

CUP 24-05152



NEW BUILDING WITH DRIVE-TROUGH
229 OLD NUEVO ROAD
PERRIS, CA 92571

GENERAL NOTES

- 1. ALL WORK, INCLUDING MATERIALS AND WORKMANSHIP, SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES, LAWS, AND ORDINANCES AND AS SPECIFIED BY ALL GOVERNING AUTHORITIES WHERE APPLICABLE. REFERENCE IS TO THE LATEST ACCEPTED EDITION OR REVISION. IN THE EVENT OF CONFLICT WITH CODE REQUIREMENTS, THAT CODE REQUIREMENT OR NOTE WHICH ESTABLISHES THE HIGHER STANDARD SHALL TAKE PRECEDENCE.
2. THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS, EQUIPMENT, AND TRANSPORTATION NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK.
3. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING ANY PORTION OF THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING WORK. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWING IS IN DOUBT OR WHERE THERE IS A DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND THE FIELD CONDITIONS, OR WITHIN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING IMMEDIATELY FOR CLARIFICATION.
4. DIMENSIONS ARE FROM FINISHED FACE OF WALL OR TO CENTER OF WALL AS INDICATED ON DRAWINGS, UNLESS NOTED OTHERWISE.
5. WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. WALLS NOT DIMENSIONED ARE TO ALIGN WITH EXISTING WALL OR BE ABUTTED OR APPLIED TO EXISTING WALL PER DRAWINGS. DOOR NOT DIMENSIONED AND SHOWN JAMB TIGHT SHALL BE SET 3" FROM PERPENDICULAR WALL TO OUTER EDGE OF DOOR JAMB.
6. REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAILS OR DRAWINGS.
7. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE AND PROVIDE NECESSARY BRACING PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
8. THE STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AS WELL AS THE DRAWINGS OF OTHER CONSULTANTS, ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF WORK SHOWN ON THE DRAWINGS OF CONSULTANTS. THE CONTRACTOR SHALL BRING ANY DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE DRAWINGS OF THE CONSULTING ENGINEERS TO THE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS AND NOT BROUGHT TO THE ARCHITECT'S ATTENTION SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
9. PRIOR TO PERFORMANCE OF WORK, THE CONTRACTOR SHALL REQUIRE EACH SUBCONTRACTOR TO NOTIFY THE CONTRACTOR OF ANY WORK CALLED OUT IN THE DRAWINGS FOR HIS TRADE THAT CANNOT BE FULLY GUARANTEED.
10. CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF ALL OPENINGS WITH ALL DRAWINGS AND MANUFACTURED ITEMS WHERE APPLICABLE.
11. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF ACTS OR OMISSION OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
12. THE CONTRACTOR HEREIN AGREES TO REPAIR OR REPLACE ANY OR ALL WORK, TOGETHER WITH ANY OTHER ADJACENT WORK WHICH MAY BE DISPLACED IN CONNECTION WITH SUCH REPLACEMENT, THAT MAY PROVE TO BE DEFECTIVE IN WORKMANSHIP OR MATERIALS WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, ORDINARY WEAR AND UNUSUAL ABUSE OR NEGLIGENCE EXCEPTED.
13. CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, LANDSCAPING, MATERIALS, ETC., DURING CONSTRUCTION. CONTRACTOR SHALL PATCH AND REPAIR ALL SURFACES DISRUPTED OR DAMAGED DURING CONSTRUCTION TO MATCH EXISTING ADJACENT SURFACES.
14. THE CONTRACTOR SHALL ON A DAILY BASIS KEEP THE PREMISES FREE FROM ALL ACCUMULATIONS OF WASTE MATERIAL OR RUBBISH CAUSED BY HIS EMPLOYEES, SUBCONTRACTORS, OR WORK, AND AT THE COMPLETION OF THE WORK SHALL REMOVE ALL RUBBISH, DEBRIS, EQUIPMENT, AND SURPLUS MATERIALS FROM IN AND ABOUT THE BUILDING AND LEAVE THE PREMISES "BROOM CLEAN".
15. ANY DEVIATION FROM THE CONSTRUCTION DOCUMENTS OR SPECIFICATIONS BY THE CONTRACTOR OR OWNER WITHOUT THE ARCHITECT'S APPROVAL IN WRITING RELEASES THE ARCHITECT OF RESPONSIBILITY AND LIABILITY IN CONNECTION WITH ALL WORK SO INVOLVED.
16. CLARIFICATIONS ON AND/OR INCONSISTENCIES WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. ADDITIONAL CHARGES WILL NOT BE GRANTED BASED ON INCOMPLETE, INACCURATE, OR INCONSISTENT DRAWINGS AND SPECIFICATIONS.
17. THE ARCHITECT SHALL REVIEW OR TAKE OTHER APPROPRIATE ACTION UPON CONTRACTOR'S SUBMITTALS SUCH AS SHOP DRAWINGS, PRODUCT DATA AND SUBMITTALS SUCH AS SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, BUT SHALL DO SO ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH INFORMATION GIVEN AND THE DESIGN CONCEPT EXPRESSED IN THE CONTRACT DOCUMENTS. REVIEW OF SUCH SUBMITTALS IS NOT CONDUCTED FOR THE PURPOSE OF DETERMINING THE ACCURACY AND COMPLETENESS OF OTHER DETAILS SUCH AS DIMENSIONS AND QUANTITIES OR FOR SUBSTANTIATING INSTRUCTIONS FOR INSTALLATION OR PERFORMANCE OF EQUIPMENT OF SYSTEMS, ALL OF WHICH REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT'S REVIEW SHALL NOT BE A REVIEW SHALL NOT CONSTITUTE ACCEPTANCE OF SAFETY PRECAUTIONS OR, UNLESS OTHERWISE SPECIFICALLY STATED BY THE ARCHITECT, OF ANY CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES.

PROJECT DIRECTORY

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ABBREVIATIONS

Table with 4 columns: A.C.T., A.F.F., ALUM., B.L.K.G., B.M., B.O., C.C., C.F.C.I., C.J., C.L., C.L.R., C.M.U., C.M.C., COL., C.T., D.F., DIA., DIM., D.B.L., (E), E.J., ELEV., EQ., EXT., F.D., FIN., F.G., FLR., F.S., F.O.S., FIN.S., F.R.A., FSM, F.V., GA., GALV., G.C., G.L.S., GYP. BD., HT., H.M., IBC, IFC, J.T., M.D.F., M.E.P., M.F.D., M.F.R., M.T.D., M.T.L., N.I.C., (A), N.T.S., O.C., O.F.C.I., O.M., O.P.P., O.P.N.G., O.T.O., P.D., P.L., P.L.A.M., PLY.WVD., RAD., (R), R.C.A., R.I., REQ'D, R.O., S.C., S.F., SHT., SIM., SPEC., SERV. SINK, STR., SUSP., T.B.D., T.O.C., T.O.M., T.O.P., T.O.S., T.O.W., T.O.S.F., T.S., TYP., UBC, U.F.C., U.J.L., U.N.O., V.A.R., V.C.T., VEST., V.I.F., W.C., W.D., W.H., W/

