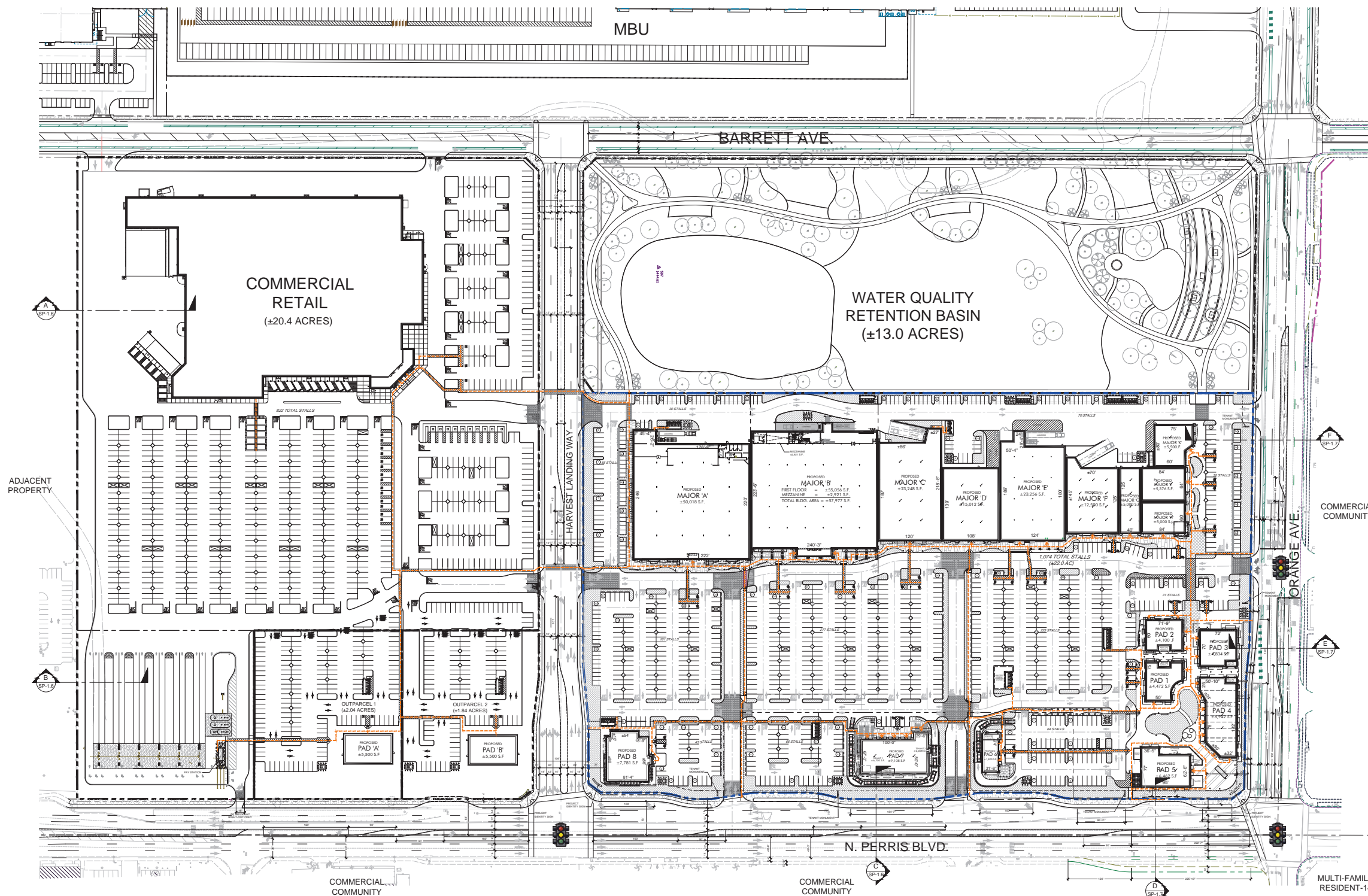
PERRIS, CA

CONCEPTUAL MASTER PLAN



A1

Scale 1" = 200'
Job No. 2020-392
Date 2025-10-29



LEGEND

- PROPOSED SITE AREA (±22.0 AC)
- NEW BUILDING
- NEW PLANTER AREA. SEE LANDSCAPE PLANS.
- HANDICAP INDICATION PATH OF TRAVEL
- CART CORRAL
NOTE: ALL CART CORRALS VISIBLE FROM ADJACENT ROADWAYS MUST BE ENCLOSED AND DECORATED IN MATERIALS AND COLORS COMPLIMENTARY TO COMMERCIAL/RETAIL BUILDINGS.

OVERALL SITE PLAN
SCALE: 1" = 80'-0"

GRAPHIC SCALE
0 40 80 160 240
1 inch = 80 feet

NOTE:
See Sheet T100 for proposed building and parking summary.
See Sheet SP-1.6 & SP-1.7 for site sections.

PRELIMINARY SITE PLAN SUBJECT TO CHANGE.
PROPERTY LINES ARE BASED ON CAD DRAWINGS PROVIDED BY CLIENT, PREPARED BY FMCIVIL ENGINEERS INC. RECEIVED FROM CLIENT 06.06.2023.

HIP So-Cal Properties LLC
2244 N. Pacific Street
Orange, CA 92865
TEL. (714) 637-3333



AZURE DEVELOPMENT CO.
944 South Greenwood Avenue
Montebello, CA 90640
TEL. (310) 467-7408

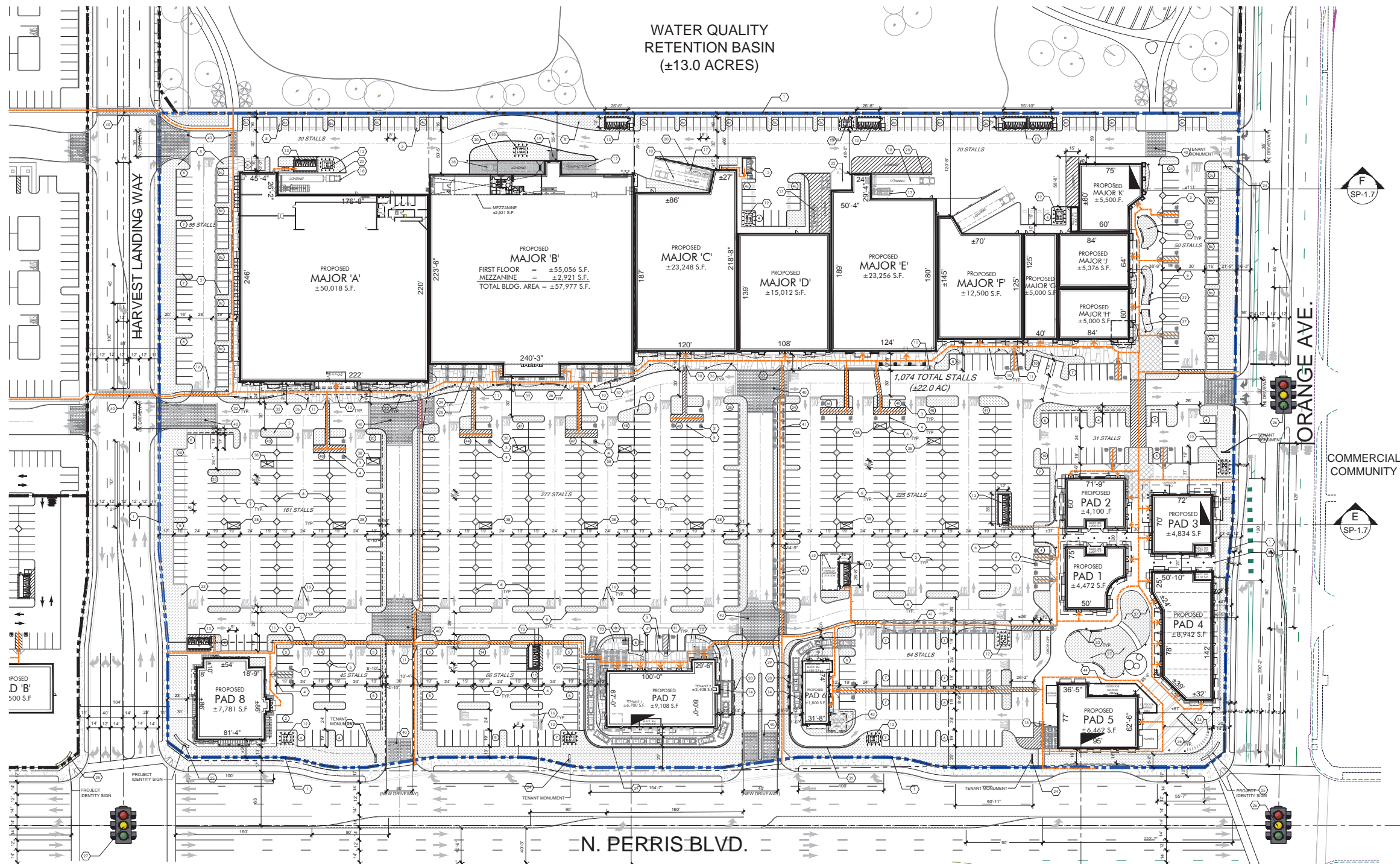


Harvest Landing Retail Center & Business Park
SWC Perris Blvd. & Orange Ave., Perris CA 92571

PROPOSED SITE PLAN
22161MMA | 10.29.2025
SP-1

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KEY NOTES	
1	PROPOSED BOUNDARY LINE
2	NEW STRIPING
3	NEW PAINTED DISABLED SYMBOL
4	NEW DISABLED SIGN
5	NEW PLANTER
6	NEW 6' x 6' DIAMOND PLANTER
7	NEW CURB
8	NEW SHORT TERM BIKE RACKS
9	NEW LONG TERM BIKE STORAGE
10	NEW CONCRETE PAVING. ACID WASH FINISH, SAW CUT LINES. COLOR: NATURAL GRAY
11	NEW RAMP WITH TRUNCATED DOME
12	NEW TRANSFORMER
13	NEW TRASH ENCLOSURE WITH ROOF
14	NEW DRIVE-THRU WINDOW
15	NEW CLEARANCE BAR
16	NEW DIRECTIONAL ARROW
17	NEW COMPACTOR
18	NEW DEPRESSED LOADING DOCK
19	NEW BALE SCISSOR LIFT WITH 8' x 10' CONCRETE PAD
20	NEW LOW WALL FOR LOADING AREA
21	NEW METAL RAILING
22	NEW SUSTAINABILITY FENCED AREA
23	SETBACK LINE
24	TENANT MONUMENT SIGN
25	PROJECT IDENTITY SIGN
26	EXISTING TRAFFIC LIGHTS
27	PROPOSED TRAFFIC LIGHTS
28	NEW PORTE COCHERE
29	NEW TRELIS COLUMN
30	NEW PARKING LOT LIGHTING STANDARD
31	PROPOSED WATER TOWER
32	PROPOSED STONE SEAT WALL
33	PROPOSED BENCH
34	PROPOSED CANTILEVER METAL TRELIS
35	PROPOSED METAL GABLE TRELIS
36	PROPOSED PEDESTRIAN LIGHTING
37	PROPOSED GRASS AREA LANDSCAPE
38	PROPOSED CART CORRAL
39	PROPOSED MIN. OF THREE-FOOT TALL DECORATIVE PONY WALL ALONG THE DRIVE-THROUGH LANE.
40	PROPOSED ENHANCED PAVEMENT
41	PROPOSED DECORATIVE TRELIS AT PEDESTRIAN WALKWAY
42	ELECTRIC VEHICLE CHARGING EQUIPMENT
43	PROPOSED ROOF DECK
44	PROPOSED TRELIS WITH RETRACTABLE SHADE

LEGEND	
	PROPOSED SITE AREA (±22.0 AC)
	NEW BUILDING
	NEW PLANTER AREA. SEE LANDSCAPE PLANS.
	HANDICAP INDICATION PATH OF TRAVEL
	CART CORRAL NOTE: ALL CART CORRALS VISIBLE FROM ADJACENT ROADWAYS MUST BE ENCLOSED AND DECORATED IN MATERIALS AND COLORS COMPLEMENTARY TO COMMERCIAL/RETAIL BUILDINGS.

ENLARGED SITE PLAN
SCALE: 1" = 50'-0"



NOTE:
See Sheet T100 for proposed building and parking summary.

PRELIMINARY SITE PLAN SUBJECT TO CHANGE.
PROPERTY LINES ARE BASED ON CAD DRAWINGS
PROVIDED BY CLIENT, PREPARED BY FMCIVIL
ENGINEERS INC. RECEIVED FROM CLIENT 06.06.2023.

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Harvest Landing Retail Center & Business Park
SWC Perris Blvd. & Orange Ave., Perris CA 92571

ENLARGED SITE PLAN

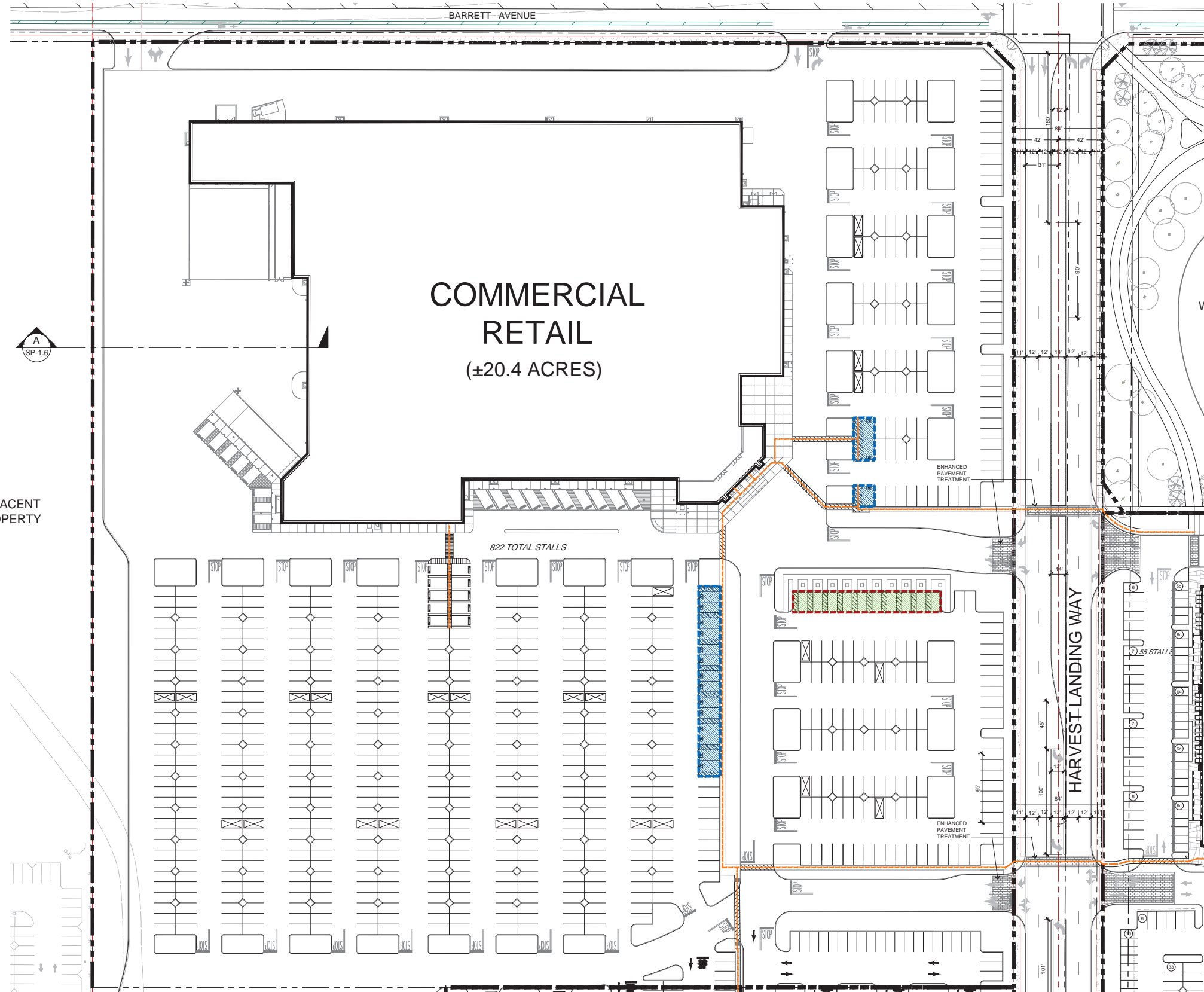
22161MMA | 06.03.2025

SP-1.1

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**COMMERCIAL
RETAIL**
(±20.4 ACRES)

822 TOTAL STALLS

HARVEST LANDING WAY

WATER QUALITY
RETENTION
BASIN

ADJACENT
PROPERTY

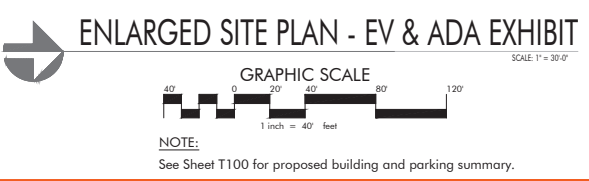
COMMERCIAL/
RETAIL

LEGEND (ADDITIONAL)

	EV PARKING FOR CURRENT PROJECT HAS BEEN BASED ON CBC 2022 AND WILL BE PROVIDING 10 TOTAL LEVEL 3 CHARGERS
	MAIN ADA PARKING PROVIDED TO BE AS CLOSE TO THE BUILDINGS. TOTAL OF 17 ACCESSIBLE SPACES REQUIRED. TOTAL OF 17 ACCESSIBLE SPACES TO BE PROVIDED PER CBC 2022, TABLE 11B-208.2 OF WHICH 3 ARE VAN ACCESSIBLE STALLS.

