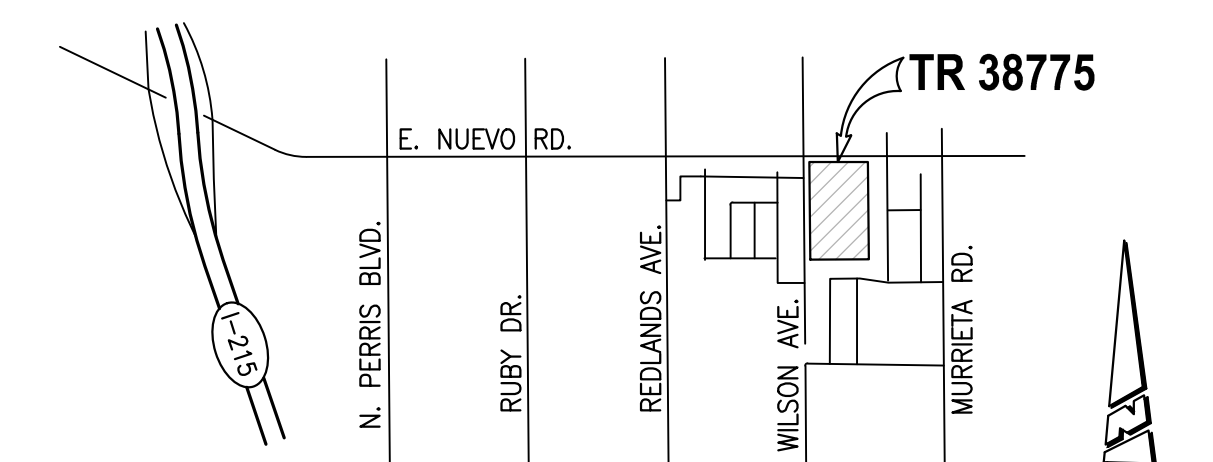
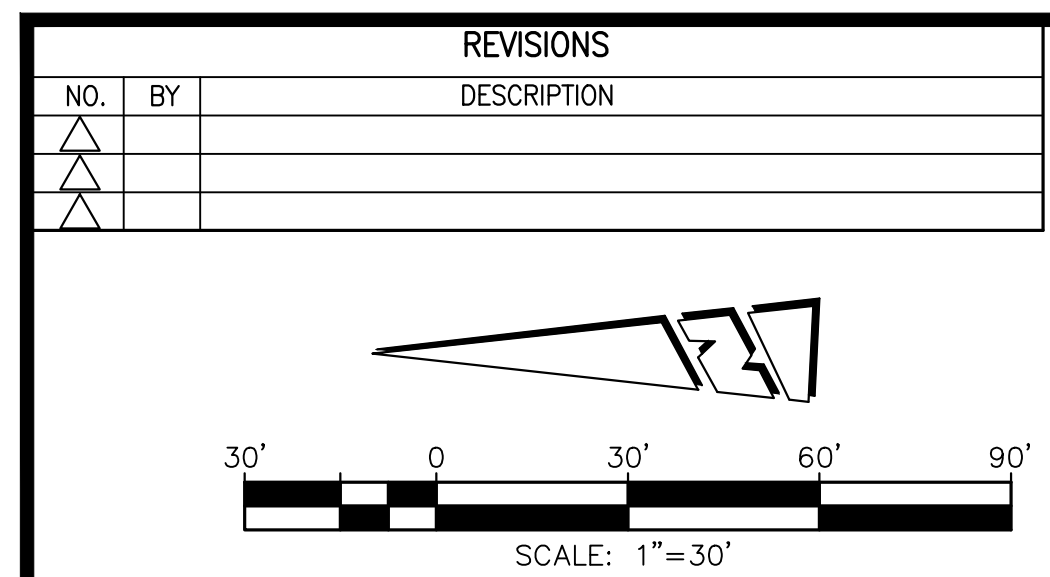


TENTATIVE TRACT MAP 38775

(FOR CONDOMINIUM PURPOSES)

LOTS 1 THROUGH 57 OF TRACT NO. 31651, AS PER MAP ON FILE IN BOOK 419, PAGES 12-14 OF MAPS, RECORDS OF RIVERSIDE COUNTY, STATE OF CALIFORNIA, LYING WITHIN SECTION 29 T.4S., R.3W. S.B.B.&M



VICINITY MAP
(SECTION 29, T. 4 S., R. 3 W., S.B.B.&M.)
N.T.S.