VICINITY MAP



PROJECT DATA

PROJECT NAME: BETTER BUZZ COFFEE ROASTERS WITH DRIVE THROUGH AND PATIO DINING
PROJECT ADDRESS: 229 OLD NUEVO ROAD - PERRIS, CA 92571
APN: 311-050-053
APPLICABLE CODE: 2022 CALIFORNIA BUILDING CODE (CBC), 2022 CALIFORNIA MECHANICAL CODE (CMC), 2022 CALIFORNIA PLUMBING CODE (CPC), 2022 CALIFORNIA ELECTRICAL CODE (CEC), 2022 CALIFORNIA ENERGY CODE, 2022 CALIFORNIA FIRE CODE, 2022 CALIFORNIA GREEN BUILDING STANDARDS AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA AND THE CITY OF PERRIS
ZONING: CC, COMMERCIAL COMMUNITY
PLANNED LAND USE: CC, COMMERCIAL COMMUNITY
FULL SITE AREA: 1.21 ACRES
GROUND LEASE AREA: 27,575 SQ. FT. OR 0.633 ACRES
BUILDING AREA: 1,727 SF, 1,741 SF GROSS, 1,889 SF GROSS WITH AWNINGS/CANOPIES
PATIO AREA (UNCOVERED): 343 SF
PERCENT COVERAGES: BUILDING 1,727 SF / 27,575 SF = 6%, HARDSCAPE (ASPHALT/CONCRETE) 17,943 SF / 27,575 SF = 65%, LANDSCAPE 7,905 SF / 27,575 SF = 29%
BUILDING CONSTRUCTION: V-B, NON-SPRINKLERED
OCCUPANCY USE: RESTAURANT
EXISTING / PREVIOUS USE: CURRENTLY EMPTY LOT
OCCUPANCY CLASSIFICATION: B (ASSEMBLY WITH OCCUPANCY LESS THAN 50 AND SQUARE FOOTAGE LESS THAN 2,500 IN AREA)
BUILDING OCCUPANT LOAD: 49
BUILDING HEIGHT: 21'-9"
PARKING REQUIREMENTS: (REFER TO AS1.0 OVERALL SITE PLAN SHEET)

SCOPE OF WORK

THIS PROJECT IS A FULL DEVELOPMENT SITE AND BUILDING FOR A NEW BETTER BUZZ COFFEE ROASTERS RESTAURANT WITH DRIVE-THROUGH. IMPROVEMENTS INCLUDE SITE UTILITIES TO THE PAD, PAD FLATWORK AND LANDSCAPING, A NEW 1,741 S.F. SINGLE STORY RESTAURANT WITH PATIO, AND A DRIVE-THROUGH LANE. ALL MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL IS INCLUDED.

SEPARATE SUBMITTAL

- EXTERIOR SIGNAGE

DEFERRED SUBMITTAL

- FIRE SUPPRESSION SYSTEM FOR TYPE II HOOD
SOLAR PANEL FOR EV CHARGING STATION

PLANS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER BUT NOT LESS THAN 30 BUSINESS DAYS PRIOR TO INSTALLATION. ALL COMMENTS RELATED TO THE DEFERRED SUBMITTAL MUST BE ADDRESSED TO THE SATISFACTION OF THE PLAN CHECK DIVISION PRIOR TO APPROVAL OF THE SUBMITTAL ITEMS.

I/WE UNDERSTAND THAT I/WE WILL NOT BE AUTHORIZED TO INSTALL DEFERRED ITEMS PROPOSED PRIOR TO THE SUBMITTAL AND APPROVAL OF PLANS AND/OR CALCULATIONS FOR THOSE DEFERRED ITEMS. THE ELEMENTS INSTALLED PRIOR TO CITY APPROVAL MAY BE REQUIRED TO BE REMOVED.

NAME: CONRADO GALLARDO SIGNATURE: [Signature]

ACCESSIBILITY NOTES

I AM THE ARCHITECT IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT. I HAVE INSPECTED THE SITE/PREMISES AND DETERMINED THAT EXISTING CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT SITE ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW.

PRINT NAME: CONRADO GALLARDO DATE: MAY 17, 2024 SIGNATURE: [Signature]

I AM THE ARCHITECT IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT. I HAVE INSPECTED THE TOILET AND BATHING FACILITIES FOR MEN AND WOMEN, DETERMINED THAT EXISTING CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW

PRINT NAME: CONRADO GALLARDO DATE: MAY 17, 2024 SIGNATURE: [Signature]

IF THE CITY BUILDING INSPECTOR DETERMINED NON-COMPLIANCE WITH ANY ACCESSIBILITY PROVISIONS, A COMPLETE AND DETAILED REVISED PLANS CLEARLY SHOWING ALL EXISTING NON-COMPLYING CONDITIONS AND THE PROPOSED MODIFICATIONS TO MEET CURRENT ACCESSIBILITY REQUIREMENTS (INCLUDING SITE PLAN, FLOOR PLANS, DETAILS, ETC.) WILL BE SUBMITTED TO THE DEPARTMENT FOR REVIEW AND APPROVAL

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CIVIL

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C4 DEMOLITION PLAN
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C6 STORM DRAIN AND UTILITY PLAN
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A8.1 MILLWORK DETAILS
A8.2 MILLWORK DETAILS

PHOTOMETRICS

- E-5.1 SITE LIGHTING PHOTOMETRIC

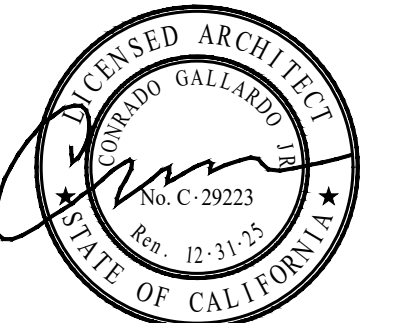
RENDERING

- EXTERIOR RENDERINGS

PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT

- PRECISE GRADING PLANS SHALL BE SUBMITTED AND APPROVED
ROUGH GRADING PLANS SHALL BE SUBMITTED AND APPROVED
COMPACTION MUST BE CERTIFIED
THE PAD ELEVATIONS MUST BE CERTIFIED
THE ROUGH AND FINISHED GRADE MUST BE INSPECTED AND SIGNED OFF

JOB#: 24-2000
STORE#:



PROJECT ARCHITECT

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Better Buzz COFFEE ROASTERS

229 OLD NUEVO ROAD
PERRIS, CA 92571

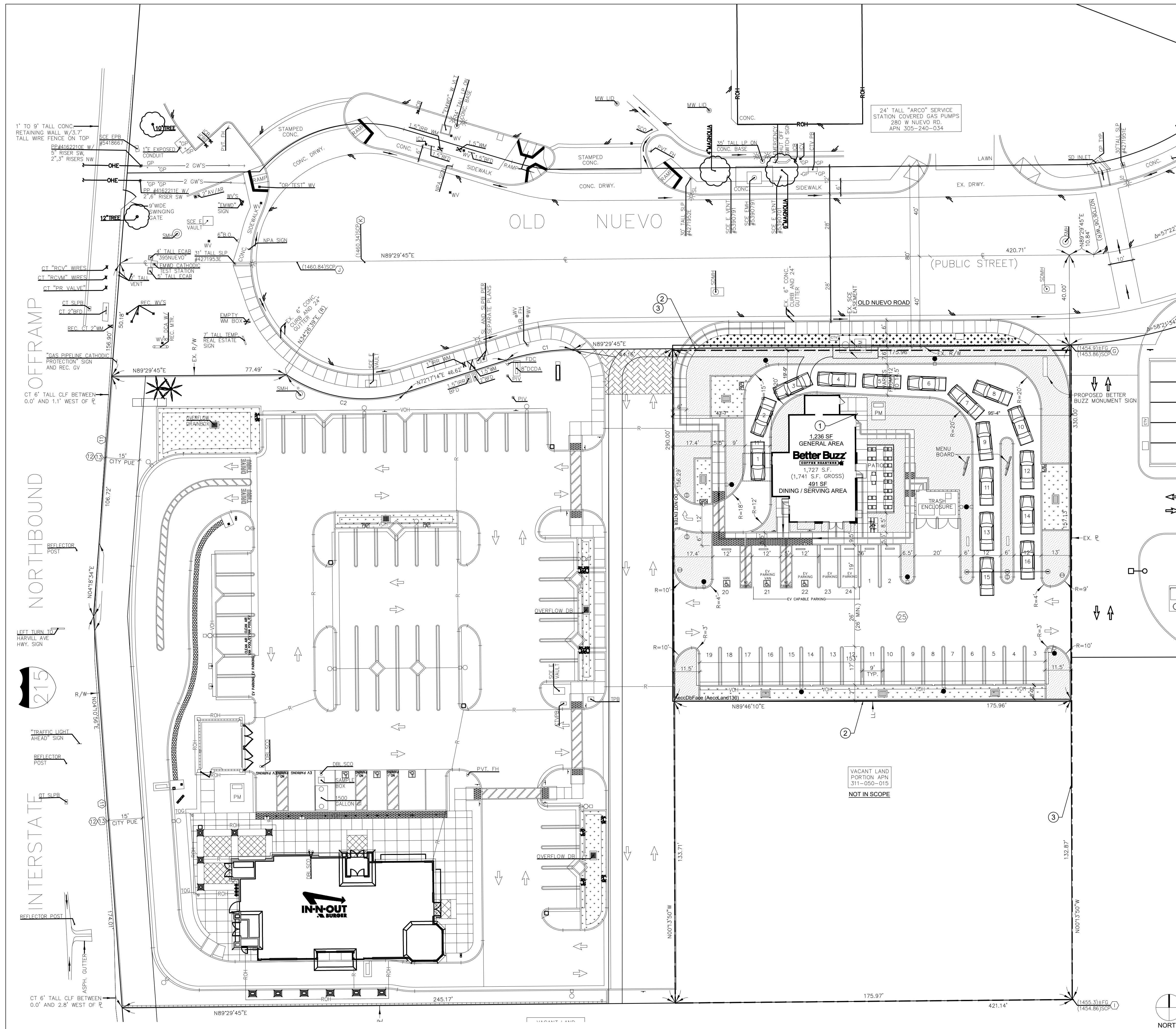
REVISIONS

Table with 2 columns: Description, Date. LL PLANS: 04.11.2024, PERMIT SET: 05.17.2024, CUP REV01: 08.14.2024, CUP REV02: 02.04.2025

COVER SHEET

SHEET NUMBER

A0.0



### SITE PLAN KEY NOTES

- LINE OF GROUND BUILDING LEASE AREA
- LIMIT OF WORK LINE - LEASE LINE
- PROPERTY LINE

### PARKING ANALYSIS

BLDG NET AREA

1 SPACE FOR EVERY 50 SQ FT OF DINING OR SERVING AREA PLUS (10) ADDITIONAL SPACES	9.82
SERVING AREA	491 SF
ADDITIONAL STALLS	10
TOTAL SPACES REQUIRED:	19.82 SPACES

PARKING PROVIDED PER TABLE 11B-208.2: 24 SPACES

STANDARD/VAN HANDICAPPED REQUIRED: 1- ACCESSIBLE PARKING IS REQUIRED

STANDARD/VAN HANDICAPPED PROVIDED: 1- VAN-ACCESSIBLE PROVIDED PER SECTION 11B-208.2.4

PARKING SPACE DIMENSIONS: ALL SPACES 9' X 17'+2" OVERHANG

BICYCLE PARKING, SHORT TERM: 2 PROVIDED

DRIVE-THROUGH STACKING: 16 VEHICLES (8'x20' ALLOWANCE PER VEHICLE)

EV CHARGING PARKING PER 2022 CALGREEN CODE TABLE 5.106.5.3.1

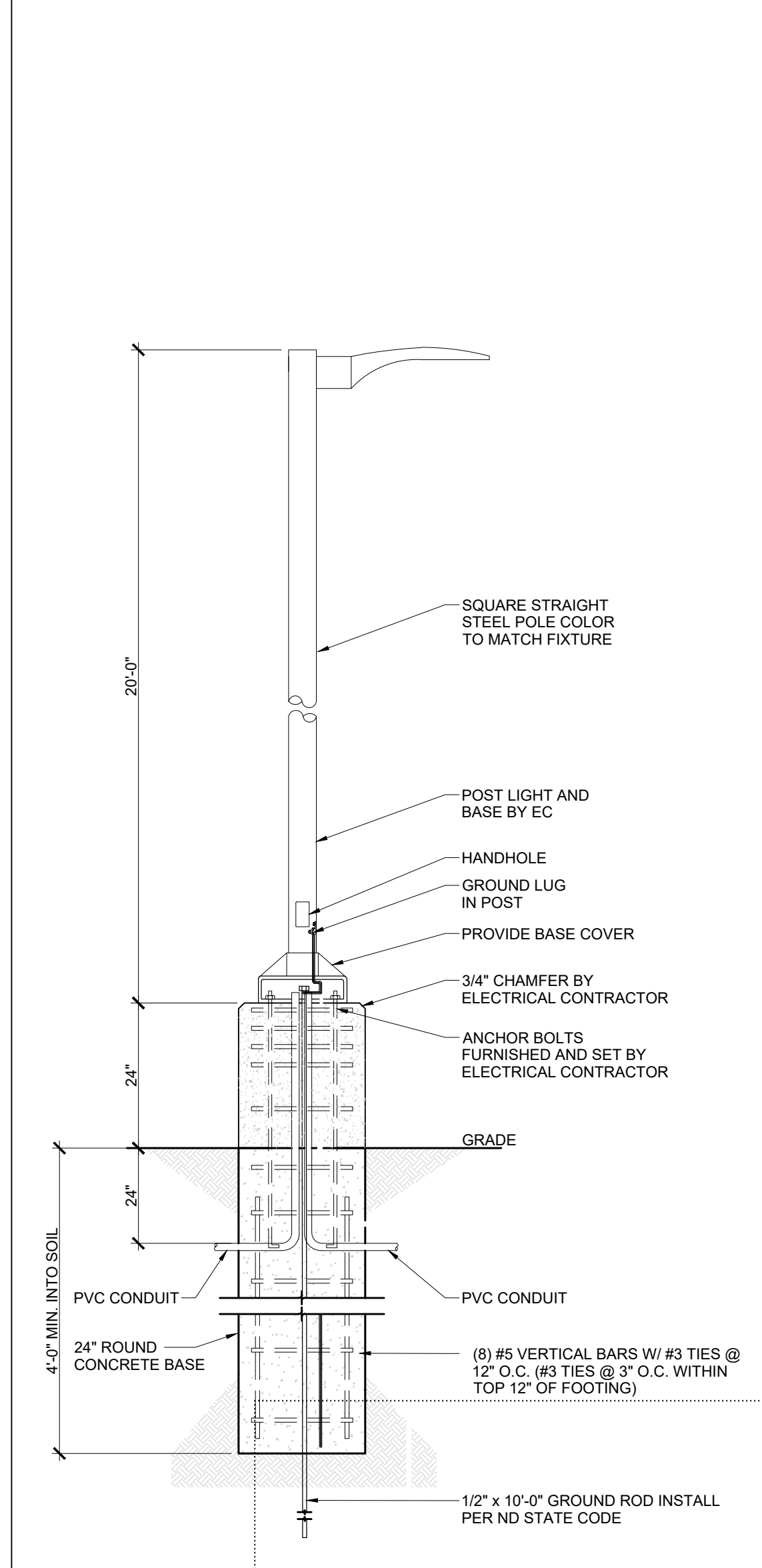
TOTAL NUMBER OF PARKING SPACES:	10-25
NUMBER REQUIRED EV CAPABLE SPACES:	4
EV CAPABLE SPACES PROVIDED:	4