PARKING PROVIDED

STANDARD:	(9'-0" x 19'-0")	795 STALLS
STANDARD ACCESSIBLE PARKING:	(9'-0" x 19'-0")	15 STALLS
VAN ACCESSIBLE PARKING:	(9'-0" x 19'-0")	2 STALLS
EV (DCFC) STALL:	(9'-0" x 19'-0")	10 STALLS
TOTAL PARKING PROVIDED:		822 STALLS
PROPOSED CART CORRALS:	(9'-0" x 19'-0")	25 STALLS



LEGEND

	PROPOSED SITE AREA (±20.4 AC)
	NEW BUILDING
	HANDICAP INDICATION PATH OF TRAVEL
	CART CORRAL NOTE: ALL CART CORRALS VISIBLE FROM ADJACENT ROADWAYS MUST BE ENCLOSED AND DECORATED IN MATERIALS AND COLORS COMPLEMENTARY TO COMMERCIAL/RETAIL BUILDINGS.

PRELIMINARY SITE PLAN SUBJECT TO CHANGE. PROPERTY LINES ARE BASED ON CAD DRAWINGS PROVIDED BY CLIENT, PREPARED BY FMCIVIL ENGINEERS INC. RECEIVED FROM CLIENT 06.06.2023.

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Harvest Landing Retail Center & Business Park
SWC Perris Blvd. & Orange Ave., Perris CA 92571

ENLARGED SITE PLAN
22161MMA | 06.03.2025
SP-1.4

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Symbol	Botanical Name	Common Name	WUCOLS REGION 4	Size	Qty.
	<i>Chilopsis linearis</i> 'Bubba'	Desert Willow	Low	36" Box Std.	81
	<i>Cercis c.</i> 'Forest Pansy'	Forest Pansy/Redbud	Low	24" Box Std.	17
	<i>Geijera parviflora</i>	Australian Willow	Mod	15 Gallon Std.	135
	<i>Lagostroemia hybrid</i> 'Tuscarora'	Hybrid Crane Myrtle	Low	24" Box Std.	16
	<i>Lagostroemia l.</i> 'Natchez'	Natchez Crane Myrtle	Mod	24" Box Std.	25
	<i>Olea europaea</i> 'Wilson'	Fruitless Olive	Low	48" Box Mult.	14
	<i>Pinus edulis</i>	Monterey Pine	Low	24" Box Std.	98
	<i>Platanus x acerifolia</i>	London Plane Tree	Mod	24" Box Std.	36
	<i>Platanus racemosa</i>	California Sycamore	Low	48" Box Mult.	3
	<i>Pyrus californica</i> 'Chanticleer'	Calley Pear	Mod	24" Box Std.	79
	<i>Quercus l.</i> 'Parigiator'	English Oak	Mod	36" Box Std.	59
	<i>Tetania conferta</i>	Brisbane Box	Mod	24" Box Std.	78
	<i>Ulmus parvifolia</i> 'Dakar'	Drake Evergreen Chinese Elm	Low	15 Gallon Std.	55
	<i>Zelkova serata</i> 'City Spire'	City Spire Zelkova	Mod	36" Box Std.	113

Symbol	Botanical Name	Common Name	WUCOLS REGION 4
	<i>Agave a.</i> 'Varegata'	Varegated Smooth Agave	Low
	<i>Aloe Blue EF</i>	Blue Aloe	Low
	<i>Argemone p.</i> 'Twin Peaks'	Kangaroo Paw	Low
	<i>Baccharis p.</i> 'Twin Peaks'	Coyote Bush	Low
	<i>Conoclinium glaucum</i>	Mexican Bid of Paradise	Low
	<i>Collinsia v.</i> 'Little John'	Dwarf Bottlebrush	Low
	<i>Cistus pupureus</i>	Cistus Rock Rose	Low
	<i>Dorstenia wheeleri</i>	Desert Spoon	Low
	<i>Eremophila g.</i> 'Mingener Gold'	Gold Emu Bush	Low
	<i>Furcraea f.</i> 'Nectarina'	Mauritius Hemp	Low
	<i>Grewia lanigera</i> 'Coastal Gem'	Coastal Gem Grewia	Low
	<i>Muhlenbergia capillaris</i>	Pink Muhly Grass	Low
	<i>Lantana New Gold</i>	New Gold Lantana	Low
	<i>Leucophyllum l.</i> 'Compacta'	Texas Ranger	Low
	<i>Lomandra Blueey</i>	Dwarf Mat Rush	Low
	<i>Lomandra Platinum Beauty</i>	Platinum Beauty Lomandra	Low
	<i>Leucophyllum f.</i> 'Texas Ranger'	Texas Ranger	Low
	<i>Persea n.</i> 'Margatta BOP'	Margatta BOP Blue Bedder	Low
	<i>Rosa Flower Carpet</i>	Groundcover Rose	Mod
	<i>Rumex c.</i> 'Huntington Carpet'	Creeping Rosemary	Low
	<i>Russelia aquileformis</i>	Carot Fountain	Mod
	<i>Salvia greggii</i> 'Flame'	Furnman's Red Autumn Sage	Low
	<i>Salvia leucantha</i>	Mexican Bush Sage	Low
	<i>Westringia f.</i> 'Mundi'	Mundi Coast Rosemary	Low
	<i>Zauschneria californica</i>	California Fuchsia	Low

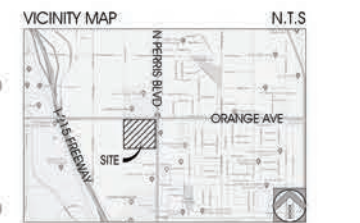
Symbol	Botanical Name	Common Name	WUCOLS REGION 4
	<i>Agave Blue Glow</i>	Blue Glow Agave	Low
	<i>Aloe Blue EF</i>	Blue Aloe	Low
	<i>Bougainvillea 'Raspberry Ice'</i>	Bougainvillea	Low
	<i>Bulbine frutescens</i> 'Holtmark'	Staked Bulbine	Low
	<i>Lavandula 'Meeta'</i>	Meeta English Lavender	Low

Symbol	Botanical Name	Common Name	WUCOLS REGION 4
	<i>Rhamnus californica</i> 'Eve Case'	Dwarf Coffeberry	Low
	<i>Westringia Blue Gem</i>	Blue Gem Coast Rosemary	Low

- NOTES:
- PLANT MATERIAL NOT LISTED MAY BE USED, SUBJECT TO APPROVAL BY THE CITY.
 - ALL LANDSCAPE PLANS AND INSTALLATIONS SHALL ADHERE TO CITY DESIGN GUIDELINES, CODES AND REGULATIONS.
 - ALL LANDSCAPE AREAS SHALL RECEIVE AN AUTOMATIC IRRIGATION SYSTEM.
 - ALL LANDSCAPE INSTALLATIONS SHALL BE PERMANENTLY MAINTAINED.

OFFSITE PLANTING NOTE:
REFER TO MASTER DEVELOPER LANDSCAPE PLANS FOR OFFSITE IMPROVEMENTS

LANDSCAPE TABULATIONS	
SHOPPING CENTER	1,077
PARKING LOT STALLS	180 (1 TREE PER 6 STALLS)
PARKING LOT TREES REQUIRED	300
PARKING LOT TREES PROVIDED	117 (39% REQUIRED)
PARKING LOT TREES 36" BOX	
TOTAL SITE AREA	970,806 S.F.
TOTAL LANDSCAPE AREA REQUIRED	92,080 (10% OF TOTAL SITE AREA)
TOTAL LANDSCAPE AREA PROVIDED	106,896 S.F. (11% OF TOTAL SITE AREA)
COMMERCIAL RETAIL	822
PARKING LOT STALLS	137 (1 TREE PER 6 STALLS)
PARKING LOT TREES REQUIRED	227
PARKING LOT TREES PROVIDED	82 (36% REQUIRED)
PARKING LOT TREES 36" BOX	
TOTAL SITE AREA	893,404 S.F.
TOTAL LANDSCAPE AREA REQUIRED	89,340 (10% OF TOTAL SITE AREA)
TOTAL LANDSCAPE AREA PROVIDED	144,811 S.F. (16% OF TOTAL SITE AREA)



CONCEPTUAL LANDSCAPE PLAN
HARVEST LANDING RETAIL CENTER & BUSINESS PARK
S.W.C. OF PERRIS BLVD AND ORANGE AVE
PERRIS, CA 92571



SCALE: 1"=80'
CIPC PROJECT NO. 23072
OCTOBER 30, 2025



conceptual design + planning company
1475 Soarers Drive, Suite 200
Costa Mesa, CA 92626
Tel: 949.440.7070
www.cdpc.com



L-1
1 OF 5



EVERGREEN SCREEN TREE
PINUS ELIARICA

EVERGREEN SCREEN TREE
TRISTANIA CONFERTA

STOREFRONT ACCENT TREE
CERCIS FOREST PANSY

VERTICAL ACCENT TREE
QUERCUS R. FASTIGIATA

DRIVE & PARKING SHADE TREE
ZELKOVA CITY SPRITE

PARKING SHADE TREE
ULMUS P. DRAKE

PARKING SHADE TREE
PYRUS CHANTICLEER

OFFSITE PLANTING. REFER TO MASTER DEVELOPER LANDSCAPE PLANS FOR OFFSITE IMPROVEMENTS. TYP.

ENTRY ACCENT TREE
OLEA EUROPAEA WILSONII

TRASH ENCLOSURE
SCREEN SHRUBS

PEDESTRIAN CONNECTION
TO WQRP PARCEL

TENANT MONUMENT SIGN

PERIMETER SETBACK TREE
PLATANUS X ACERFOIDA

PERIMETER SETBACK TREE
PYRUS CHANTICLEER

OFFSITE PLANTING. REFER TO MASTER DEVELOPER LANDSCAPE PLANS FOR OFFSITE IMPROVEMENTS. TYP.

RAISED SEATWALLS AT STOREFRONT PLANTERS, TYP.

STOREFRONT WALKWAY
• FLOWERING ACCENT TREES
• ENHANCED PAVING
• OUTDOOR SEATING

ORANGE AVE.

TENANT MONUMENT SIGN

CENTRAL PLAZA
• WATER FEATURE
• ARTIFICIAL TURF
• ENHANCED PAVING
• OUTDOOR SEATING
• SPECIMEN SHADE TREES

CORNER PLAZA
• DECORATIVE ARBOR
• SPECIMEN TREE
• ENHANCED PAVING
• OUTDOOR SEATING
• THEMATIC BRIDGE & DRY CREEK ELEMENTS

PROJECT ID SIGNAGE

PLANT PALETTE				
Symbol	Botanical Name	Common Name	WUCOLS REGION 4	Qty.
	<i>Chitalpa linearis 'Subbar'</i>	Desert Willow	Low	36" Box Std. 81
	<i>Cercis c. Forest Pansy</i>	Forest Pansy Redbud	Low	24" Box Std. 17
	<i>Geijera parviflora</i>	Australian Willow	Mod	16 Gallon Std. 135
	<i>Logestioaemia hybrid 'Tucacora'</i>	Hybrid Crape Myrtle	Low	24" Box Std. 16
	<i>Logestioaemia l. 'Natchez'</i>	Natchez Crape Myrtle	Mod	24" Box Std. 25
	<i>Olea europaea 'Wilsonii'</i>	Fruitless Olive	Low	48" Box Multi. 14
	<i>Pinus eldarica</i>	Mandel Pine	Low	24" Box Std. 96
	<i>Platanus x acerifolia</i>	London Plane Tree	Mod	24" Box Std. 36
	<i>Platanus racemosa</i>	California Sycamore	Low	48" Box Multi. 3

PLANT PALETTE				
Symbol	Botanical Name	Common Name	WUCOLS REGION 4	Qty.
	<i>Pyrus calleryana 'Chanticleer'</i>	Callery Pear	Mod	24" Box Std. 79
	<i>Quercus r. Fastigiata</i>	English Oak	Mod	36" Box Std. 59
	<i>Tristania conferta</i>	Brisbane Box	Mod	24" Box Std. 76
	<i>Ulmus parvifolia 'Drake'</i>	Drake Evergreen Chinese Elm	Low	16 Gallon Std. 55
	<i>Zelkova serata 'City Sprite'</i>	City Sprite Zelkova	Mod	36" Box Std. 113

Symbol	Botanical Name	Common Name	WUCOLS REGION 4
	<i>Agave d. 'Valegata'</i>	Valegated Smooth Agave	Low
	<i>Aloe 'Blue Elf'</i>	Blue Elf Aloe	Low
	<i>Anigazanthos Ravulus</i>	Kangaroo Paw	Low
	<i>Baccharis d. 'Twin Peak'</i>	Coyote Bush	Low
	<i>Caesalpinia gilliesii</i>	Mexican Bird of Paradise	Low
	<i>Callistemon v. 'Little John'</i>	Dwarf Bottlebrush	Low
	<i>Citrus aurantium</i>	Orchid Rock Rose	Low
	<i>Daylily 'Whiteout'</i>	Desert Spoon	Low
	<i>Eremophila g. 'Mingnew Gold'</i>	Gold Eru Bush	Low
	<i>Ficusia l. 'Mediolata'</i>	Maufluis Hemp	Low
	<i>Grevillea lanigera 'Coastal Gem'</i>	Coastal Gem Grevillea	Low
	<i>Muhlenbergia capillaris</i>	Pink Muny Grass	Low
	<i>Lantana 'New Gold'</i>	New Gold Lantana	Low
	<i>Leucophyllum l. 'Compacta'</i>	Texas Ranger	Mod
	<i>Lomandra 'Brazil'</i>	Dwarf Mat Rush	Low
	<i>Platium Beauty 'Lamandra'</i>	Platinum Beauty Lamandra	Low
	<i>Leucophyllum l. 'Texas Ranger'</i>	Texas Ranger	Low
	<i>Penstemon n. 'Margarita BOP'</i>	Margarita BOP Blue Beeder	Low
	<i>Rosa 'Power Carpet'</i>	Groundcover Rose	Low
	<i>Ramoninus o. 'Huntington Carpet'</i>	Creeching Rosemary	Low
	<i>Russetia equisetiformis</i>	Coral Fountain	Mod
	<i>Salvia greggii 'Flame'</i>	Furnum Red Autumn Sage	Low
	<i>Salvia leucantha</i>	Mexican Bush Sage	Low
	<i>Westringia l. 'Munif'</i>	Mundi Coast Rosemary	Low
	<i>Zauschneria californica</i>	California Fuchsia	Low

ACCENT SHRUBS			
Symbol	Botanical Name	Common Name	WUCOLS REGION 4
	<i>Agave 'Blue Glow'</i>	Blue Glow Agave	Low
	<i>Aloe 'Blue Elf'</i>	Blue Elf Aloe	Low
	<i>Bougainvillea 'Raspberry Ice'</i>	Bougainvillea	Low
	<i>Bubbia frutescens 'Hallmark'</i>	Staked Bubbia	Low
	<i>Lavandula 'Mascot'</i>	Mexico English Lavender	Low

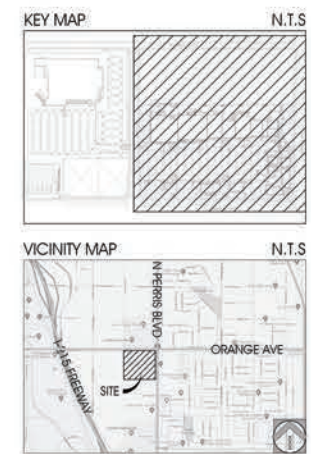
SCREEN SHRUBS			
Symbol	Botanical Name	Common Name	WUCOLS REGION 4
	<i>Rhamnus californica 'Eve Cass'</i>	Dwarf Coffeeberry	Low
	<i>Westringia 'Blue Gem'</i>	Blue Gem Coast Rosemary	Low

NOTES:

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- ALL LANDSCAPE INSTALLATIONS SHALL BE PERMANENTLY MAINTAINED.