ASSESSOR'S PARCEL TABLE

311-161-001	311-161-016	311-161-030	311-162-009
311-161-002	311-161-017	311-161-031	311-162-010
311-161-003	311-161-018	311-161-032	311-162-011
311-161-004	311-161-019	311-161-033	311-162-012
311-161-005	311-161-020	311-161-034	311-162-013
311-161-006	311-161-021	311-161-035	311-162-014
311-161-007	311-161-022	311-162-001	311-162-015
311-161-008	311-161-023	311-162-002	311-162-016
311-161-009	311-161-024	311-162-003	311-162-017
311-161-010	311-161-025	311-162-004	311-162-018
311-161-011	311-161-026	311-162-005	311-162-019
311-161-012	311-161-027	311-162-006	311-162-020
311-161-013	311-161-028	311-162-007	311-162-021
311-161-014	311-161-029	311-162-008	311-162-022
311-161-015	311-161-030	311-162-009	311-162-023

UTILITY PURVEYORS

WATER: EASTERN MUNICIPAL WATER DISTRICT
SEWER: EASTERN MUNICIPAL WATER DISTRICT
STORM DRAIN: CITY OF PERRIS
ELECTRIC: SOUTHERN CALIFORNIA EDISON CO.
GAS: SOUTHERN CALIFORNIA GAS CO.
TELEPHONE: VERIZON
TELEVISION: VERIZON

LEGEND:

- CENTERLINE
- - - TRACT BOUNDARY
- XXX CONTOUR LINE
- - - INDICATES SETBACK LINE
- BSL INDICATES BUILDING SETBACK LINE
- PROPOSED RETAINING WALL
- ① CONDOMINIUM UNIT NUMBER
- SD PROP. STORM DRAIN
- W PROP. POTABLE WATER MAIN
- S PROP. SEWER LINE
- P PARKING STALL
- FF FINISHED FLOOR
- P PAD ELEVATION

FLOOD ZONE DESIGNATION

ZONE X, MAP PANEL #0605C1440H
EFFECTIVE DATE: AUGUST 18, 2014
AREA OF 0.2% ANNUAL FLOOD CHANCE; OF 1% ANNUAL FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

LEGAL DESCRIPTION:

LOTS 1 - 57, OF TRACT NO. 31651, AS PER MAP FILED IN BOOK 419, PAGES 12-14, OF MAPS, RECORDS OF RIVERSIDE COUNTY, IN THE CITY OF PERRIS, STATE OF CALIFORNIA.

GENERAL NOTES:

- MAP PREPARATION DATE: 7/2/2024 (REVISED 7/2/2025)
 - TOTAL SITE ACREAGE: 11.82 ACRES GROSS
 - ZONING DATA:
EXISTING: R-6,000 (SINGLE FAMILY RESIDENTIAL)
PROPOSED: PDD (PLANNED DEVELOPMENT OVERLAY)
 - GENERAL PLAN DATA:
EXISTING: MDR (MEDIUM DENSITY RESIDENTIAL, 7 DU/AC)
PROPOSED: MFR (MULTI-FAMILY RESIDENTIAL, 14 DU/AC)
 - PROPOSED LOT DATA:
- | LOT # | AREA (AC.) | DESCRIPTION |
|-------|------------|--------------------------------------|
| A | 10.19 | 141 SINGLE FAMILY TOWNHOMES |
| B | 0.68 | OPEN SPACE/DRAINAGE MITIGATION BASIN |
| C | 0.61 | OPEN SPACE/DRAINAGE MITIGATION BASIN |
| D | 0.05 | CFD LANDSCAPE LOT (NUEVO RD) |
| E, F | 0.10 | CFD LANDSCAPE LOTS (WILSON AVE) |
- TOPOGRAPHY SOURCE: AEROTECH MAPPING, INC. DATED 12/2020
 - BOUNDARY DATA SHOWN HEREON IS BASED ON A FIELD BOUNDARY SURVEY CONDUCTED IN 12/2020.
 - PRELIMINARY EARTHWORK QUANTITIES (EXCLUDED REMEDIAL GRADING):
CUT: 29,000 C.Y.
FILL: 29,000 C.Y.
 - THE PROPERTY IS CURRENTLY VACANT AND UNDEVELOPED.
 - SEWER AND WATER SERVICE FOR THE SITE WILL BE PROVIDED BY E.M.W.D.
 - THE TENTATIVE MAP INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF THE LAND DIVIDER.
 - THE SITE IS NOT WITHIN A COUNTY SERVICE AREA (CSA).
 - THE SITE IS NOT WITHIN A FAULT ZONE.
 - THE SITE HAS A MODERATE POTENTIAL FOR LIQUEFACTION.
 - THE SITE IS DESIGNATED AS NON-VERY HIGH FIRE HAZARD SEVERITY ZONE (NON-VHFHSZ) PER CAL FIRE HAZARD SEVERITY ZONE MAP 10: FHSZ1-C33-MENEFEE
 - PER RIVERSIDE COUNTY GIS DATA