EVCS PARKING PER TABLE 11B-228.3.2.1

TOTAL NUMBER OF EVCS AT FACILITY	1-4 (4 REQ'D)
VAN ACCESSIBLE	1
STANDARD	0

EVCS VAN ACCESSIBLE PROVIDED: 1

EVCS STANDARD ACCESSIBLE PROVIDED: 0



**1 SITE PLAN**  
SCALE: 1" = 10'-0"

**2 POLE BASE DETAIL**  
SCALE: NTS

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STORE#:



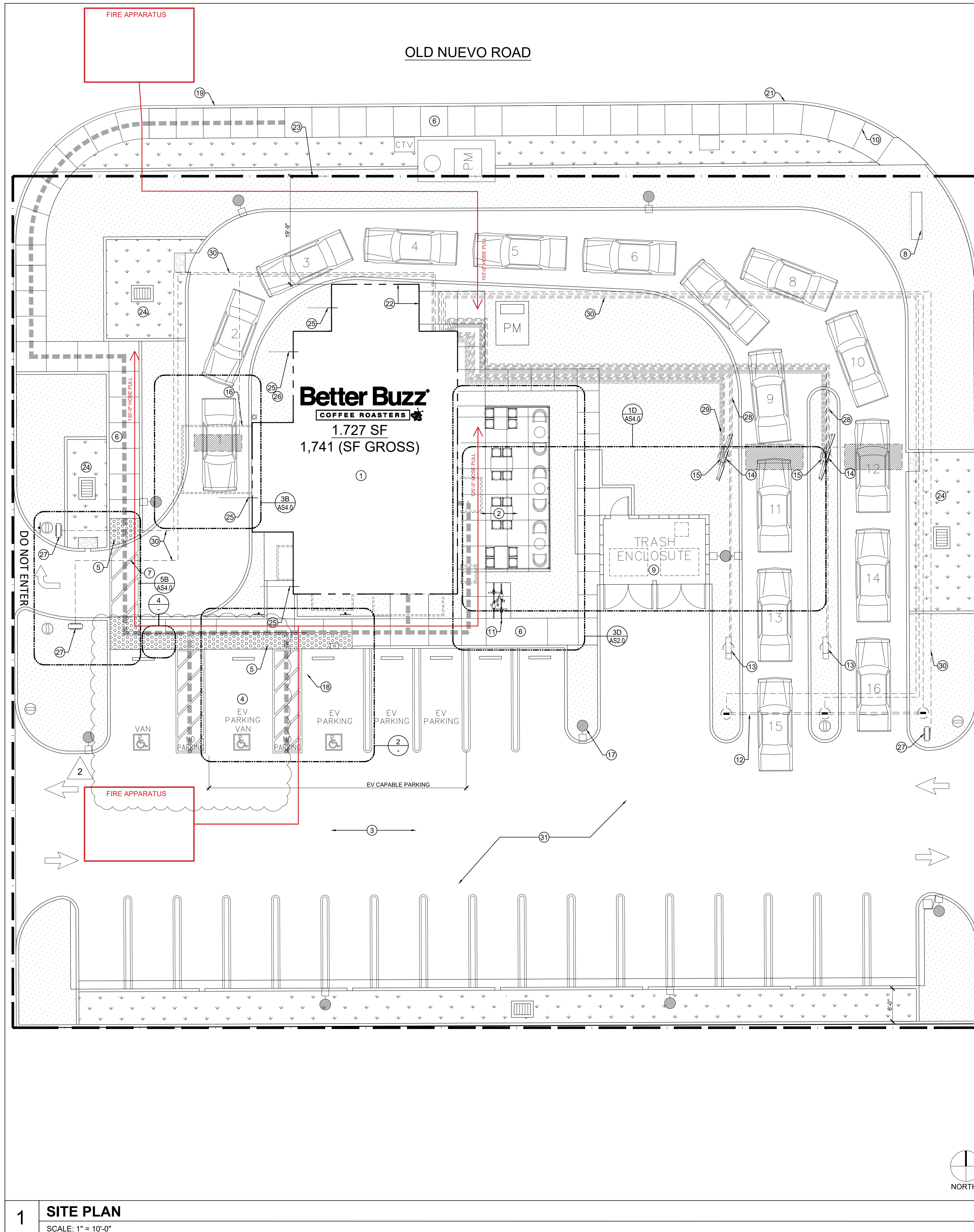
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REVISIONS

LL PLANS:	04.11.2024
PERMIT SET	02.25.2025
CITY COMMENTS:	05.06.2025
CITY COMMENTS:	06.09.2025

OVERALL SITE PLAN  
SHEET NUMBER  
**AS1.0**



**1 SITE PLAN**  
SCALE: 1" = 10'-0"

**4 TRUNCATED DOME DTL.**  
SCALE: N.T.S.

NOTE:  
SIGN TO BE CENTERED AT THE INTERIOR END OF THE PARKING SPACE

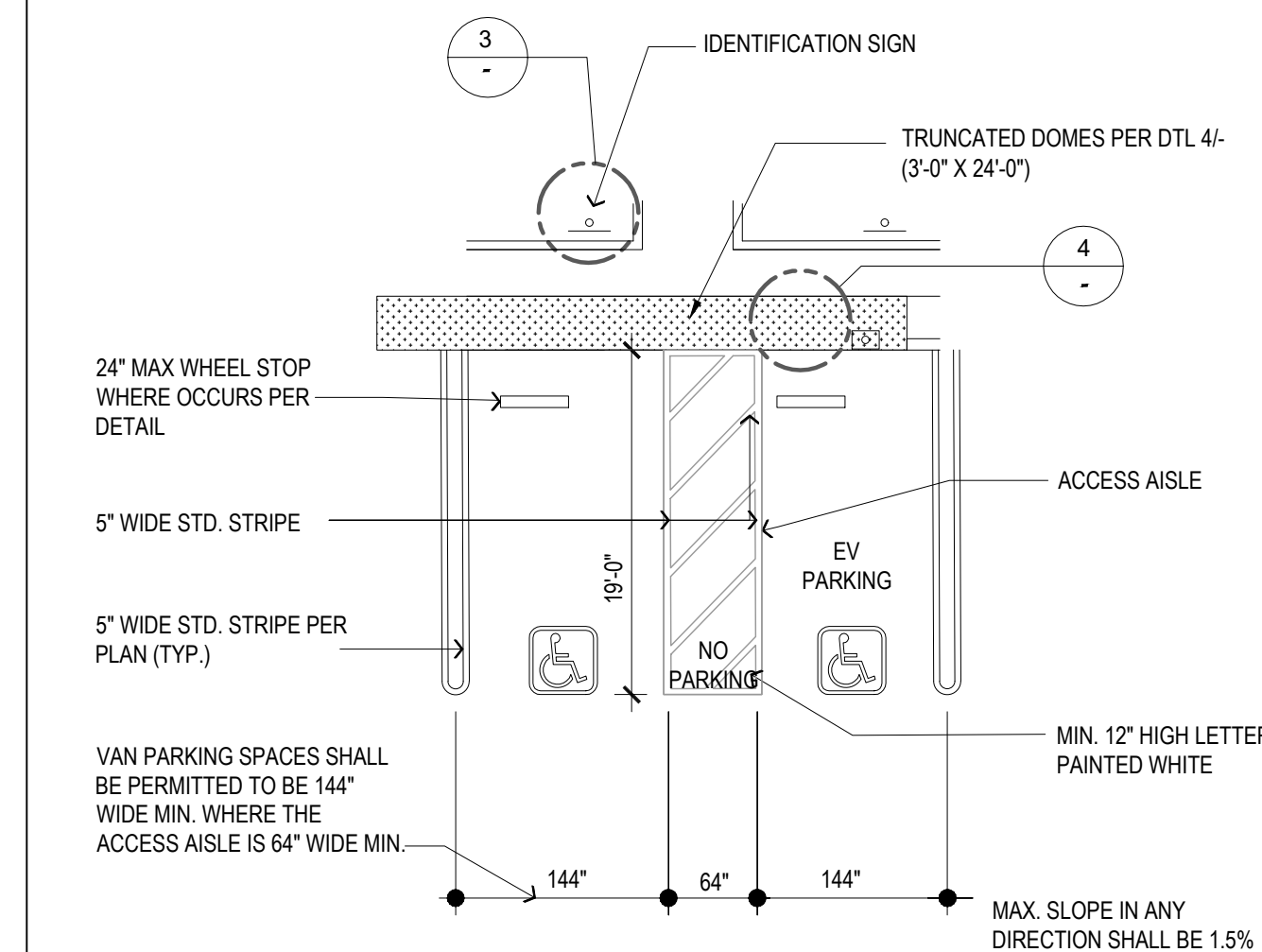
SIGN SHALL BE REFLECTORIZED WITH A MIN. AREA OF 70 SQ INCHES