LANDSCAPE TABULATIONS	
SHOPPING CENTER	
PARKING LOT STALLS	1,077
PARKING LOT TREES REQUIRED	180 (1 TREE PER 6 STALLS)
PARKING LOT TREES PROVIDED	320
PARKING LOT TREES 36" BOX	117 (30% REQUIRED)
TOTAL SITE AREA	970,805 S.F.
TOTAL LANDSCAPE AREA REQUIRED	97,080 (10% OF TOTAL SITE AREA)
TOTAL LANDSCAPE AREA PROVIDED	106,896 S.F. (11% OF TOTAL SITE AREA)
COMMERCIAL RETAIL	
PARKING LOT STALLS	822
PARKING LOT TREES REQUIRED	137 (1 TREE PER 6 STALLS)
PARKING LOT TREES PROVIDED	227
PARKING LOT TREES 36" BOX	82 (30% REQUIRED)
TOTAL SITE AREA	893,404 S.F.
TOTAL LANDSCAPE AREA REQUIRED	89,340 (10% OF TOTAL SITE AREA)
TOTAL LANDSCAPE AREA PROVIDED	144,511 S.F. (16% OF TOTAL SITE AREA)

OFFSITE PLANTING NOTE:
REFER TO MASTER DEVELOPER LANDSCAPE PLANS FOR OFFSITE IMPROVEMENTS



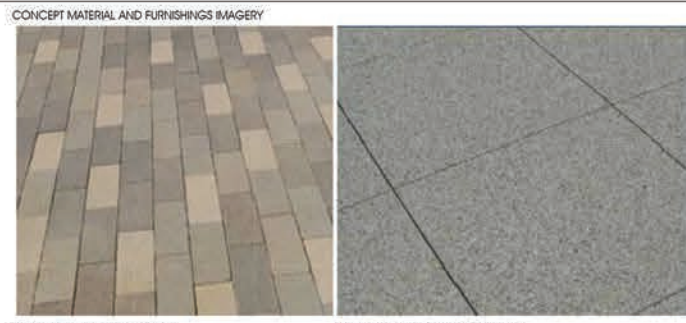
CONCEPTUAL LANDSCAPE PLAN
HARVEST LANDING RETAIL CENTER & BUSINESS PARK
S.W.C. OF PERRIS BLVD AND ORANGE AVE
PERRIS, CA 92571



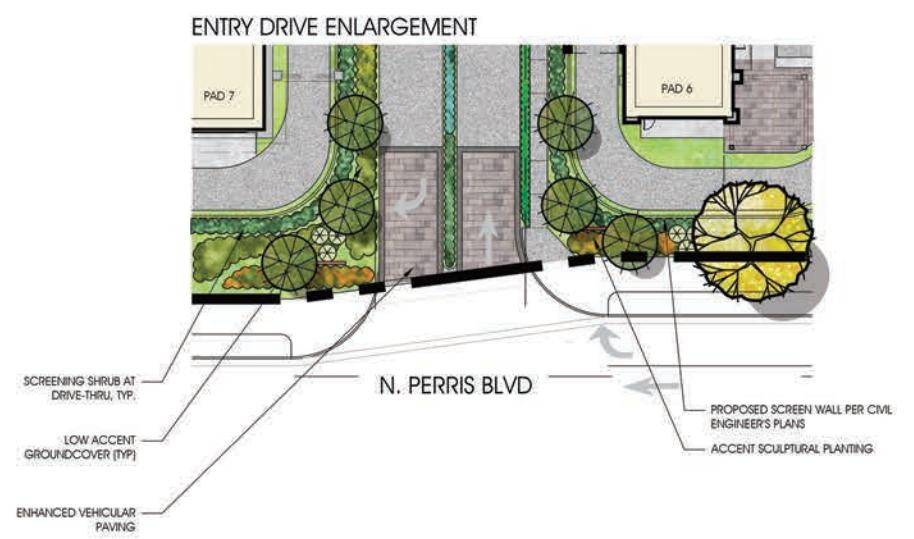
SCALE 1"=50'
COPC PROJECT NO. 23012
OCTOBER 30, 2025



L-2
2 OF 5



CONCEPT MATERIAL AND FURNISHINGS NOTE:
REFER TO ARCHITECTS PLANS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.



OFFSITE PLANTING NOTE:
REFER TO MASTER DEVELOPER LANDSCAPE PLANS FOR OFFSITE IMPROVEMENTS



CONCEPTUAL LANDSCAPE PLAN
HARVEST LANDING RETAIL CENTER & BUSINESS PARK
S.W.C. OF PERRIS BLVD AND ORANGE AVE
PERRIS, CA 92571



KEY MAP N.T.S.

VICINITY MAP N.T.S.

SCALE: 1"=20'

CDPC PROJECT NO. 23032

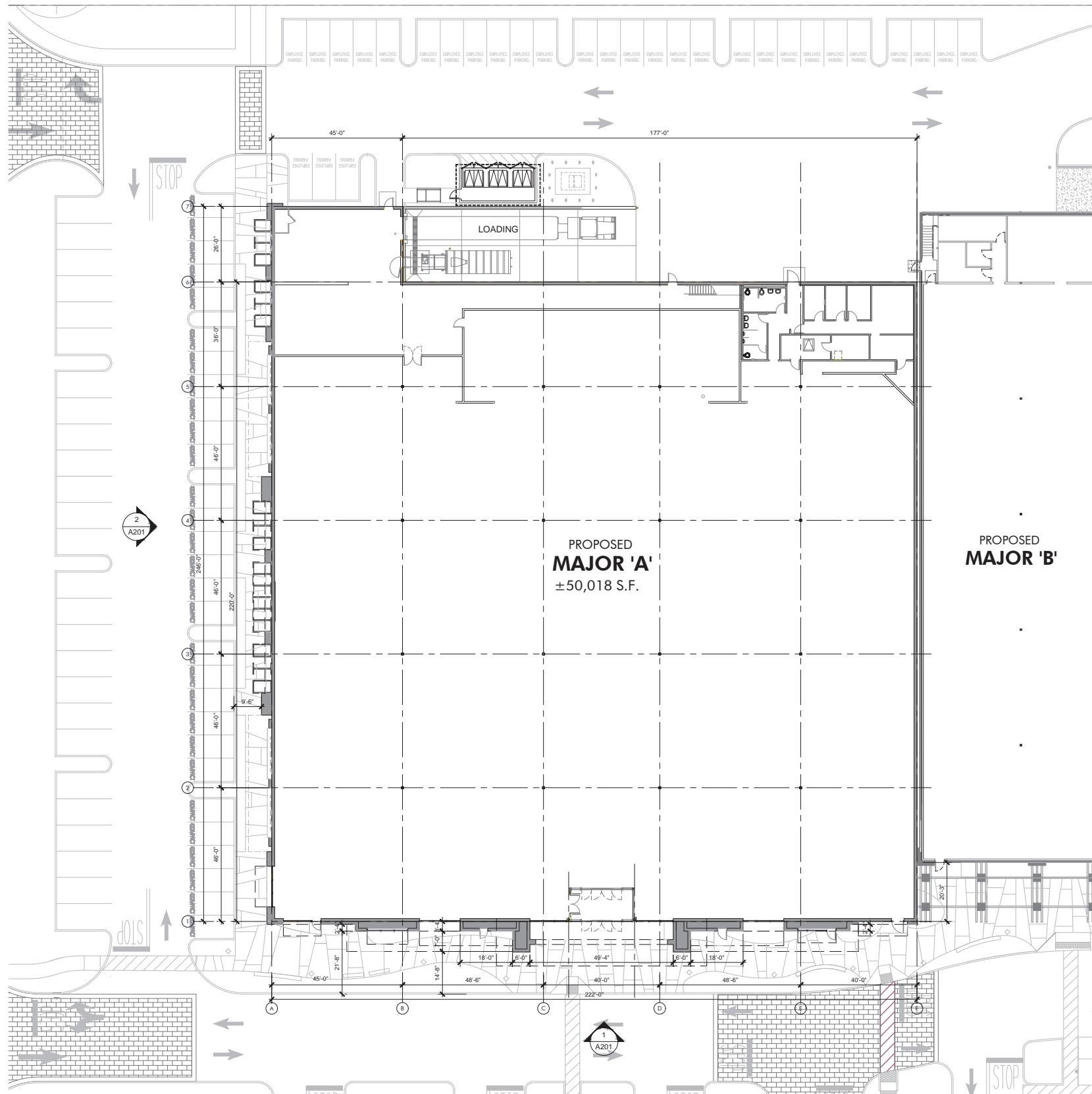
OCTOBER 30, 2025

conceptual design + planning company

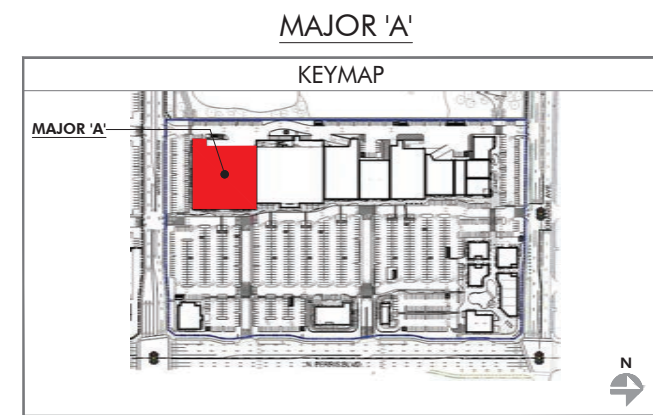
1475 Soarville Drive, Suite 200
Costa Mesa, CA 92626
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FLOOR PLAN LEGEND	
	ELEVATION SHEET NUMBER ELEVATION NUMBER
	(N) STRUCTURAL COLUMNS.
	EXIT SYMBOL, ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR ± 0.000 11.10'	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	INTERIOR WALL
	EXTERIOR WALL



PROPOSED FLOOR PLAN (MAJOR 'A')
SCALE: 1/16" = 1'-0"

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PROPOSED FLOOR PLAN

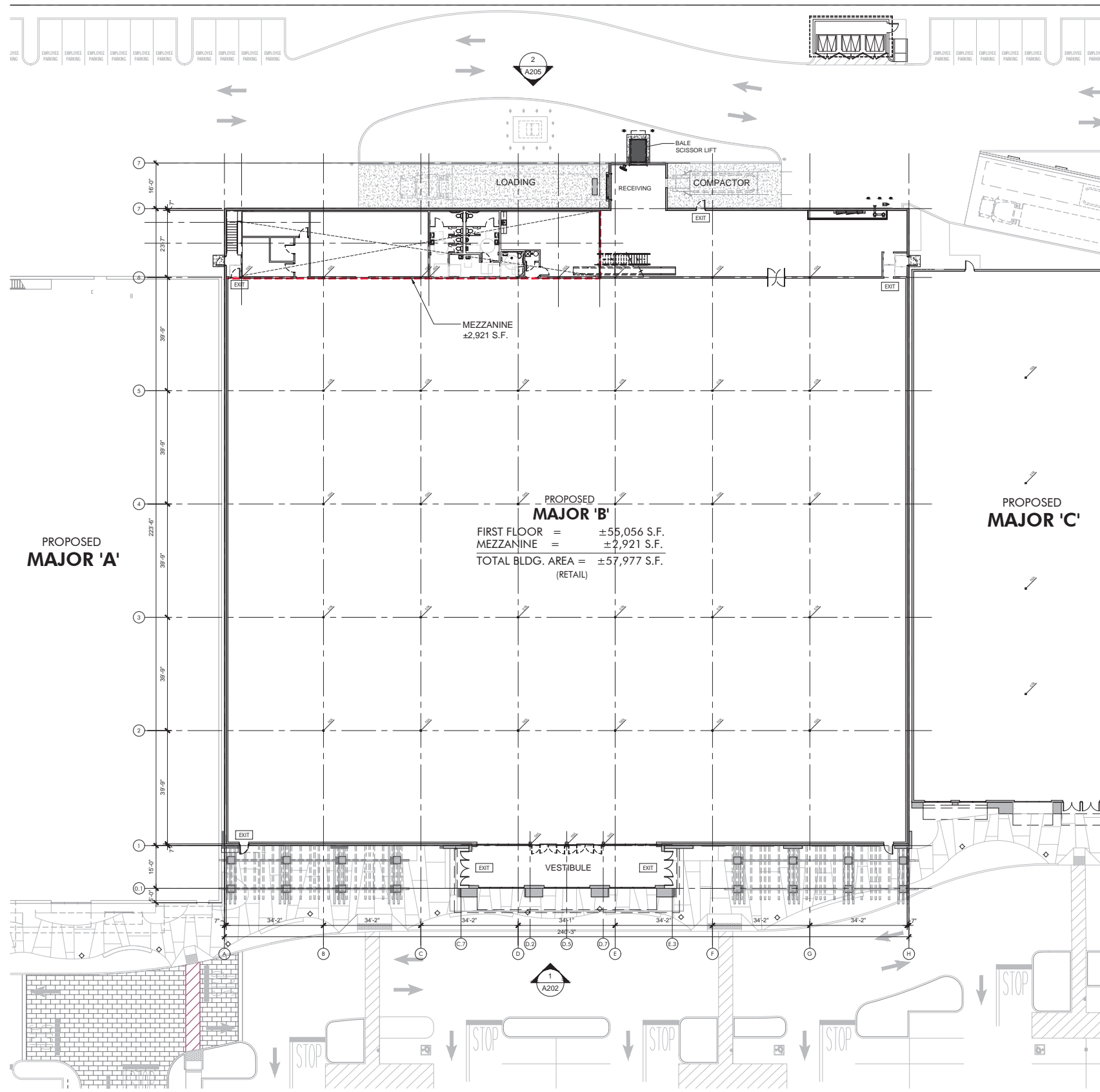
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A101

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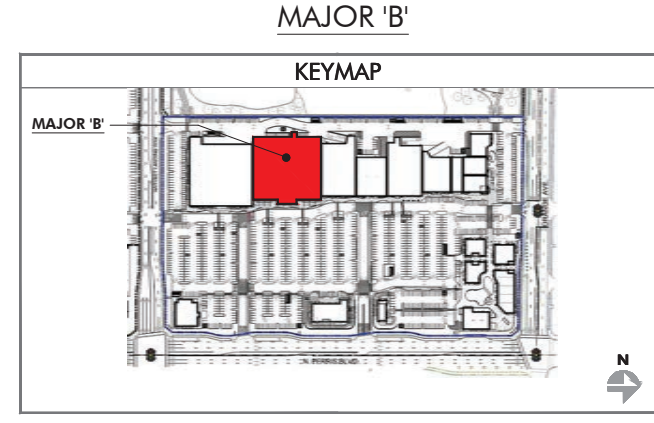


PROPOSED
MAJOR 'A'

PROPOSED
MAJOR 'B'
FIRST FLOOR = ±55,056 S.F.
MEZZANINE = ±2,921 S.F.
TOTAL BLDG. AREA = ±57,977 S.F.
(RETAIL)

PROPOSED
MAJOR 'C'

FLOOR PLAN LEGEND	
	ELEVATION SHEET NUMBER
	ELEVATION NUMBER
	(N) STRUCTURAL COLUMNS
	EXIT SYMBOL, ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR	
	ROOM NAME
	AREA SQUARE FOOTAGE
	FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	INTERIOR WALL
	EXTERIOR WALL