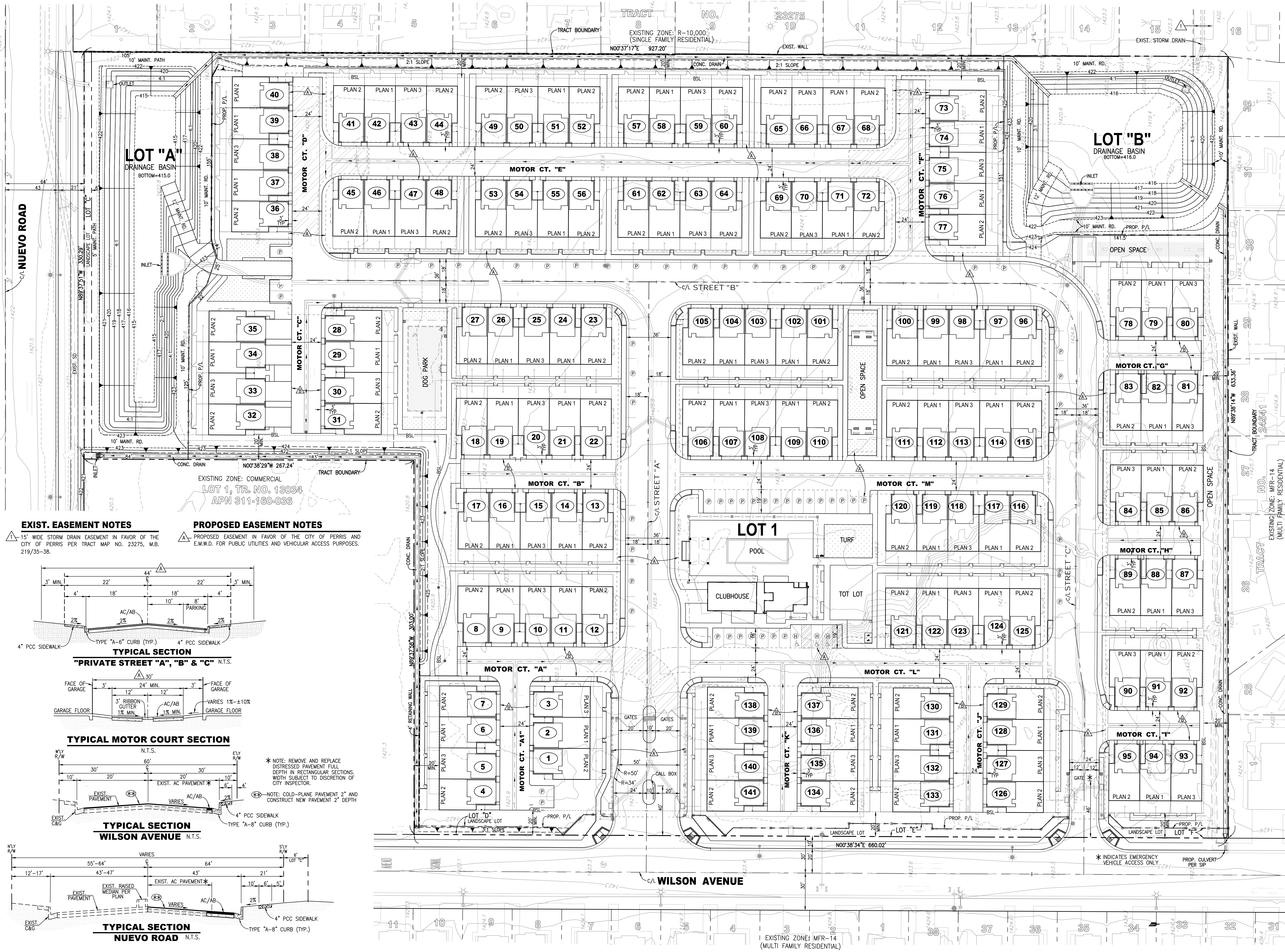
PREPARED BY (ENGINEER):
SP2 & Co.
A LAND DEVELOPMENT SERVICES COMPANY
451 W. LANCASTER ROAD, SUITE 216
BREA, CA 92822
PHONE: (714) 490-1500
CONTACT: HENRY LOZANO