DESIGNATES FOR "VAN ACCESSIBLE" ONLY WHERE INDICATED ON PLAN

60" MIN. A.F.F. OR GROUND SURFACE MEASURED TO THE BOTT. OF THE SIGN PER CBC 11B-502.6 - SIGNS LOCATED IN AN ACCESSIBLE ROUTE TO BE 80" MIN. A.F.F.

FINISH SURFACE

**3 ACCESSIBLE SIGN**  
SCALE: N.T.S.



**2 ACCESSIBLE PARKING STALL, TYP.**  
SCALE: N.T.S.

**SITE PLAN LEGEND / SYMBOLS**

- ACCESSIBLE PATH OF TRAVEL
- DESIGNATED ACCESSIBLE PARKING

**SITE PLAN KEY NOTES**

- BETTER BUZZ COFFEE ROASTERS BUILDING FOOTPRINT, 1,741 SQUARE FEET
- PROPOSED PATIO
- ASPHALT DRIVE AISLE AND PARKING SPACES
- ACCESSIBLE PARKING WITH STRIPED OFF-LOAD AISLE
- CURB RAMP WITH TACTILE DOME MAT, TYP. SEE DETAIL 2 ON THIS SHEET
- CONCRETE SIDEWALK, TYP.
- PEDESTRIAN CROSSING AT GRADE
- NEW MONUMENT SIGN, UNDER SEPARATE PERMIT
- NEW TRASH ENCLOSURE. SEE SHEET AS4.3
- NEW FIRE HYDRANT
- RIBBON BIKE RACK. SEE SHEET AS4.0
- DRIVE-THROUGH ENTRY HEIGHT RESTRICTION BAR, STEEL AND ALUMINUM, ILLUMINATED, UNDER SEPARATE PERMIT
- DRIVE-THROUGH PRE-MENU BOARD, UNDER SEPARATE PERMIT
- DRIVE-THROUGH MENU BOARD WITH SPEAKERS, UNDER SEPARATE PERMIT
- DRIVE-THROUGH ORDERING STRUCTURE COVER, STEEL AND ALUMINUM, ILLUMINATED, UNDER SEPARATE PERMIT
- DRIVE-THROUGH PICK UP WINDOW METAL CANOPY ABOVE WITH ALUMINUM WOOD, UNDER SEPARATE PERMIT
- SITE LIGHT POLE, TYP
- GREASE INTERCEPTOR, SEE CIVIL PLANS
- EXISTING CONCRETE GUTTER, TYP.
- NEW DRIVEWAY
- EXISTING CONCRETE CURB
- LINE OF GROUND LEASE AREA, SHOWN DASHED
- LIMIT WORK LINE (DASHED SCREENED LINE)
- LANDSCAPE PLANTER, TYP. SEE LANDSCAPE PLANS
- RAINWATER LEADER FROM MAIN ROOF DRAIN, DAYLIGHT TO FACE OF CURB
- OVERFLOW RAINWATER LEADER @12" A.F.F. WITH DUCKBILL SPOUT, SEE DETAIL 3D/AS.1
- DIRECTIONAL SIGNAGE, INTERNALLY LIT. SIGNAGE UNDER SEPARATE PERMIT
- DRIVE THRU LANE DETECTOR LOOP AT ORDERING AND PICK UP AREAS. SEE AS4.0
- 1" PVC CONDUITS FOR DRIVE THRU ELEMENTS, TYP.
- 1" PVC CONDUITS FOR DRIVE THRU DIRECTIONAL SIGN, TYP.
- FOR DIMENSIONAL SITE PLAN REFER TO CIVIL PLANS

**SITE PLAN GENERAL NOTES**

- SITE PLAN SHOWN FOR TENANT DESIGNATED ACCESSIBLE PARKING SPACES LOADING AND UNLOADING MINIMUM REQUIREMENTS PER CBC CODE REQUIREMENTS.
- THIS IS A PROPOSED NEW CONSTRUCTION PROJECT.
- CONTACT MALL MANAGEMENT FOR ANY FURTHER INFORMATION REGARDING SITE PLAN INFORMATION.
- AT HAZARDOUS VEHICULAR AREAS, DETECTABLE WARNING SURFACES SHALL BE YELLOW CONFORMING TO FS 33538 OF FEDERAL STANDARD 595C (CBC, SEC. 11B-705.1.1.3)
- AT LOCATIONS OTHER THAN VEHICULAR HAZARDOUS AREA, DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE SURFACE. (CBC, SEC. 11B-705.1.1.3)
- ONLY APPROVED DSA-AC DETECTABLE WARNING PRODUCTS AND DIRECTIONAL SURFACES SHALL BE INSTALLED AS PROVIDED IN THE CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, PART 1, CHAPTER 5, ARTICLE 2, 3, AND 4. (CBC- SEC. 11B705.1.1.3)
- VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION. DISCREPANCIES BETWEEN DESIGN AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF BETTER BUZZ COFFEE CONSTRUCTION MANAGER PRIOR TO PROCEEDING WITH WORK.
- VERIFY ALL UTILITY CONNECTIONS WITH PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS.