PROPOSED FLOOR PLAN (MAJOR 'B')

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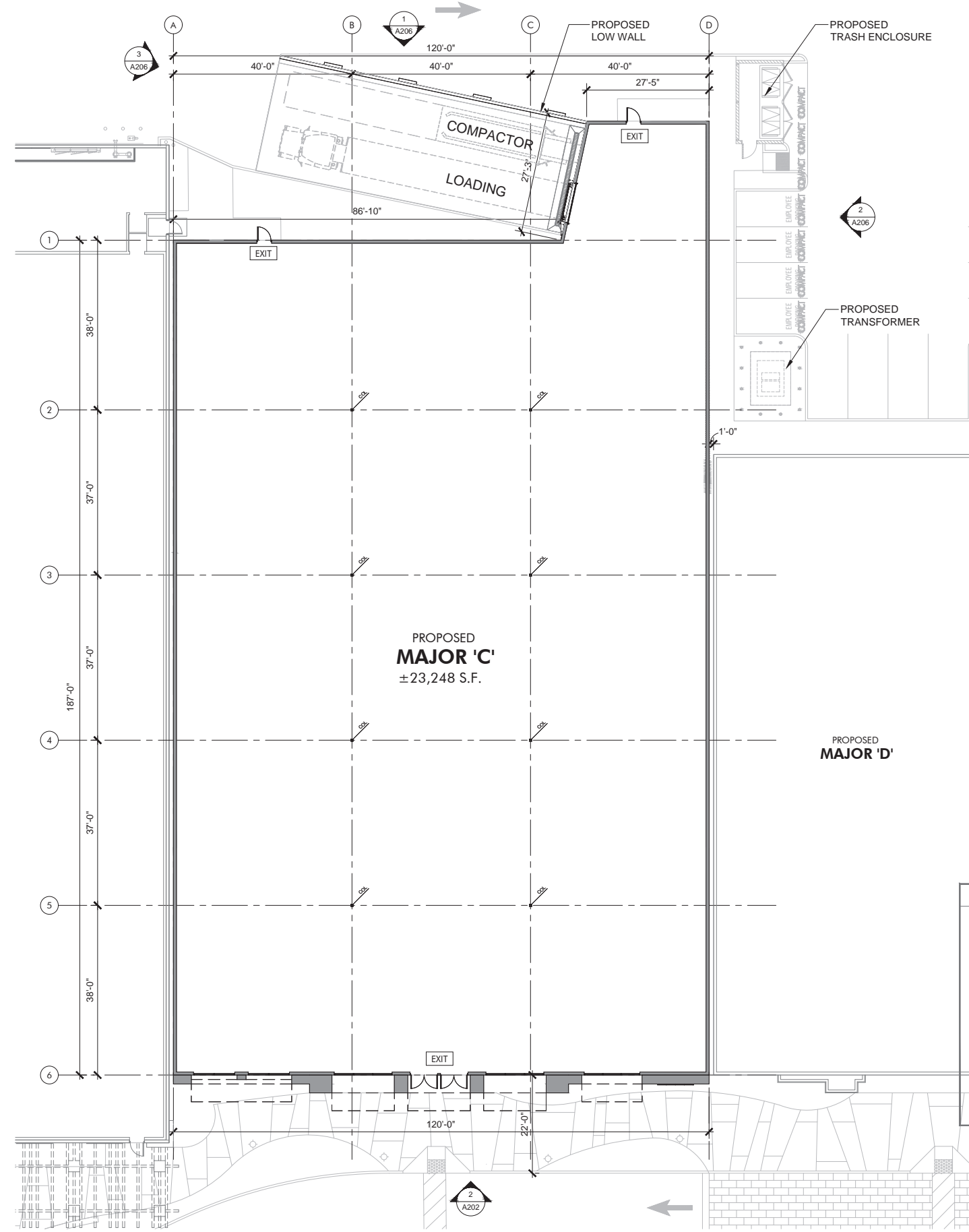
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PROPOSED FLOOR PLAN
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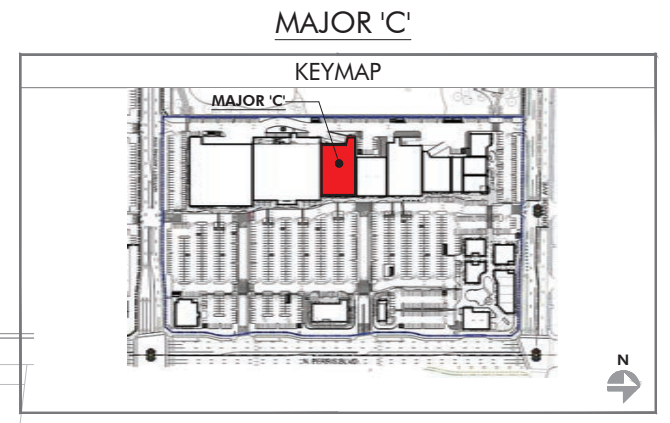
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FLOOR PLAN LEGEND	
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	(N) STRUCTURAL COLUMNS.
	EXIT SYMBOL, ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	EXTERIOR WALL



PROPOSED FLOOR PLAN (MAJOR 'C')
SCALE: 3/32" = 1'-0"

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PROPOSED FLOOR PLAN

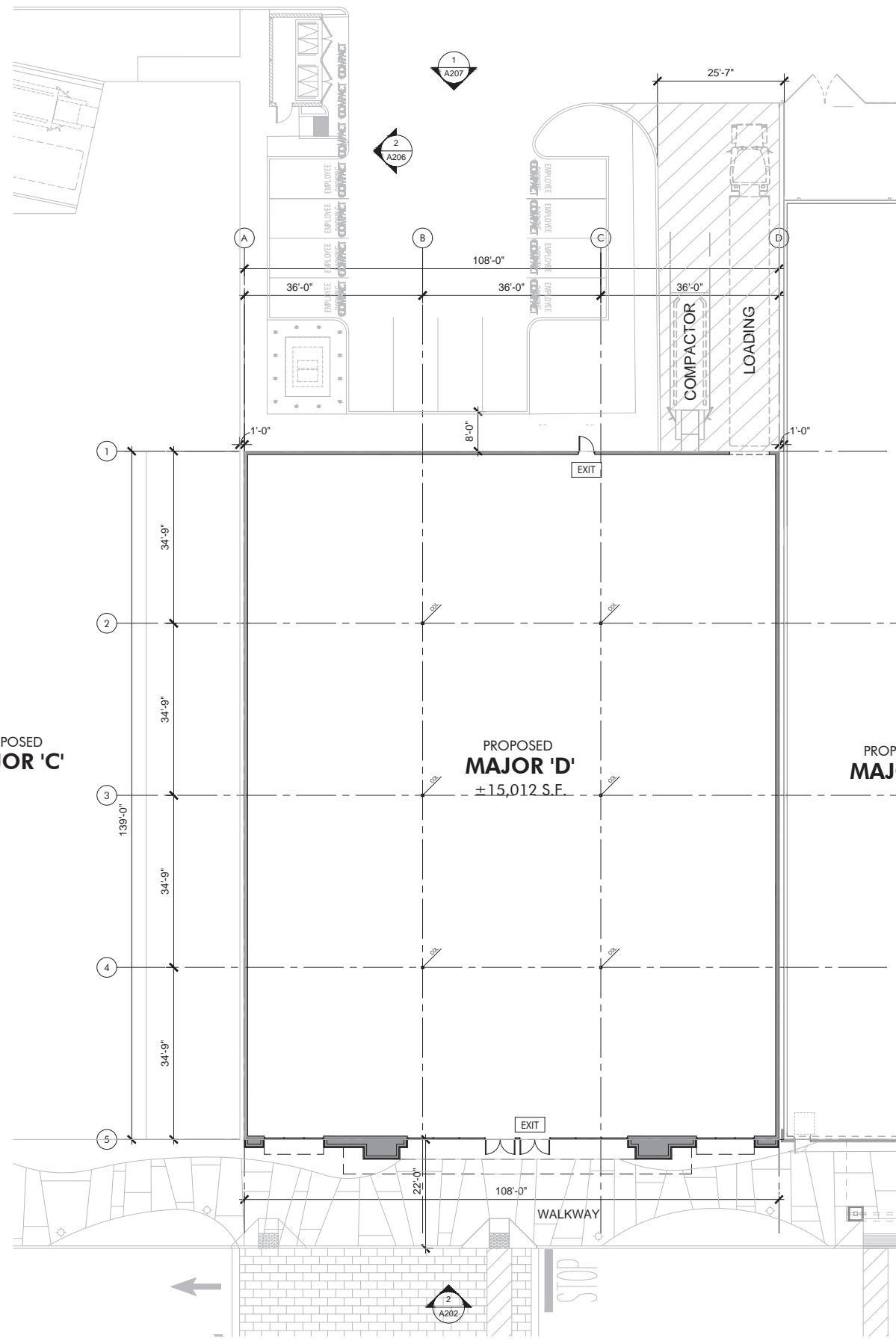
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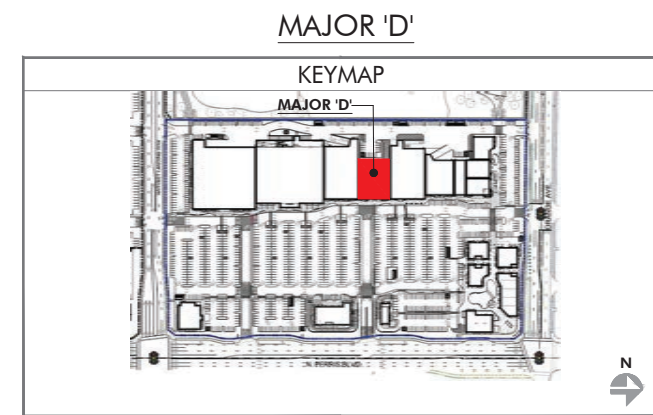


FLOOR PLAN LEGEND	
	ELEVATION SHEET NUMBER ELEVATION NUMBER
	(N) STRUCTURAL COLUMNS.
	EXIT SYMBOL, ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	EXTERIOR WALL

PROPOSED MAJOR 'C'

PROPOSED MAJOR 'D'
±15,012 S.F.

PROPOSED MAJOR 'E'



PROPOSED FLOOR PLAN (MAJOR 'D')
SCALE: 3/32" = 1'-0"

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PROPOSED FLOOR PLAN

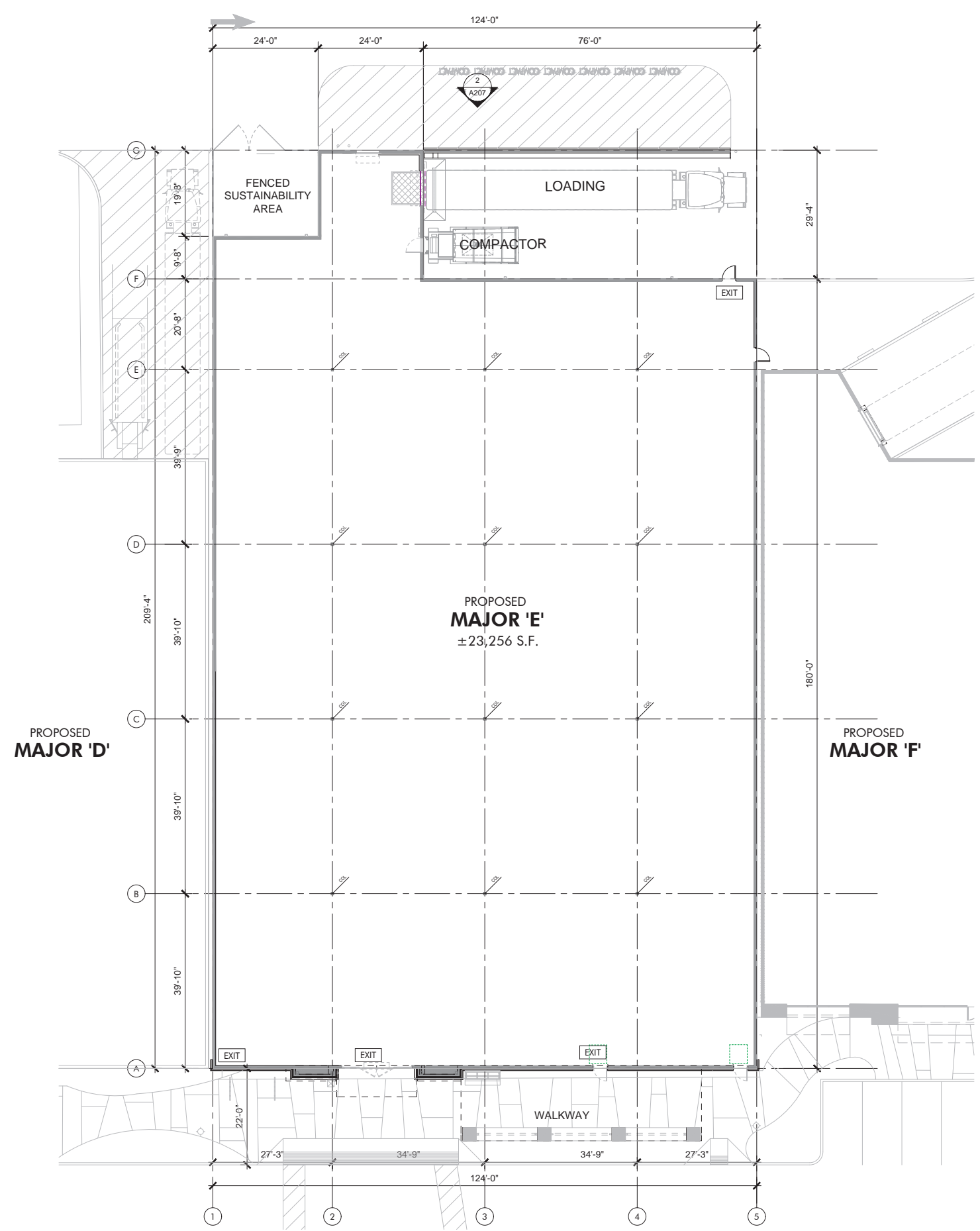
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A104

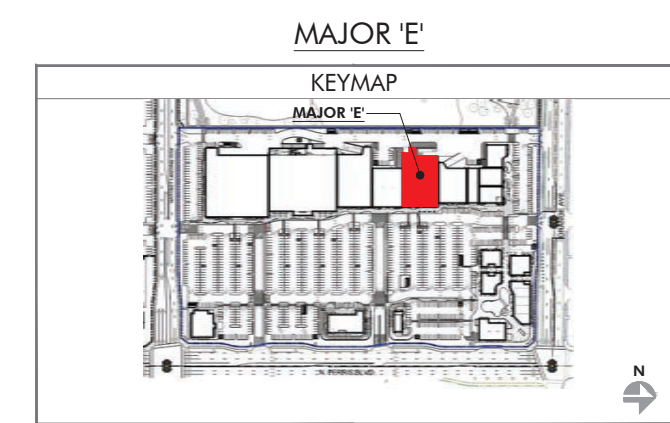
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FLOOR PLAN LEGEND	
	ELEVATION SHEET NUMBER ELEVATION NUMBER
	(N) STRUCTURAL COLUMNS.
	EXIT SYMBOL, ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR ± 0.000 11.10	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	EXTERIOR WALL



PROPOSED FLOOR PLAN (MAJOR 'E')