LANDSCAPE ARCHITECT:
SJA
7859 SITO COCO
CARLSBAD, CA 92009
PHONE: (949) 276-6500
CONTACT: JACK NORTON

ARCHITECT:
WHA
680 NEWPORT CENTER DRIVE #300
NEWPORT BEACH, CA 92660
PHONE: (949) 250-0607

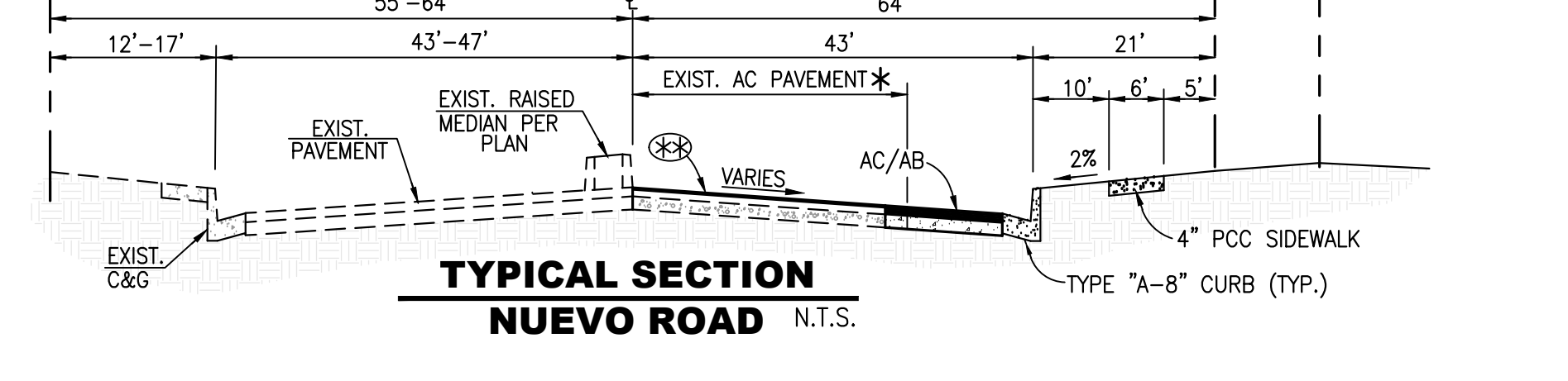
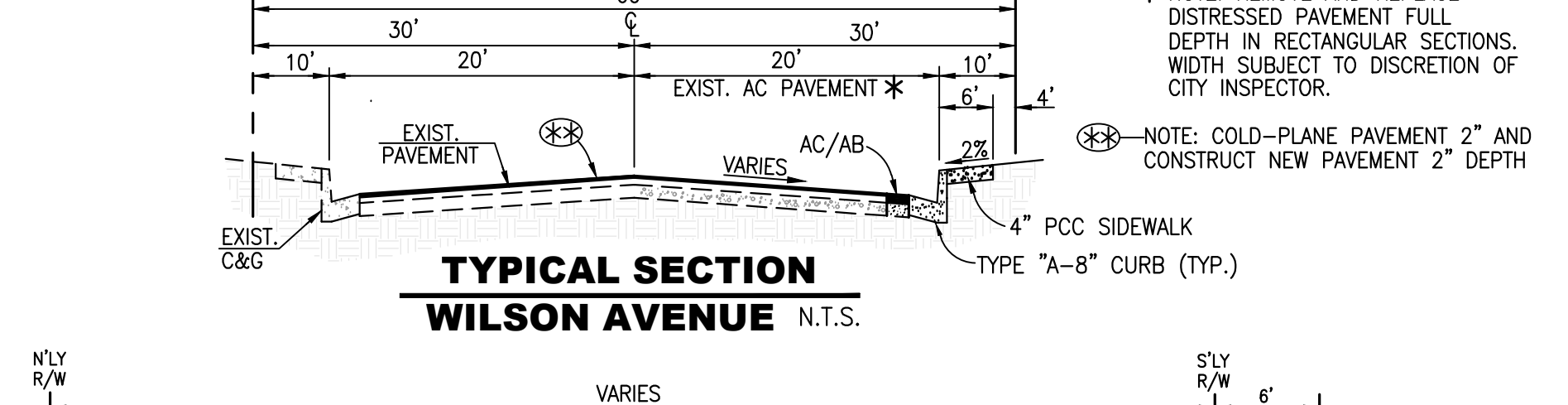