JOB#: 24-2000  
STORE#:



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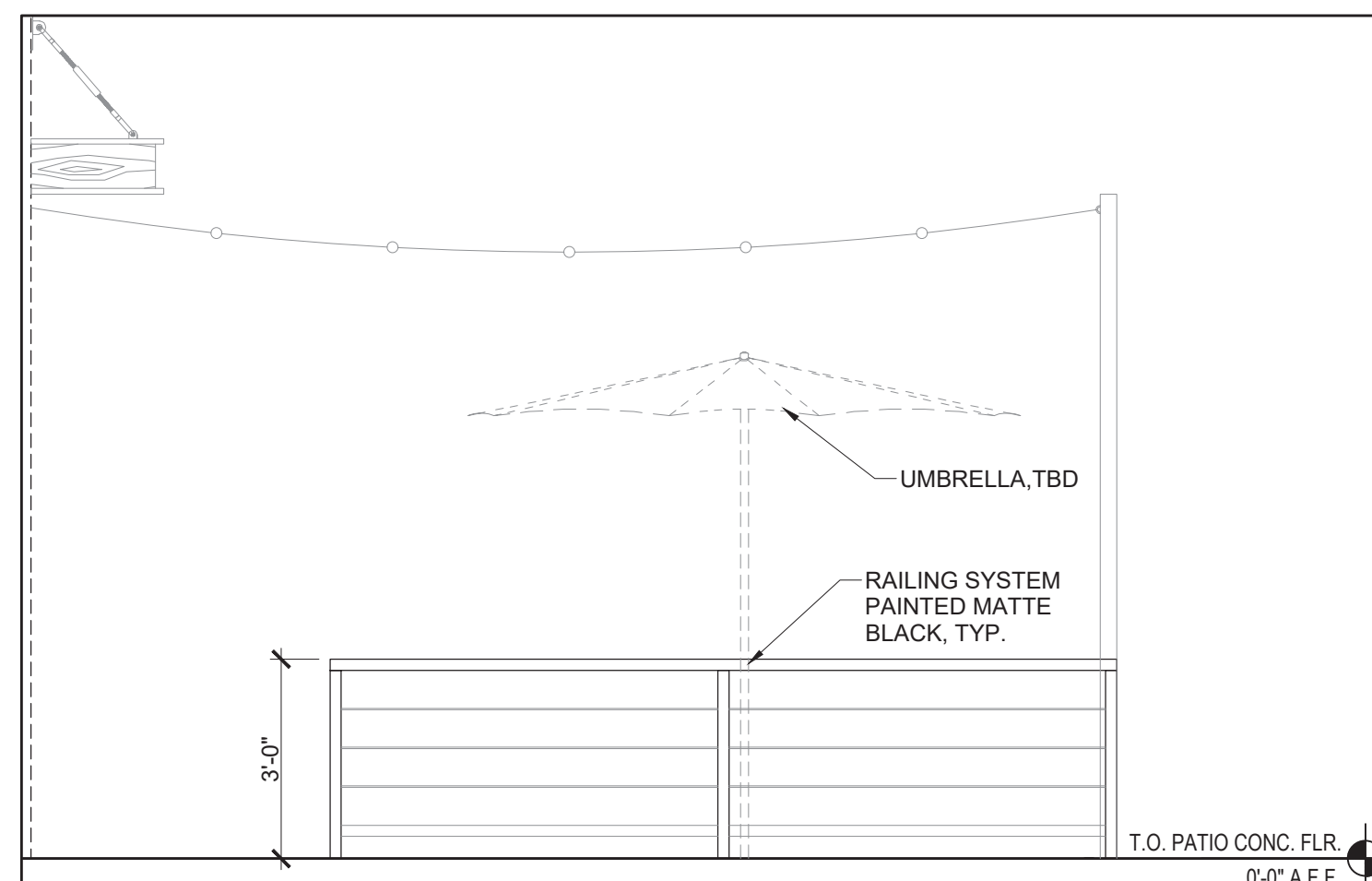
REVISIONS