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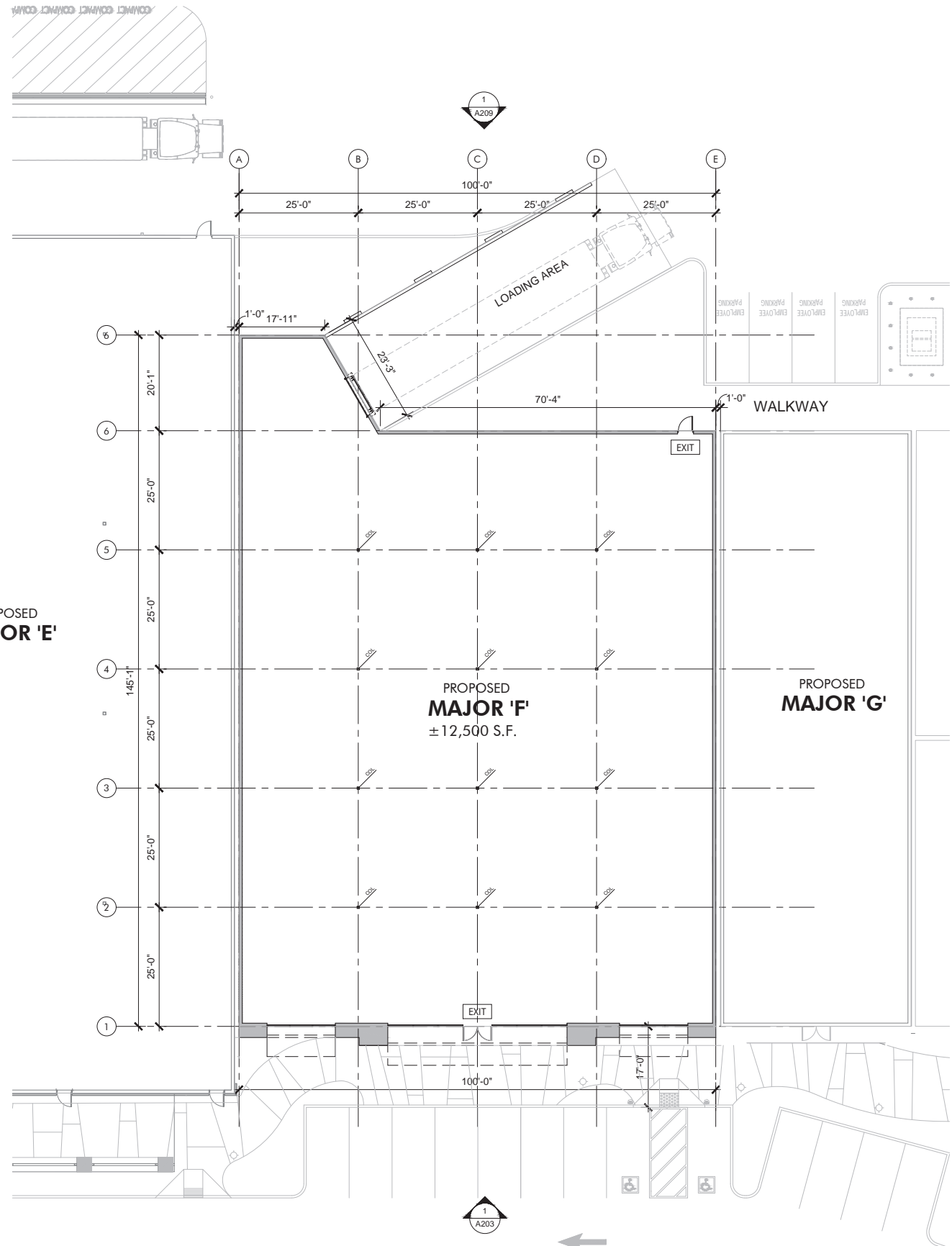


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PROPOSED FLOOR PLAN
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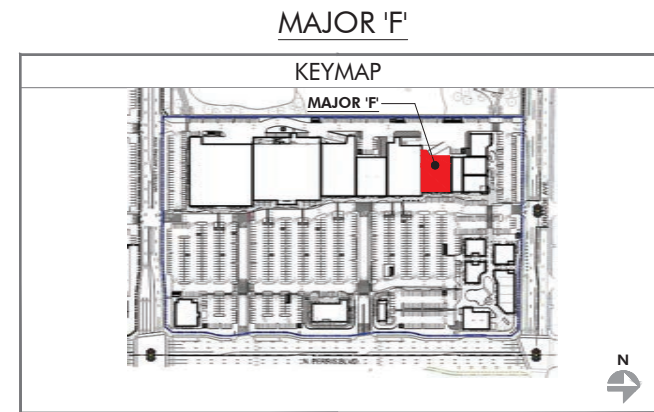


PROPOSED
MAJOR 'E'

PROPOSED
MAJOR 'F'
± 12,500 S.F.

PROPOSED
MAJOR 'G'

FLOOR PLAN LEGEND	
	ELEVATION SHEET NUMBER ELEVATION NUMBER
	(N) STRUCTURAL COLUMNS.
	EXIT SYMBOL, ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR ± 0.000 11.10	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	EXTERIOR WALL



PROPOSED FLOOR PLAN (MAJOR 'F')
SCALE: 3/32" = 1'-0"

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PROPOSED FLOOR PLAN

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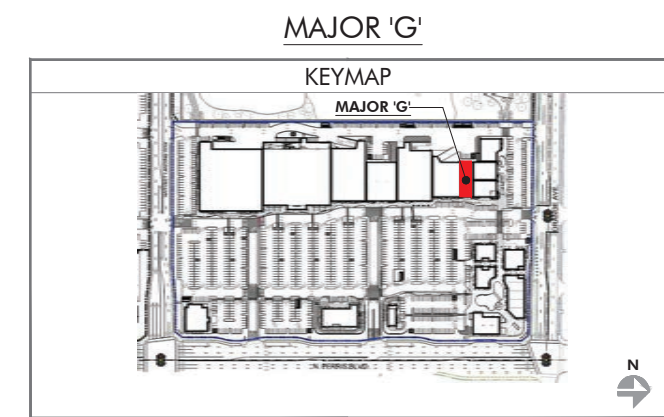
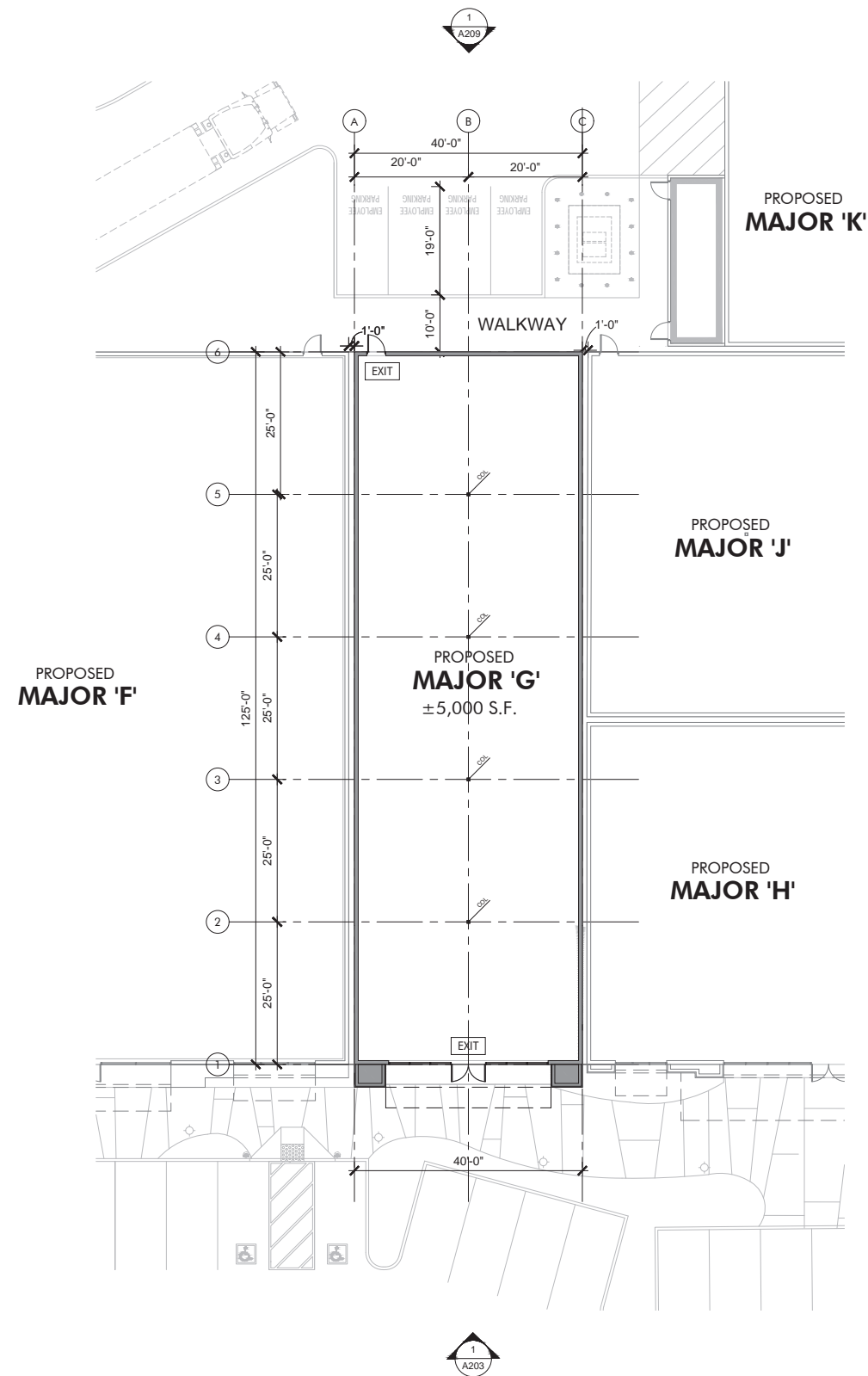
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FLOOR PLAN LEGEND	
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	(N) STRUCTURAL COLUMNS.
	EXIT SYMBOL, ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR ± 0.000 11.10'	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	EXTERIOR WALL



PROPOSED FLOOR PLAN (MAJOR 'G')

SCALE: 3/32" = 1'-0"

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PROPOSED FLOOR PLAN

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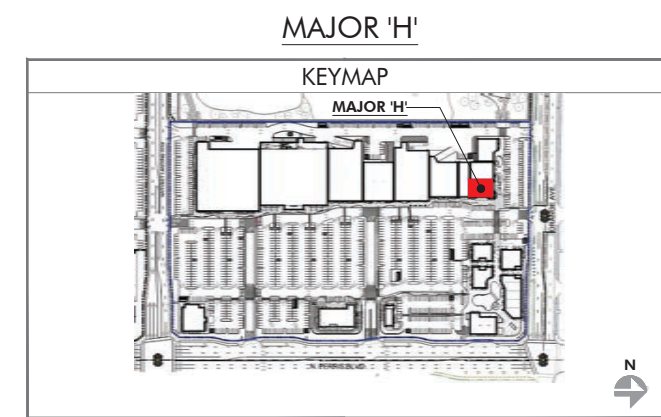
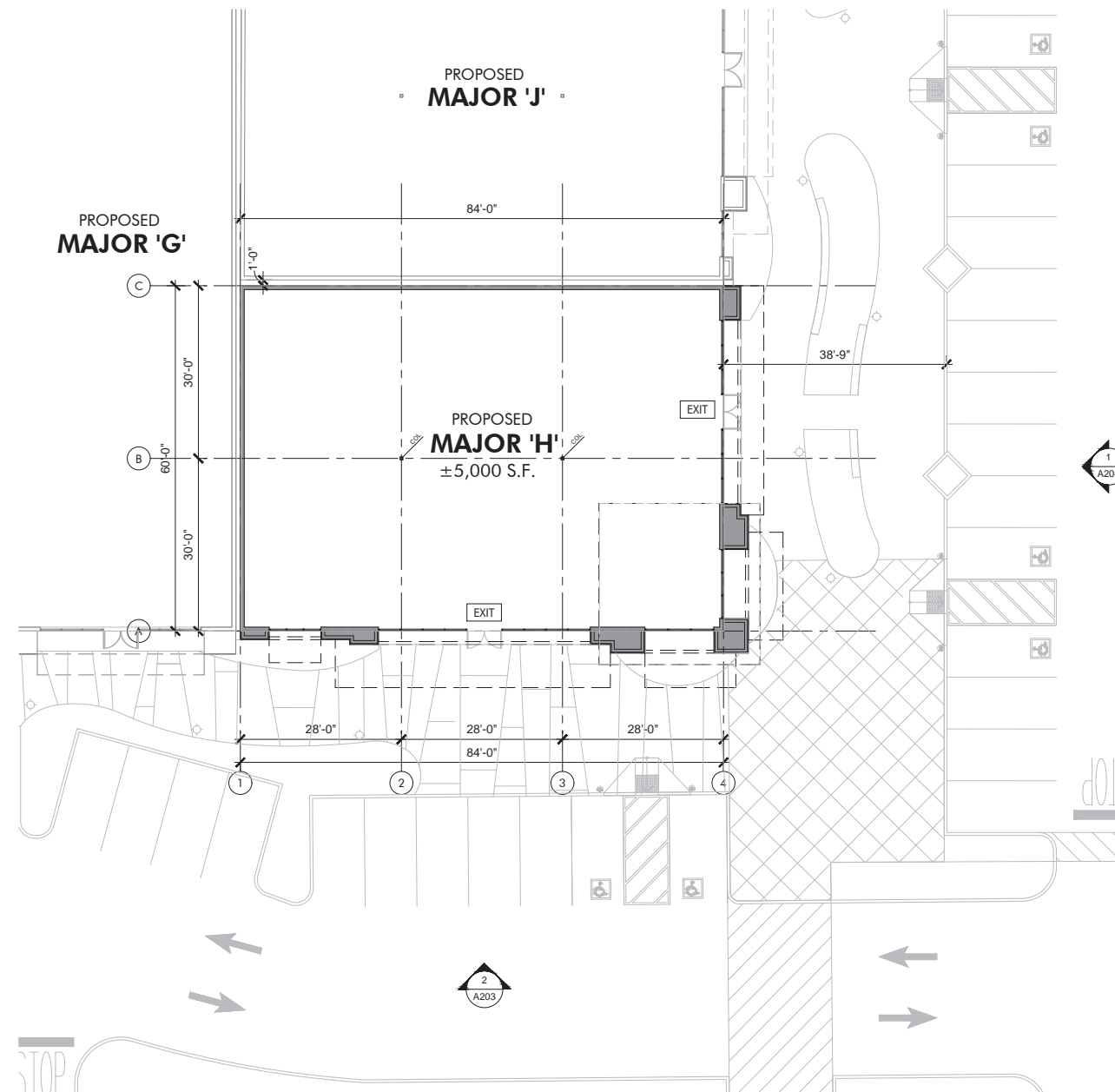
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FLOOR PLAN LEGEND	
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	(N) STRUCTURAL COLUMNS.
	EXIT SYMBOL, ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR ± 0.000 11.10'	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	EXTERIOR WALL



PROPOSED FLOOR PLAN (MAJOR 'H')
SCALE: 3/32" = 1'-0"