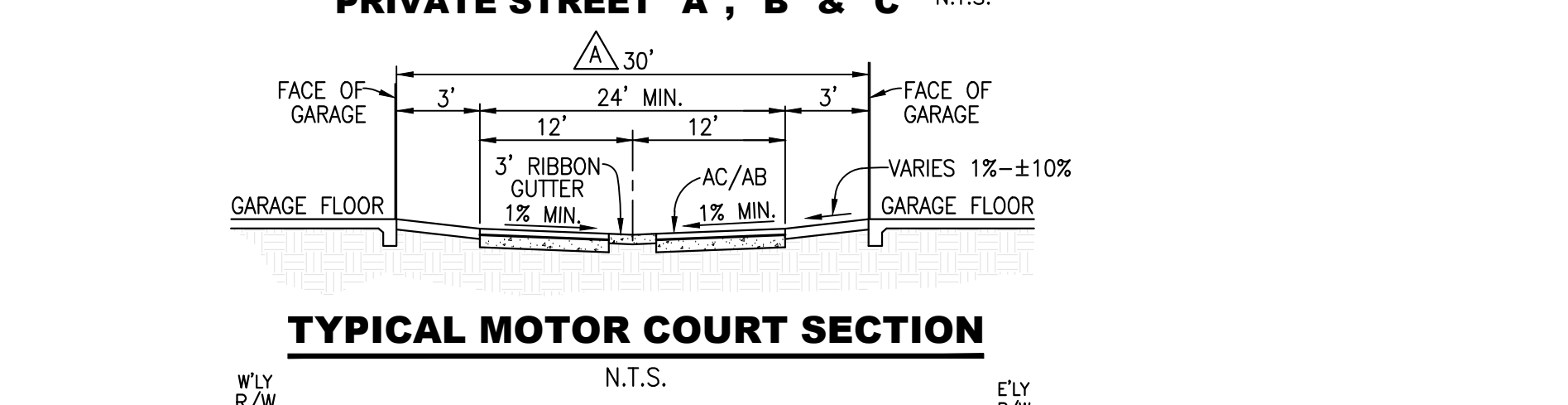
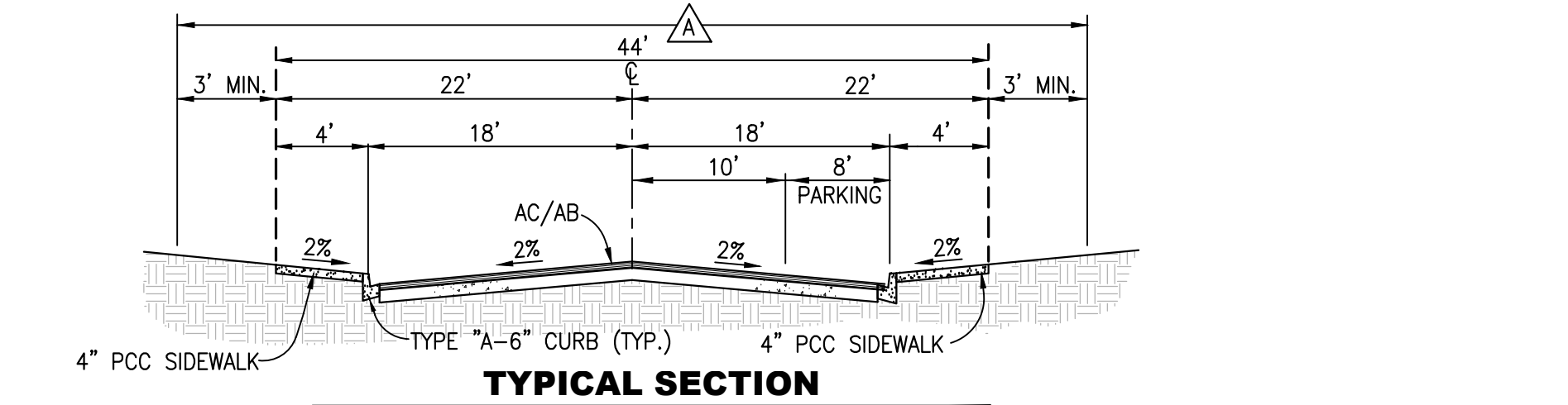
PREPARED FOR (OWNER/APPLICANT):
DR-HORION
America's Builder
SOUTH COAST INLAND EMPIRE DIVISION
980 MONTEVITO DRIVE, SUITE 300
CORONA, CALIFORNIA 92629
(951) 272-9000