LL PLANS:	04.11.2024
PERMIT SET	05.17.2024
CUP REV01	08.14.2024
CUP REV02	12.04.2024

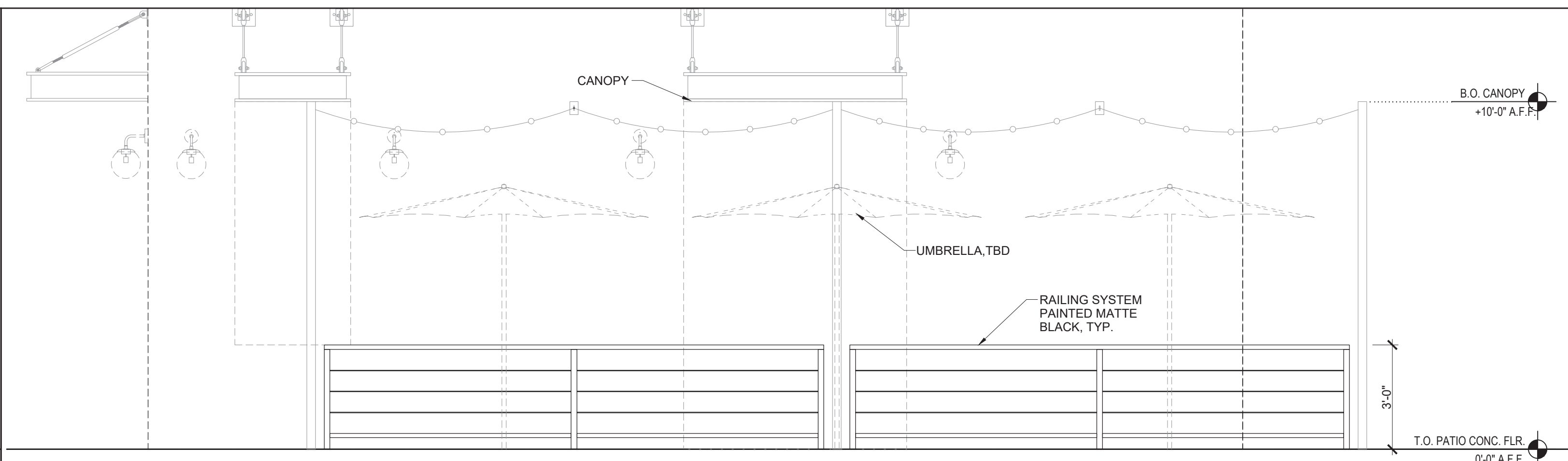
SITE PLAN

SHEET NUMBER

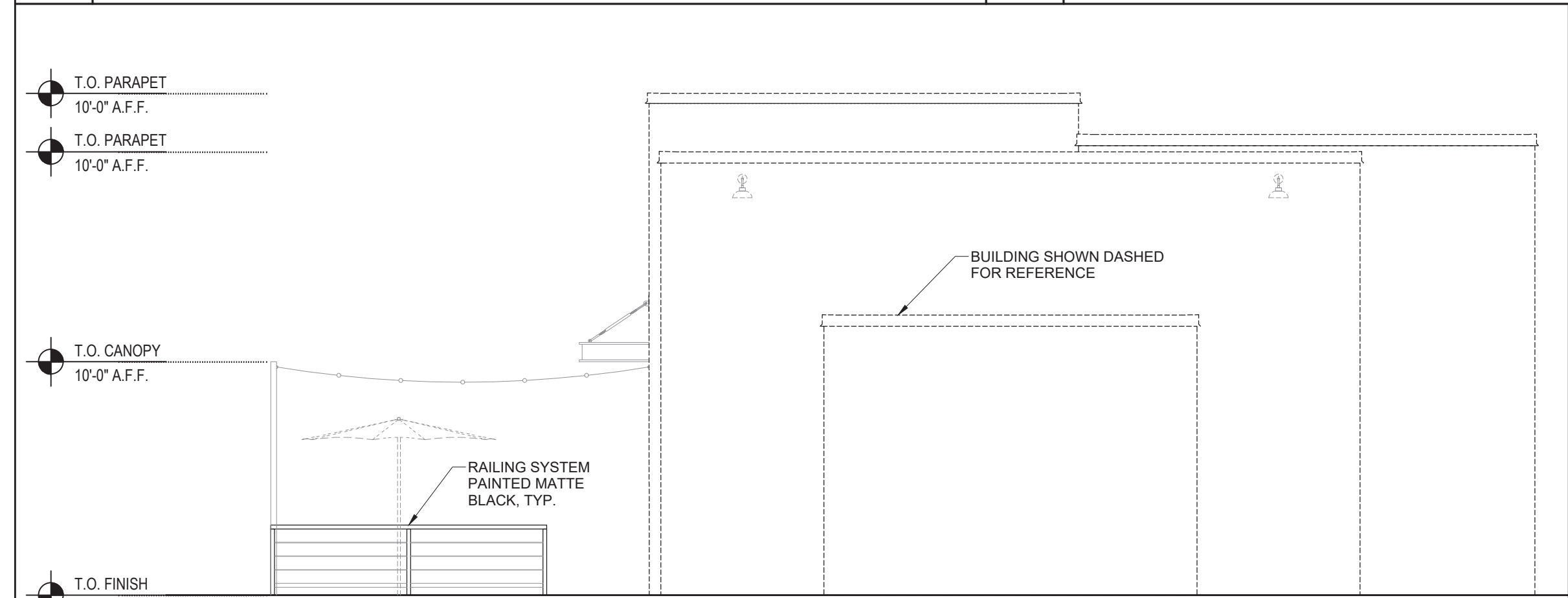
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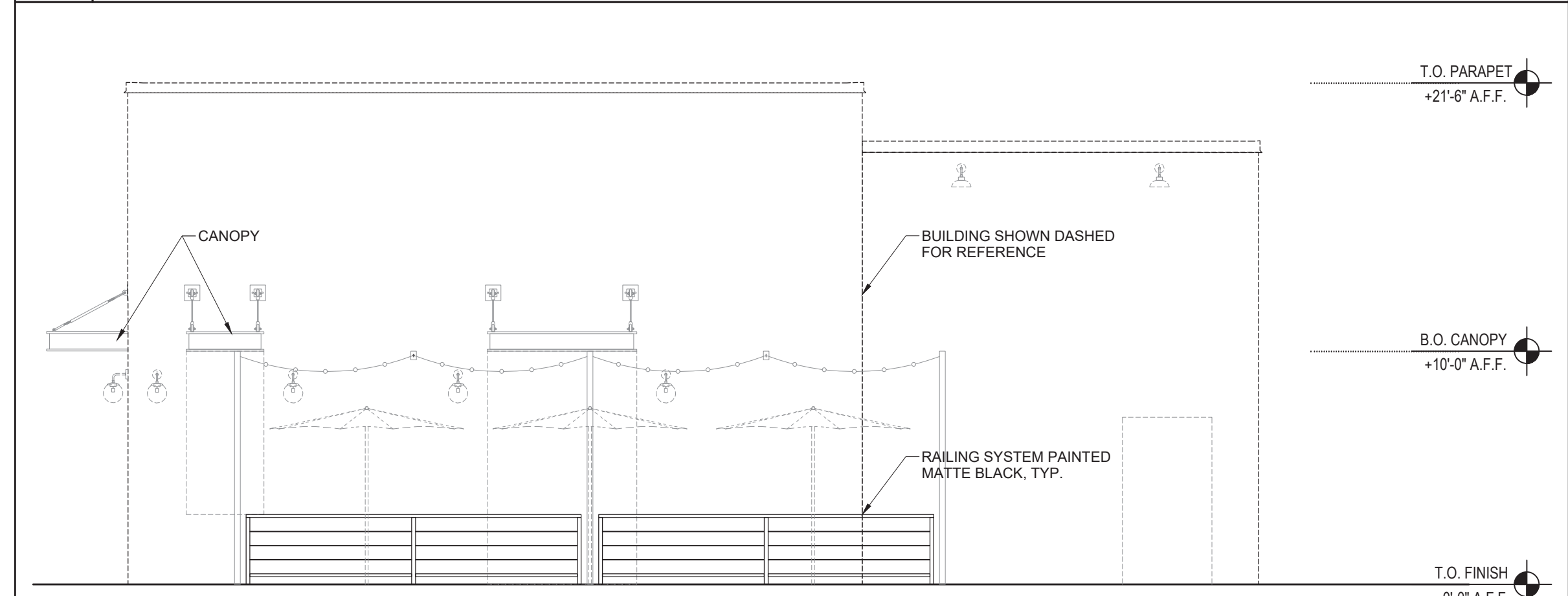
**1A PATIO RAILING - SOUTH**  
SCALE: 3/8" = 1'-0"



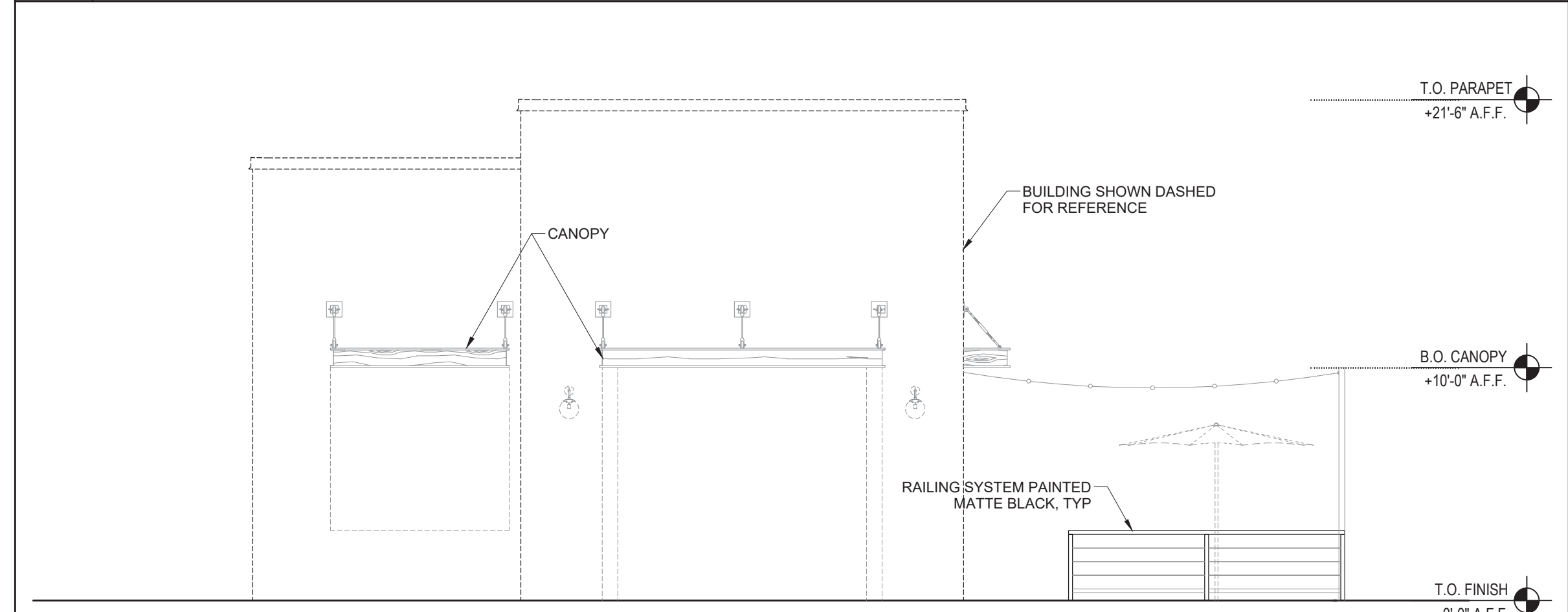
**3A PATIO RAILING - EAST**  
SCALE: 3/8" = 1'-0"