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PROPOSED FLOOR PLAN

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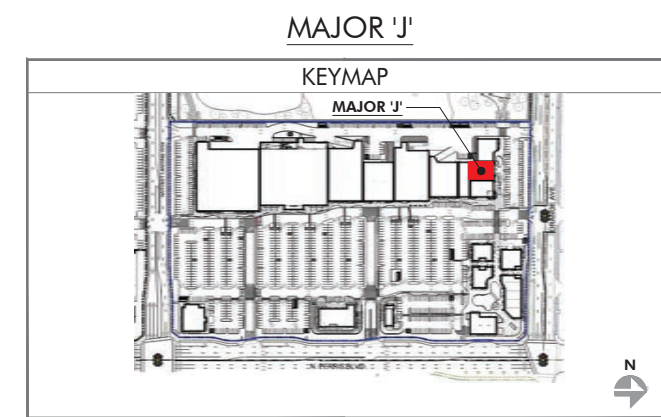
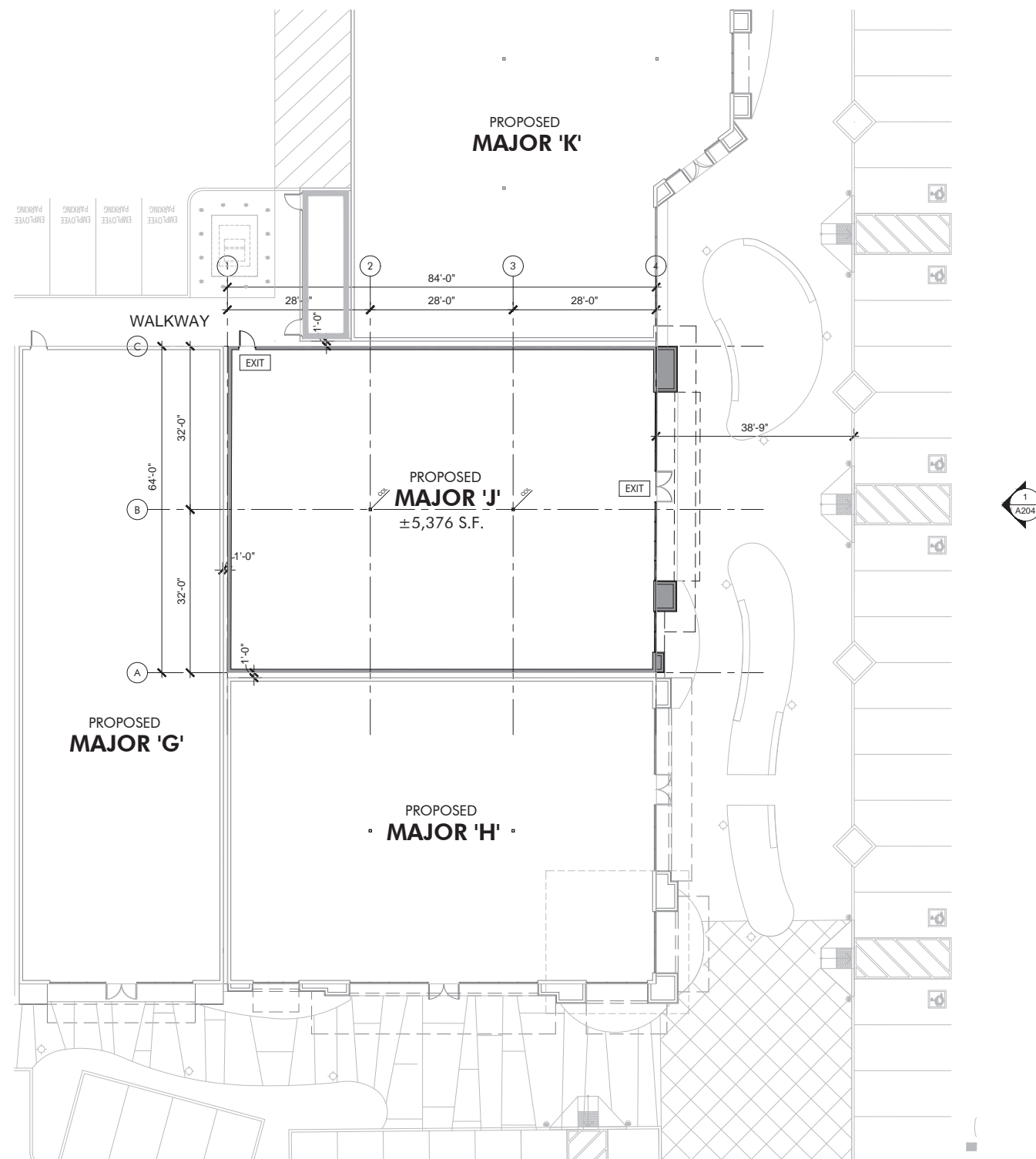
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	(N) STRUCTURAL COLUMNS.
	EXIT SYMBOL, ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR ± 0.000 11.10	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	EXTERIOR WALL



PROPOSED FLOOR PLAN (MAJOR 'J')
SCALE: 3/32" = 1'-0"

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PROPOSED FLOOR PLAN

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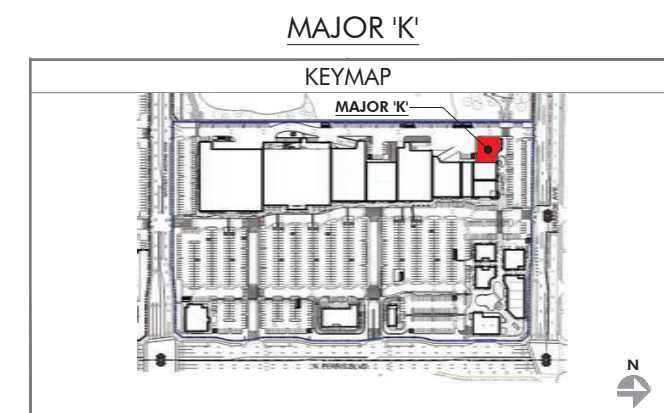
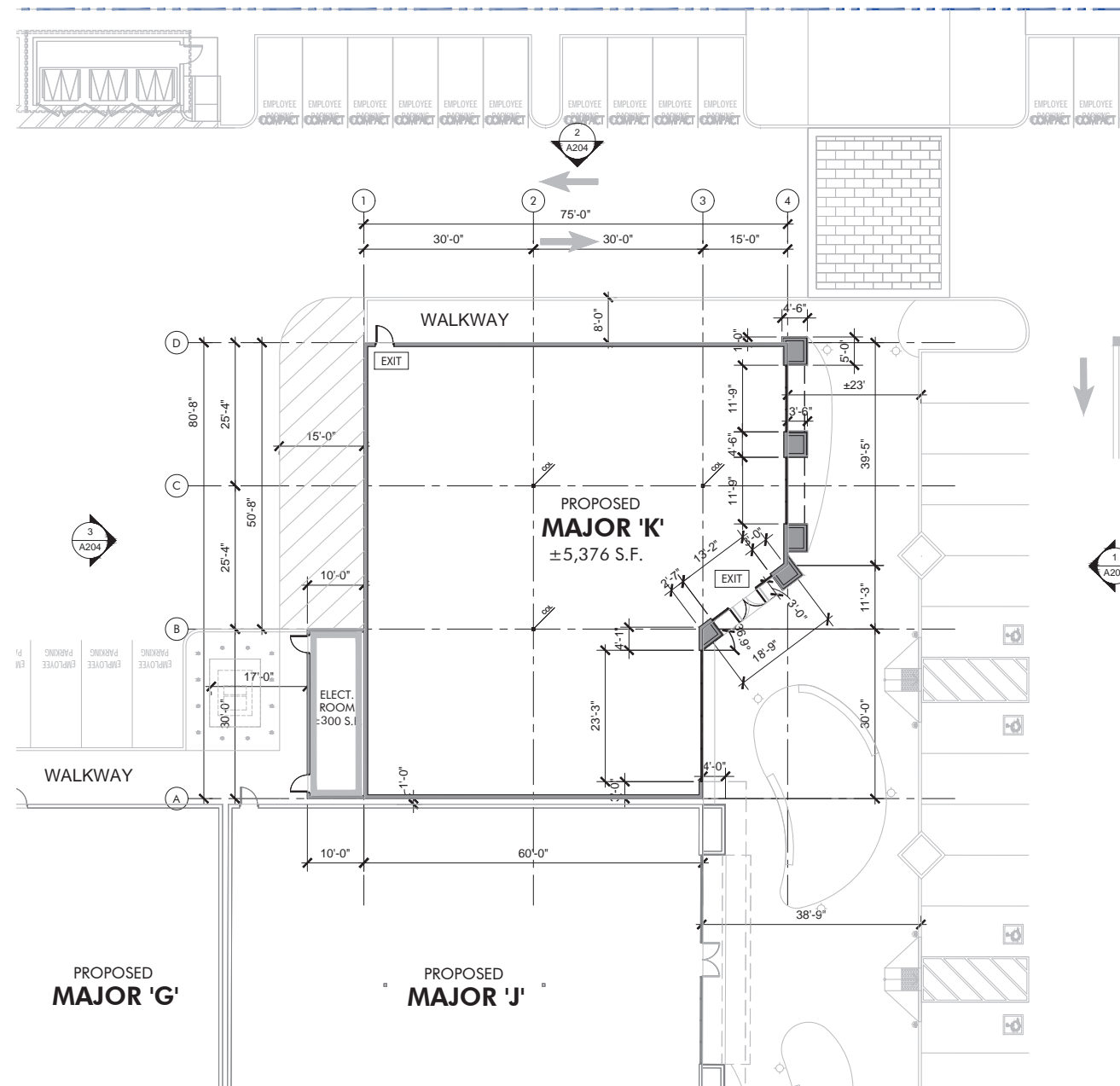
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FLOOR PLAN LEGEND	
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	(N) STRUCTURAL COLUMNS.
	EXIT SYMBOL, ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR ± 0.000 11.10	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	EXTERIOR WALL



PROPOSED FLOOR PLAN (MAJOR 'J')
SCALE: 3/32" = 1'-0"

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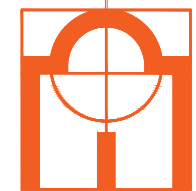
PROPOSED FLOOR PLAN

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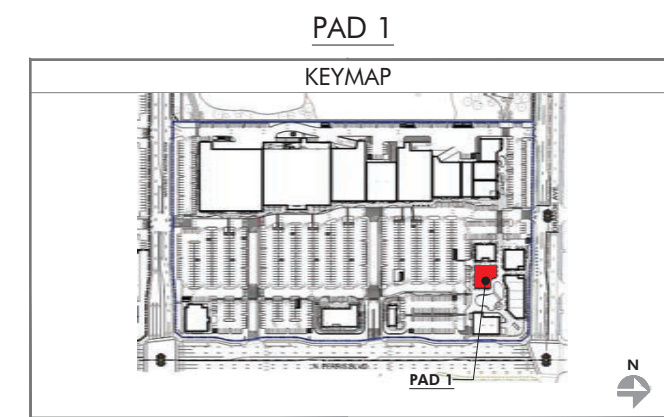
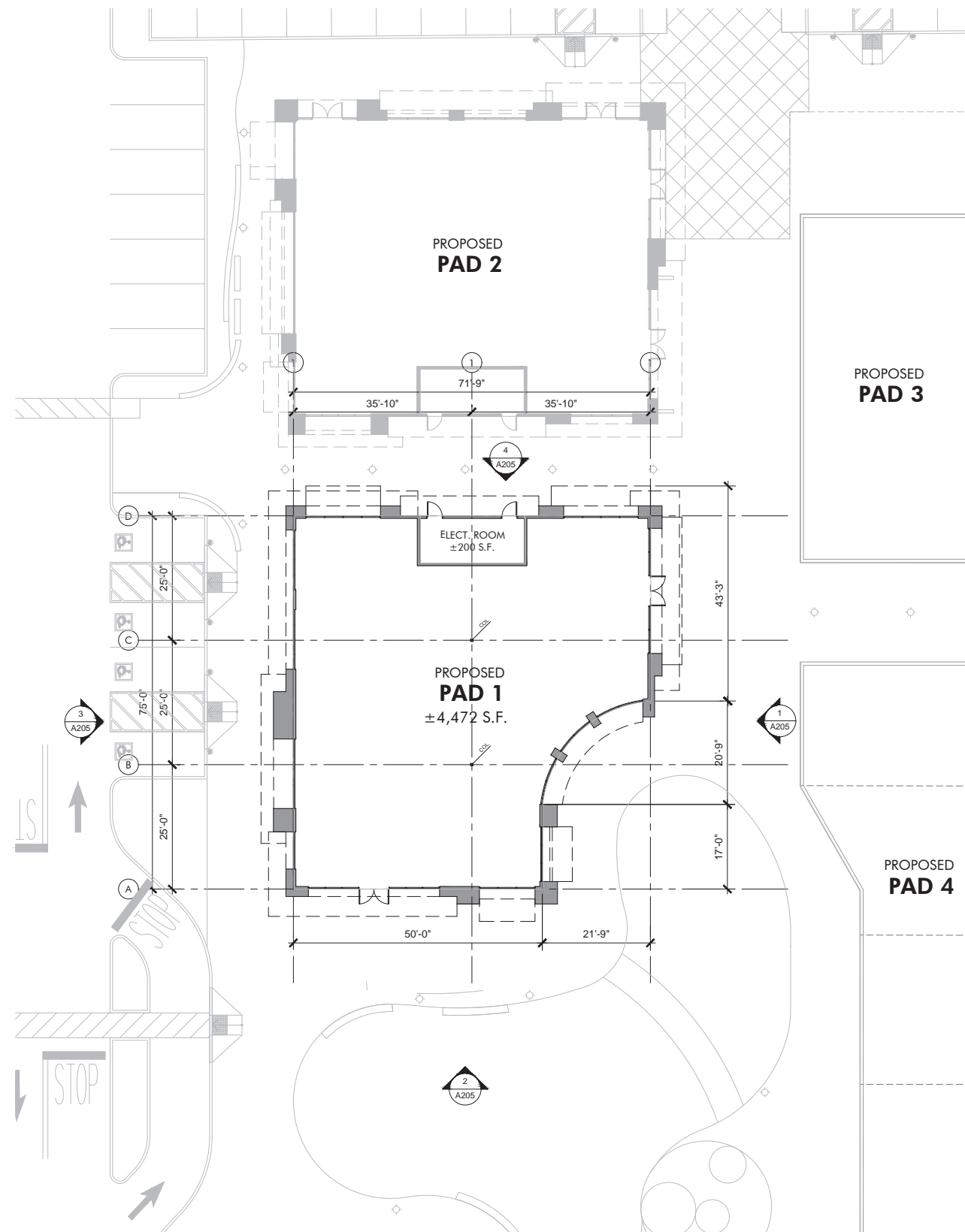
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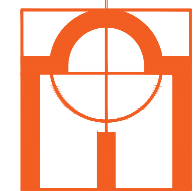
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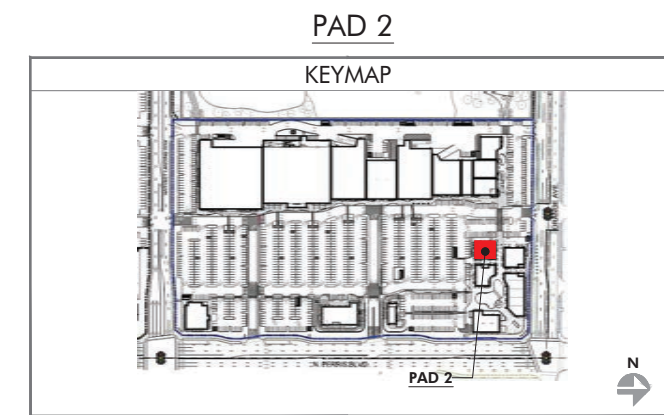
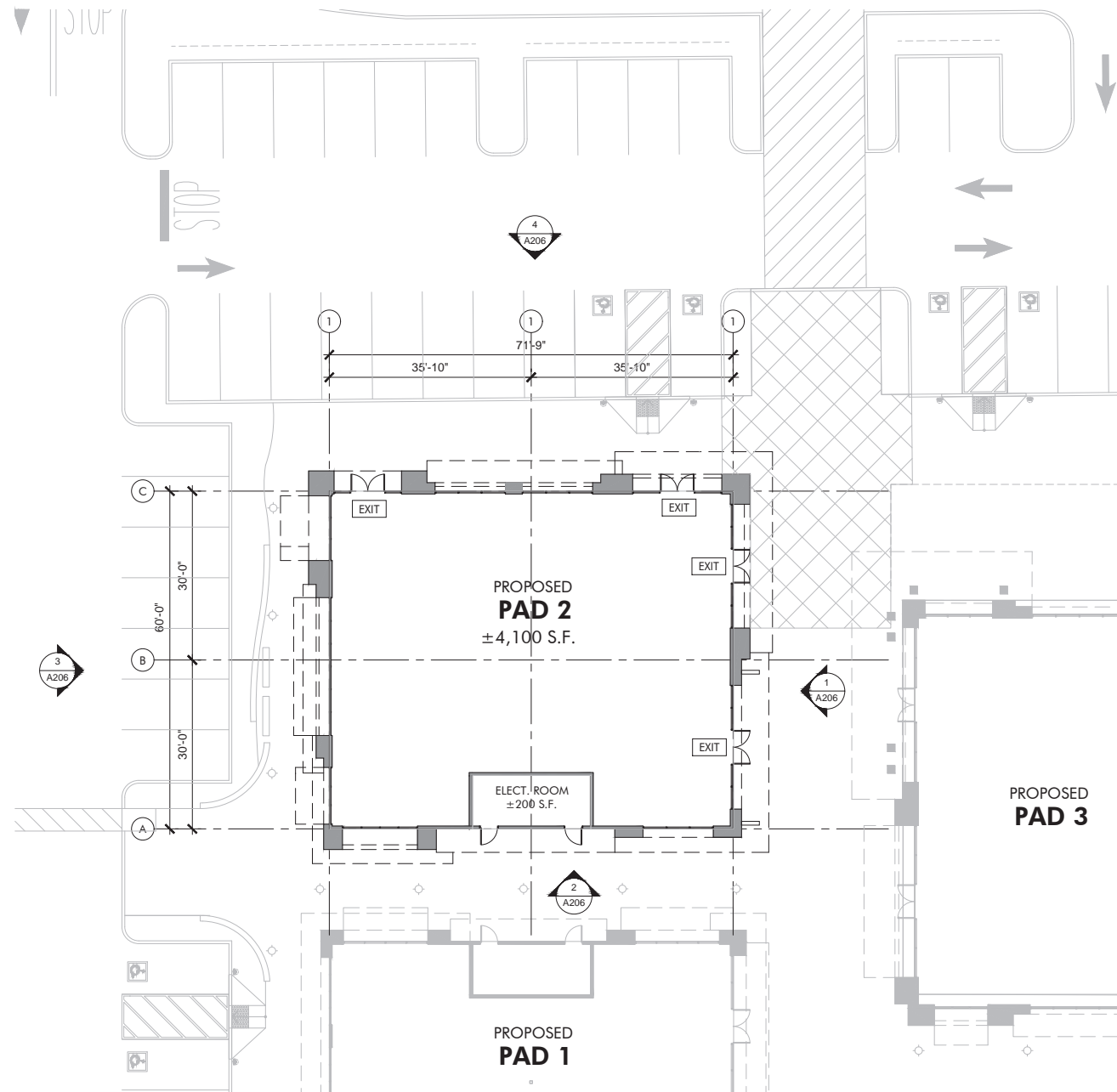
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	ELEVATION SHEET NUMBER ELEVATION NUMBER
	(N) STRUCTURAL COLUMNS.
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SALES FLOOR ± 0.000 11.10'	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	EXTERIOR WALL