SHEET INDEX:
SHEET 1: TENTATIVE TRACT MAP 38775
SHEET 2: CONCEPTUAL GRADING AND UTILITY PLAN



EXIST. EASEMENT NOTES
15' WIDE STORM DRAIN EASEMENT IN FAVOR OF THE CITY OF PERRIS PER TRACT MAP NO. 23275, M.B. 219/35-38.

PROPOSED EASEMENT NOTES
PROPOSED EASEMENT IN FAVOR OF THE CITY OF PERRIS AND E.M.W.D. FOR PUBLIC UTILITIES AND VEHICULAR ACCESS PURPOSES.

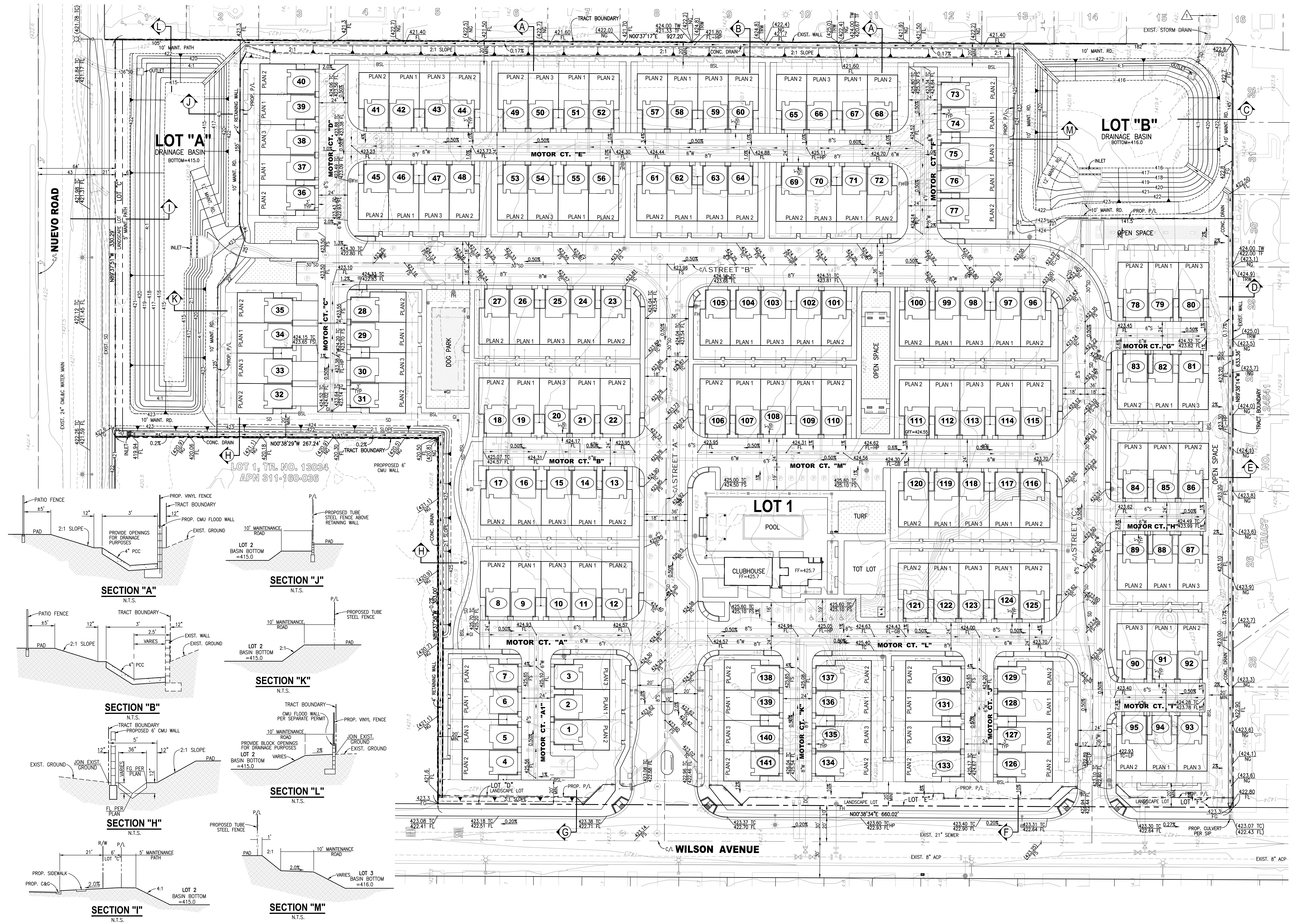
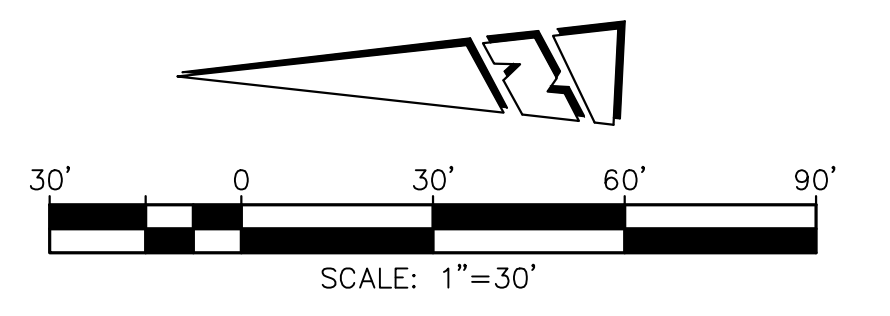