PROPOSED FLOOR PLAN (PAD 1)
SCALE: 3/32" = 1'-0"

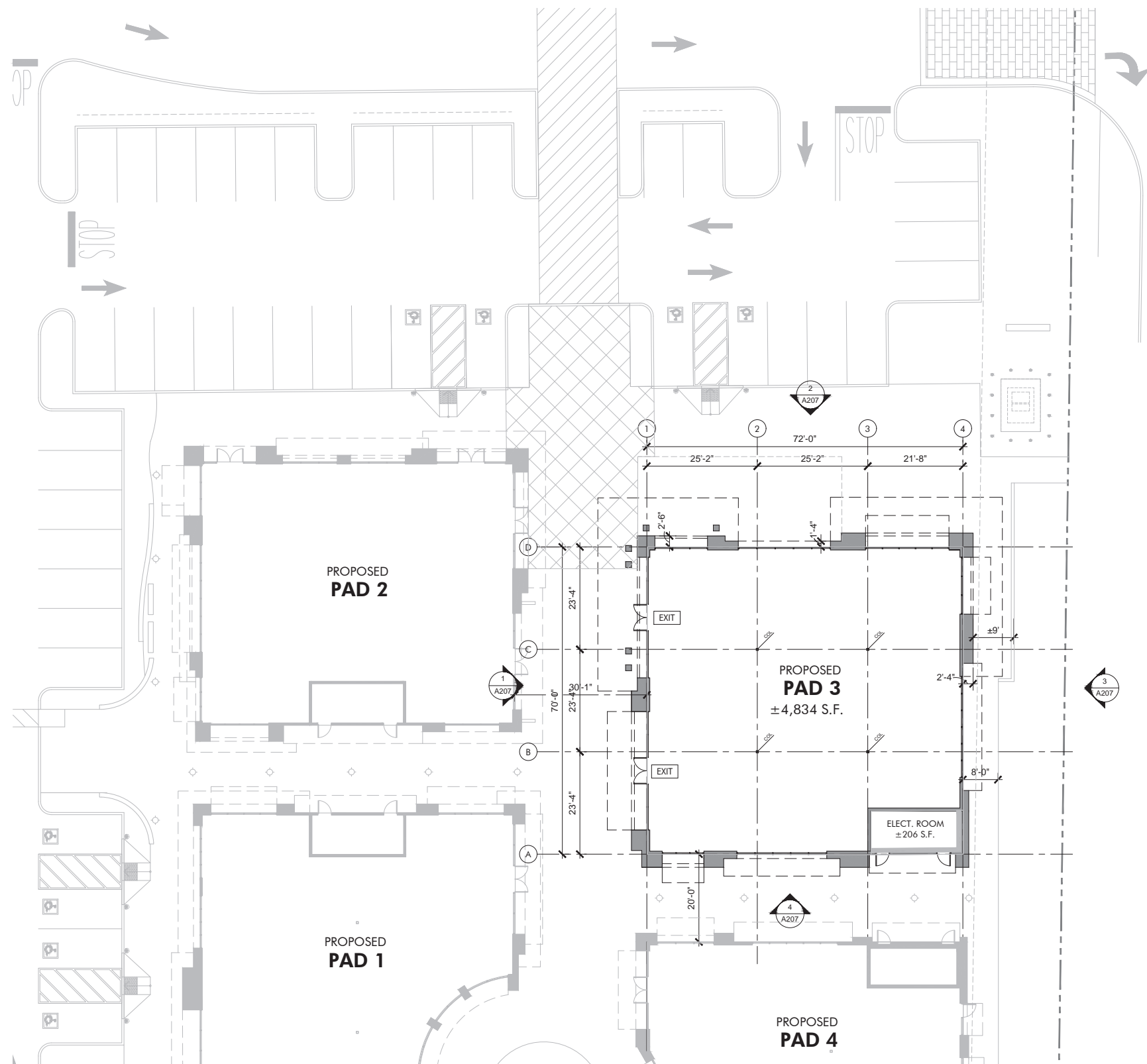


FLOOR PLAN LEGEND	
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	(N) STRUCTURAL COLUMNS.
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SALES FLOOR	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	EXTERIOR WALL

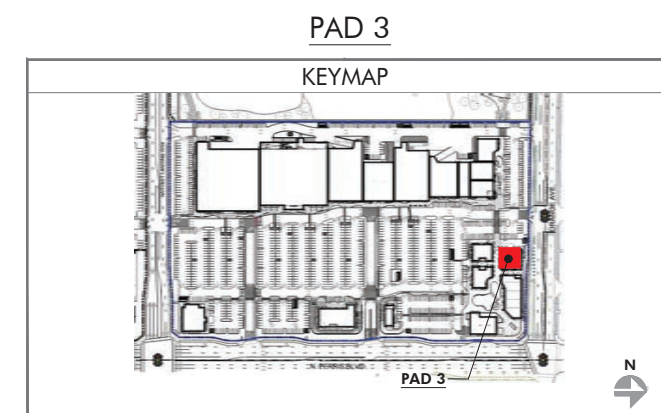


PROPOSED FLOOR PLAN (PAD 2) SCALE: 3/32" = 1'-0"





FLOOR PLAN LEGEND	
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	(N) STRUCTURAL COLUMNS.
	EXIT SYMBOL, ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR ± 0.000 11.10'	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	EXTERIOR WALL



PROPOSED FLOOR PLAN (PAD 3) SCALE: 3/32" = 1'-0"

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PROPOSED FLOOR PLAN

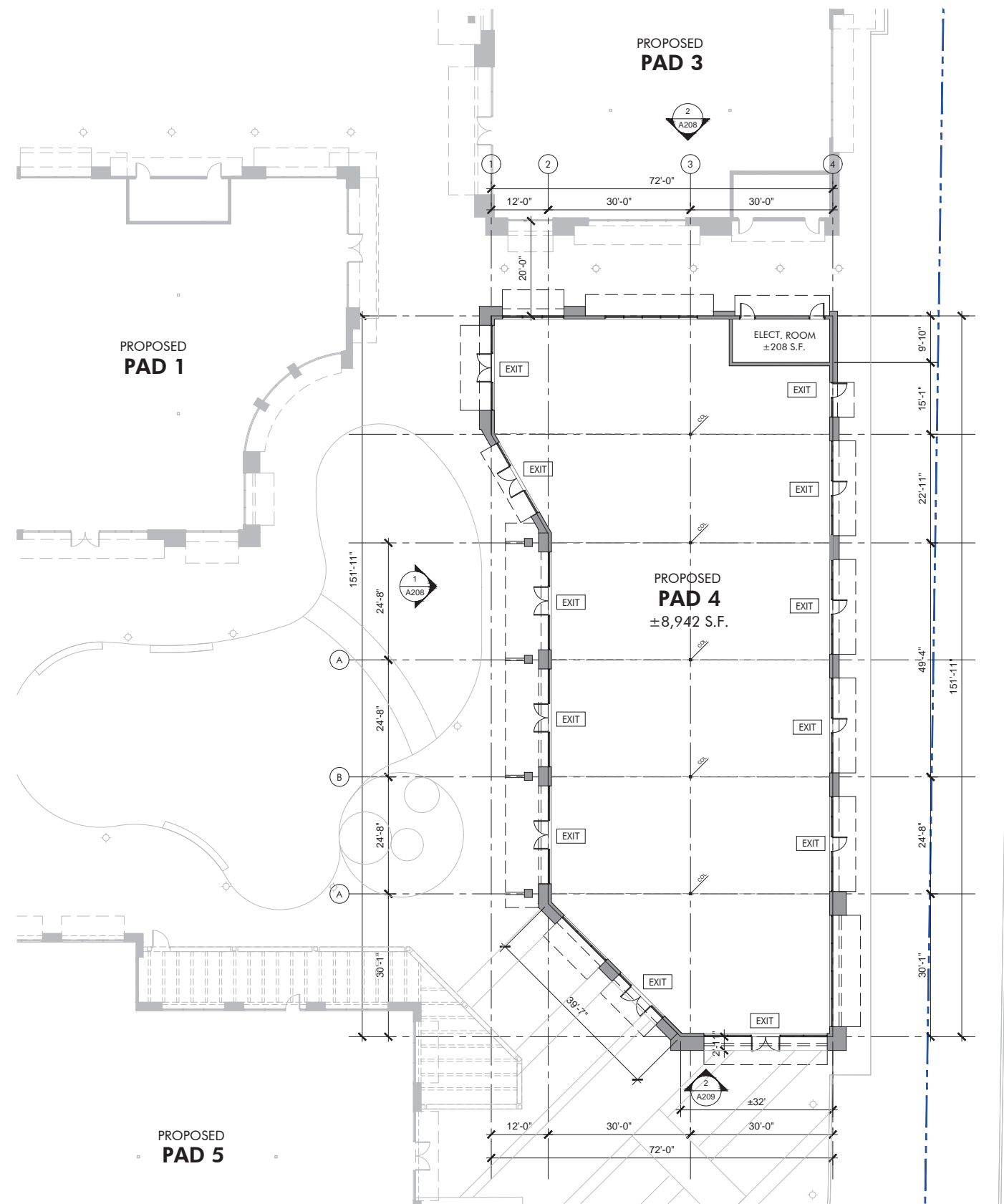
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A113

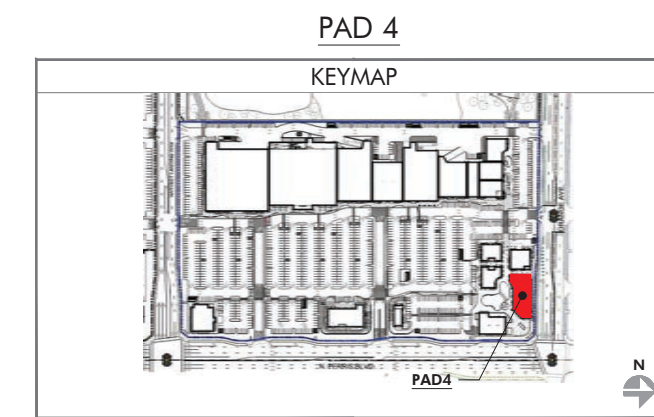
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FLOOR PLAN LEGEND	
	ELEVATION SHEET NUMBER ELEVATION NUMBER
	(N) STRUCTURAL COLUMNS.
	EXIT SYMBOL, ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR ± 0.000 11.10	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	EXTERIOR WALL



PROPOSED FLOOR PLAN (PAD 4)
SCALE: 3/32" = 1'-0"

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PROPOSED FLOOR PLAN

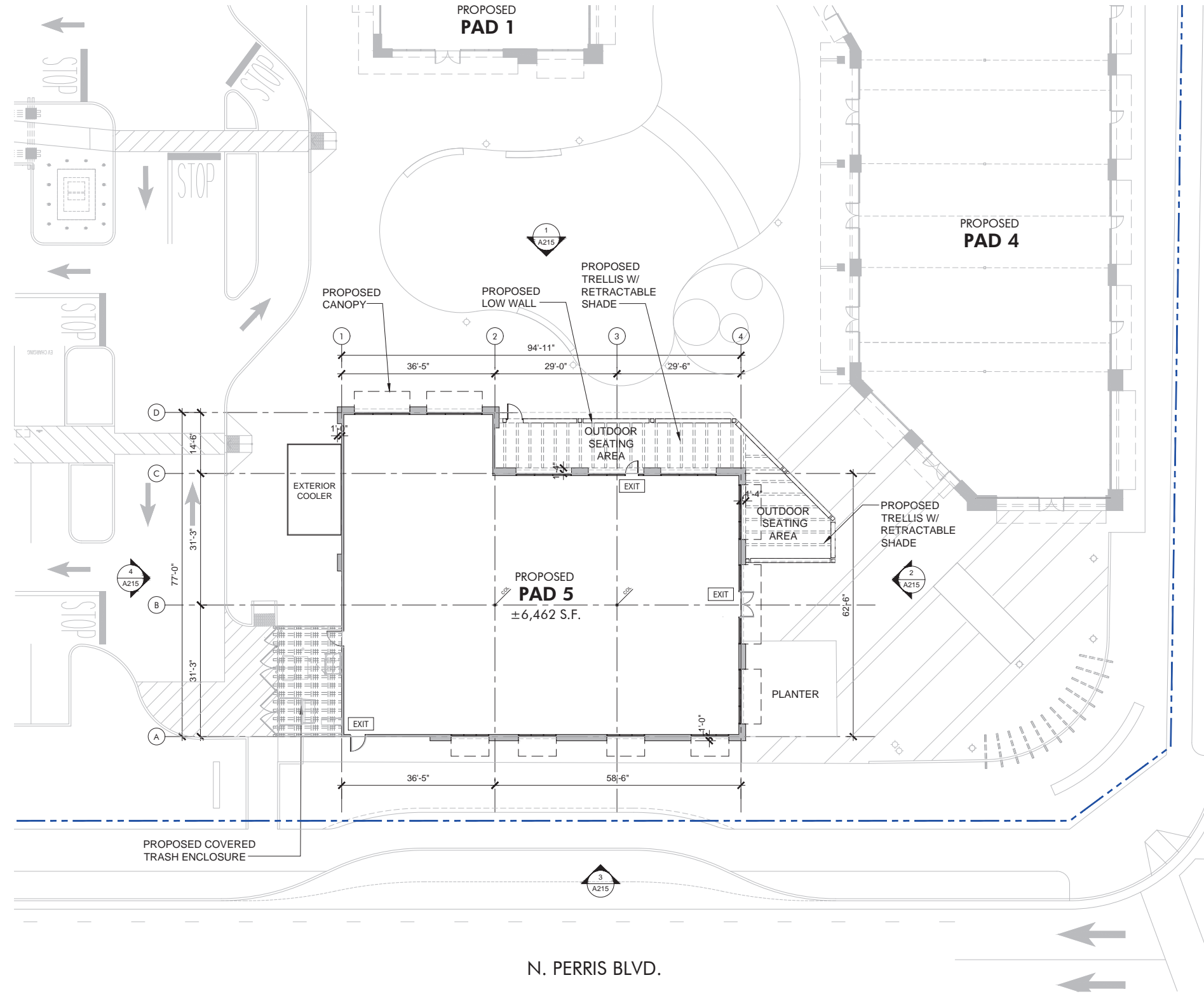
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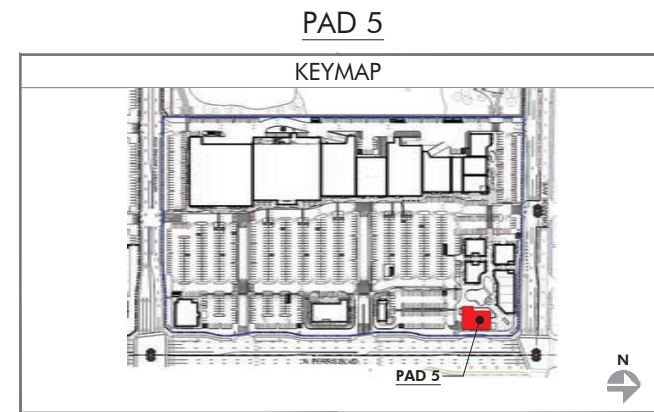
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FLOOR PLAN LEGEND	
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	(N) STRUCTURAL COLUMNS.
	EXIT SYMBOL, ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR ± 0.000 11.10	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
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PROPOSED FLOOR PLAN (PAD 5)
SCALE: 3/32" = 1'-0"