* NOTE: REMOVE AND REPLACE DISTRESSED PAVEMENT FULL DEPTH IN RECTANGULAR SECTIONS. WIDTH SUBJECT TO DISCRETION OF CITY INSPECTOR.
* NOTE: COLD-PLANE PAVEMENT 2\"/>

* INDICATES EMERGENCY VEHICLE ACCESS ONLY

NO.	BY	REVISIONS DESCRIPTION

CONCEPTUAL GRADING & UTILITY PLAN TENTATIVE TRACT MAP 38775



LEGEND:

- CENTERLINE
- TRACT BOUNDARY
- CONTOUR LINE
- INDICATES SETBACK LINE
- BSL --- INDICATES BUILDING SETBACK LINE
- ① PROPOSED RETAINING WALL
- 1 CONDOMINIUM UNIT NUMBER
- SD PROP. STORM DRAIN
- W PROP. POTABLE WATER MAIN
- S PROP. SEWER LINE
- P PARKING STALL
- FF FINISHED FLOOR PAD ELEVATION
- CL CENTERLINE
- EXIST. EXISTING
- C&G CURB AND GUTTER
- GB GRADE BREAK
- HP HIGH POINT
- LP LOW POINT
- FL FLOW LINE
- EP EDGE OF PAVEMENT
- R/W RIGHT OF WAY
- PROP. PROPOSED
- EVA EMERGENCY VEHICULAR ACCESS
- CMU CONCRETE MASONRY UNIT
- NG NATURAL GRADE
- TC TOP OF CURB
- FG FINISHED GRADE
- TW TOP OF WALL
- INV INVERT ELEVATION
- HP HIGH POINT
- P/L PROPERTY LINE
- LP LOW POINT
- CB CATCH BASIN
- BSL BUILDING SETBACK LINE
- FW FIRE HYDRANT
- SL STREET LIGHT