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PROPOSED FLOOR PLAN

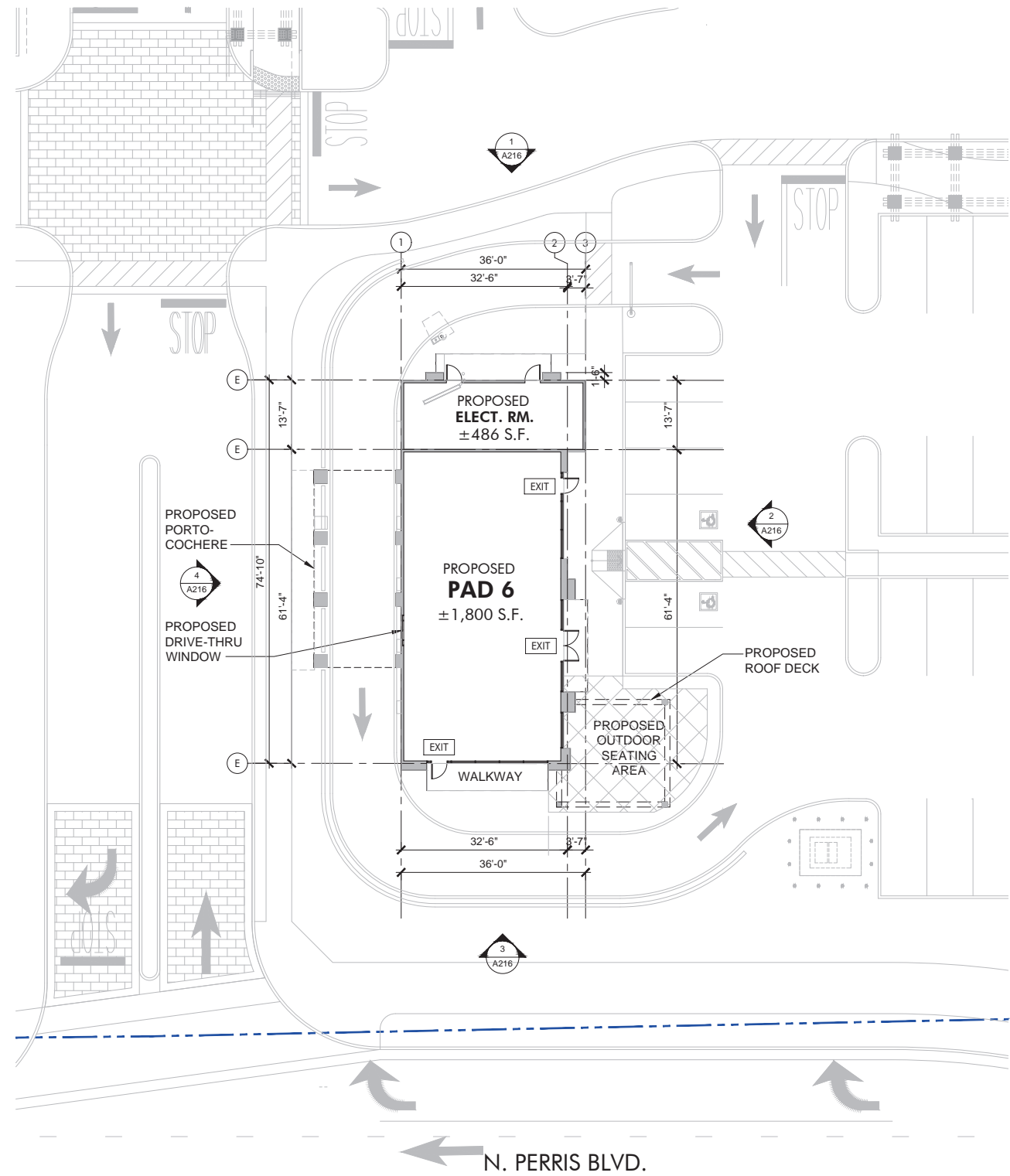
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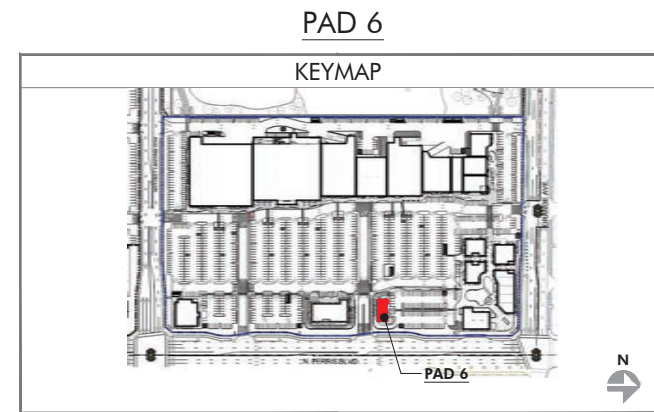
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FLOOR PLAN LEGEND	
	ELEVATION SHEET NUMBER ELEVATION NUMBER
	(N) STRUCTURAL COLUMNS.
	EXIT SYMBOL, ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR ± 0.000 11.10'	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	EXTERIOR WALL



PROPOSED FLOOR PLAN (PAD 6)
SCALE: 3/32" = 1'-0"

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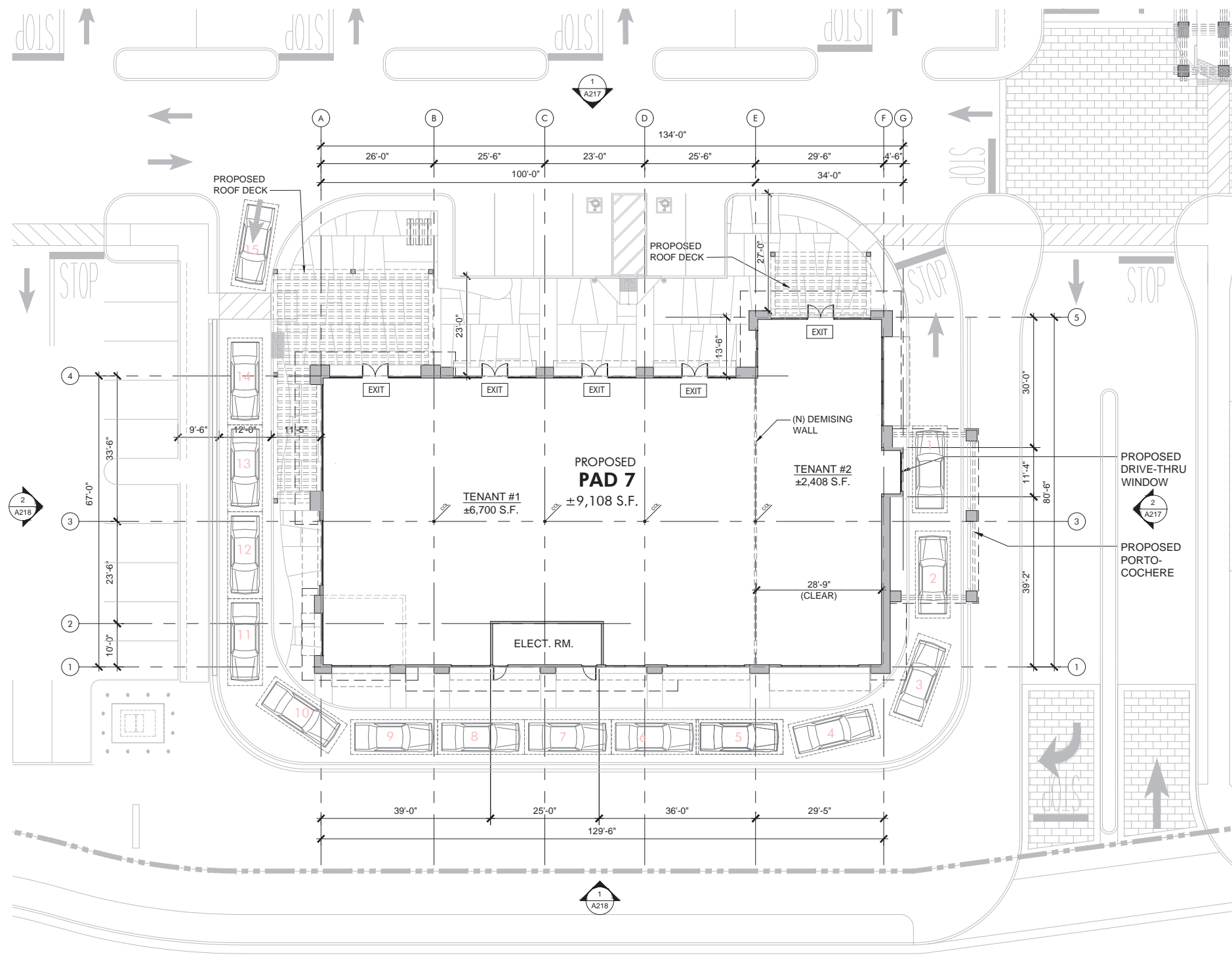
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PROPOSED FLOOR PLAN
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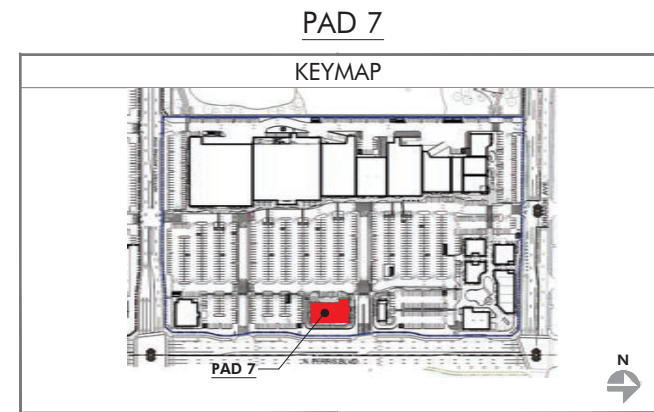
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FLOOR PLAN LEGEND	
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	(N) STRUCTURAL COLUMNS.
	EXIT SYMBOL, ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR ± 0.000 11.10	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	EXTERIOR WALL



PROPOSED FLOOR PLAN (PAD 7)
SCALE: 3/32" = 1'-0"

HIP So-Cal Properties LLC
2244 N. Pacific Street
Orange, CA 92865
TEL. (714) 637-3333



AZURE DEVELOPMENT CO.
944 South Greenwood Avenue
Montebello, CA 90640
TEL. (310) 467-7408



Harvest Landing Retail Center & Business Park
SWC Perris Blvd. & Orange Ave., Perris CA 92571

PROPOSED FLOOR PLAN

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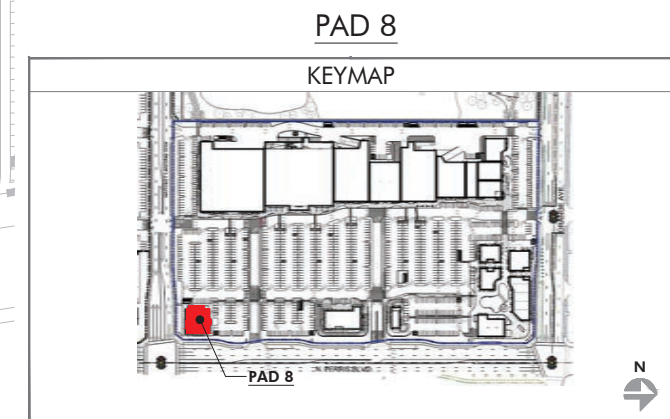
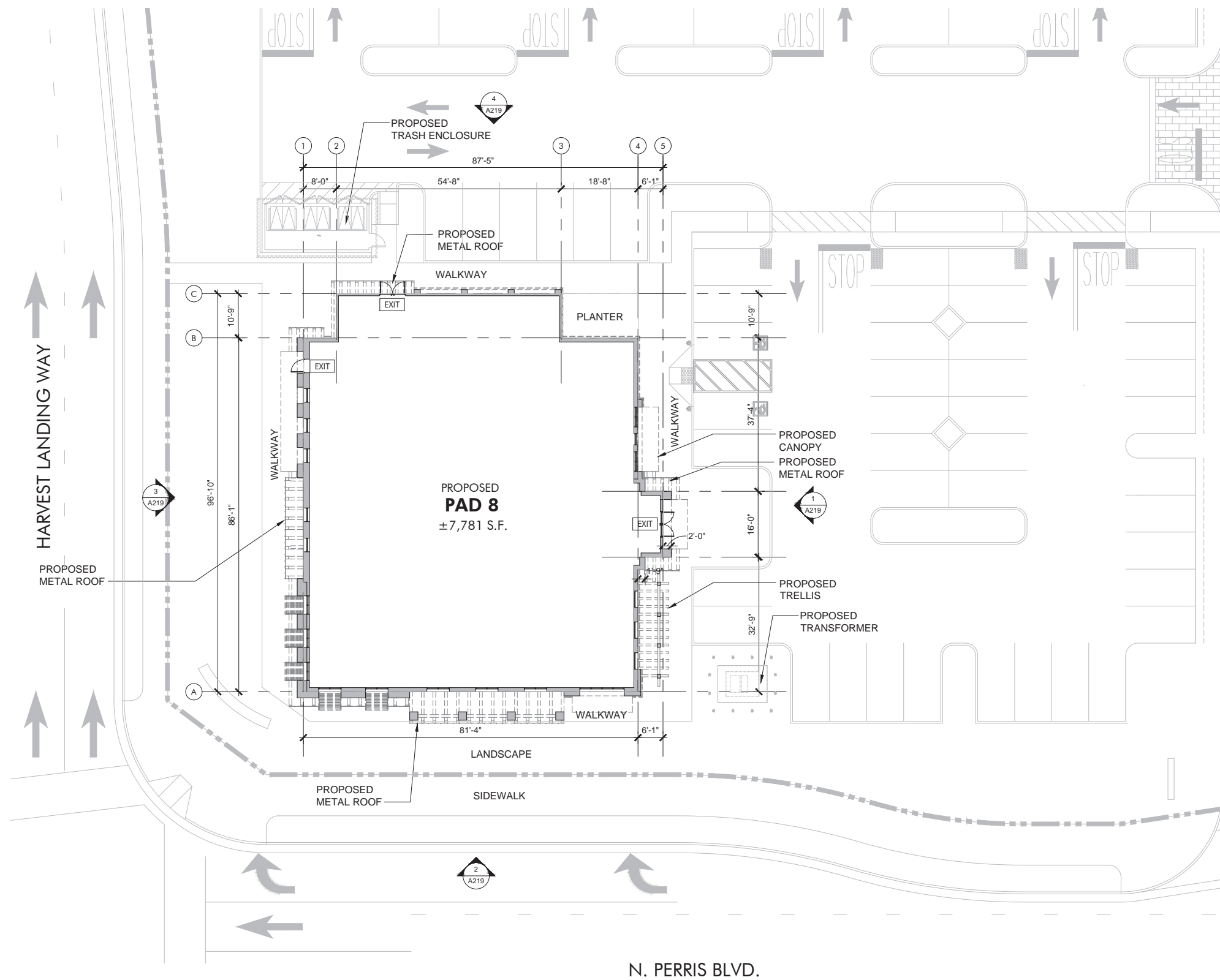
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FLOOR PLAN LEGEND	
	ELEVATION SHEET NUMBER ELEVATION NUMBER
	(N) STRUCTURAL COLUMNS.
	EXIT SYMBOL, ILLUMINATED EXIT SIGN WITH EMERGENCY BACK-UP POWER.
SALES FLOOR ± 0.000 11.10'	ROOM NAME AREA SQUARE FOOTAGE FINISH FLOOR ELEVATION
	MODULAR STOREFRONTS
	EXTERIOR WALL



PROPOSED FLOOR PLAN (PAD 8)
SCALE: 3/32" = 1'-0"

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