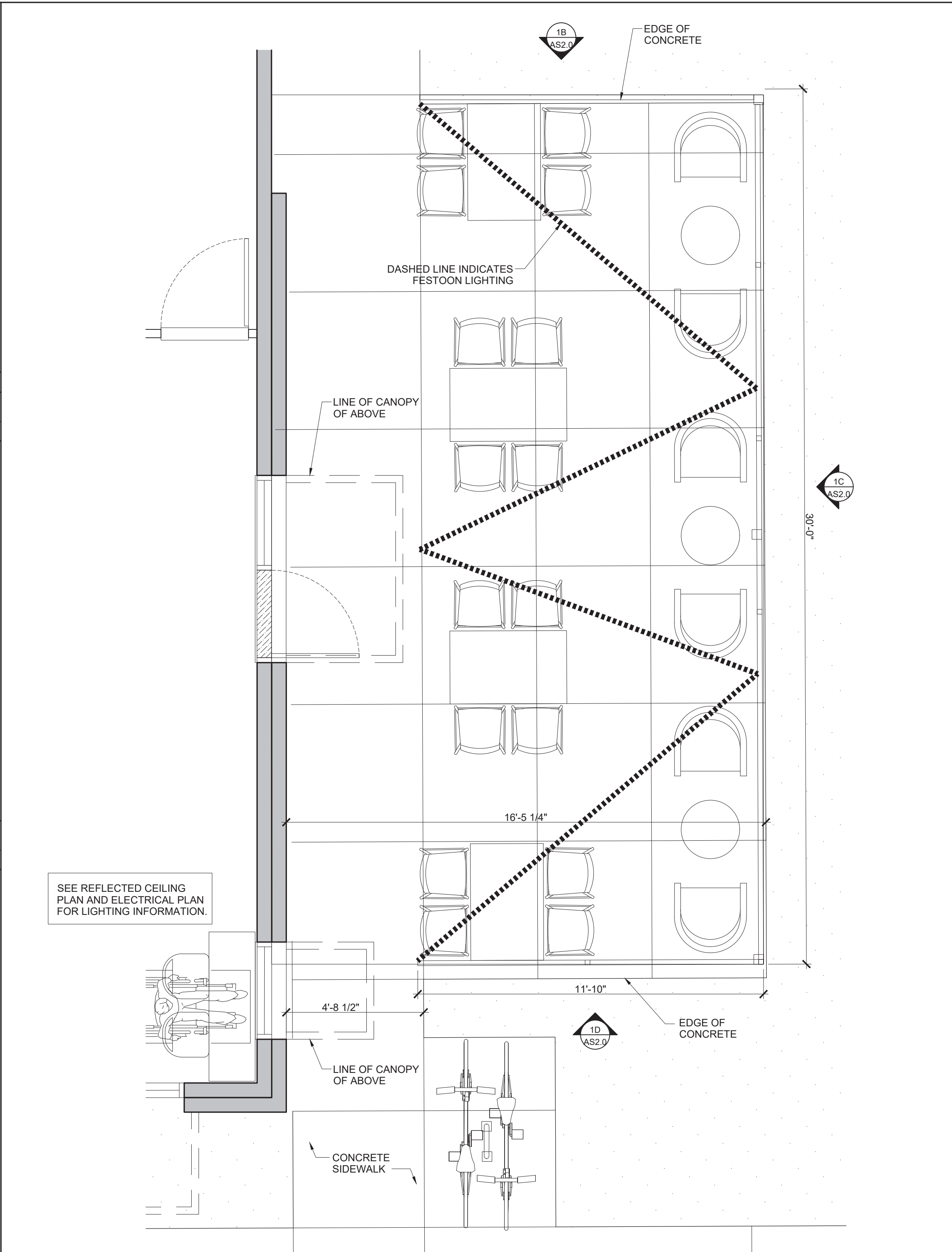
**1B PATIO ELEVATION - NORTH**  
SCALE: 3/16" = 1'-0"



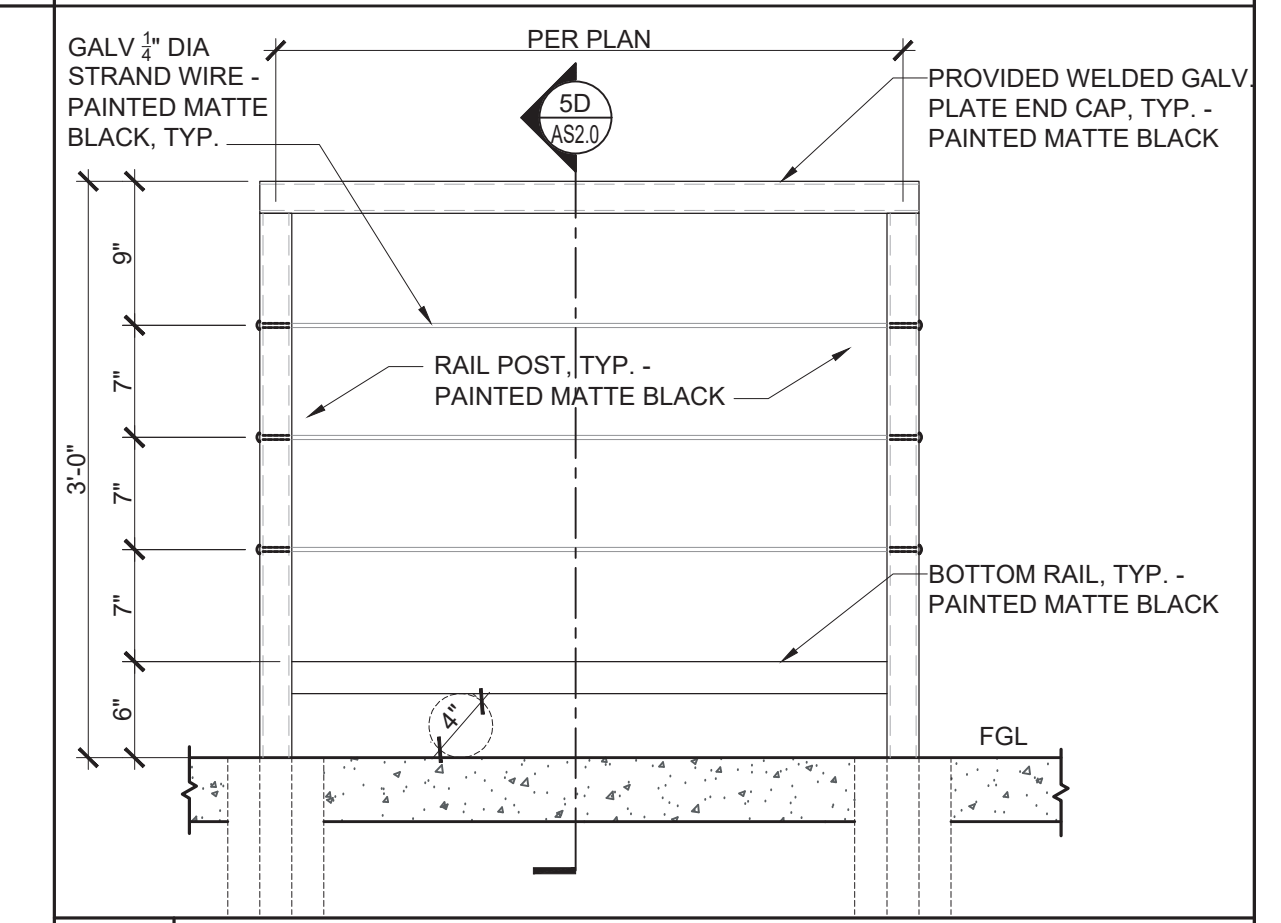
**1C PATIO ELEVATION - EAST**  
SCALE: 3/16" = 1'-0"



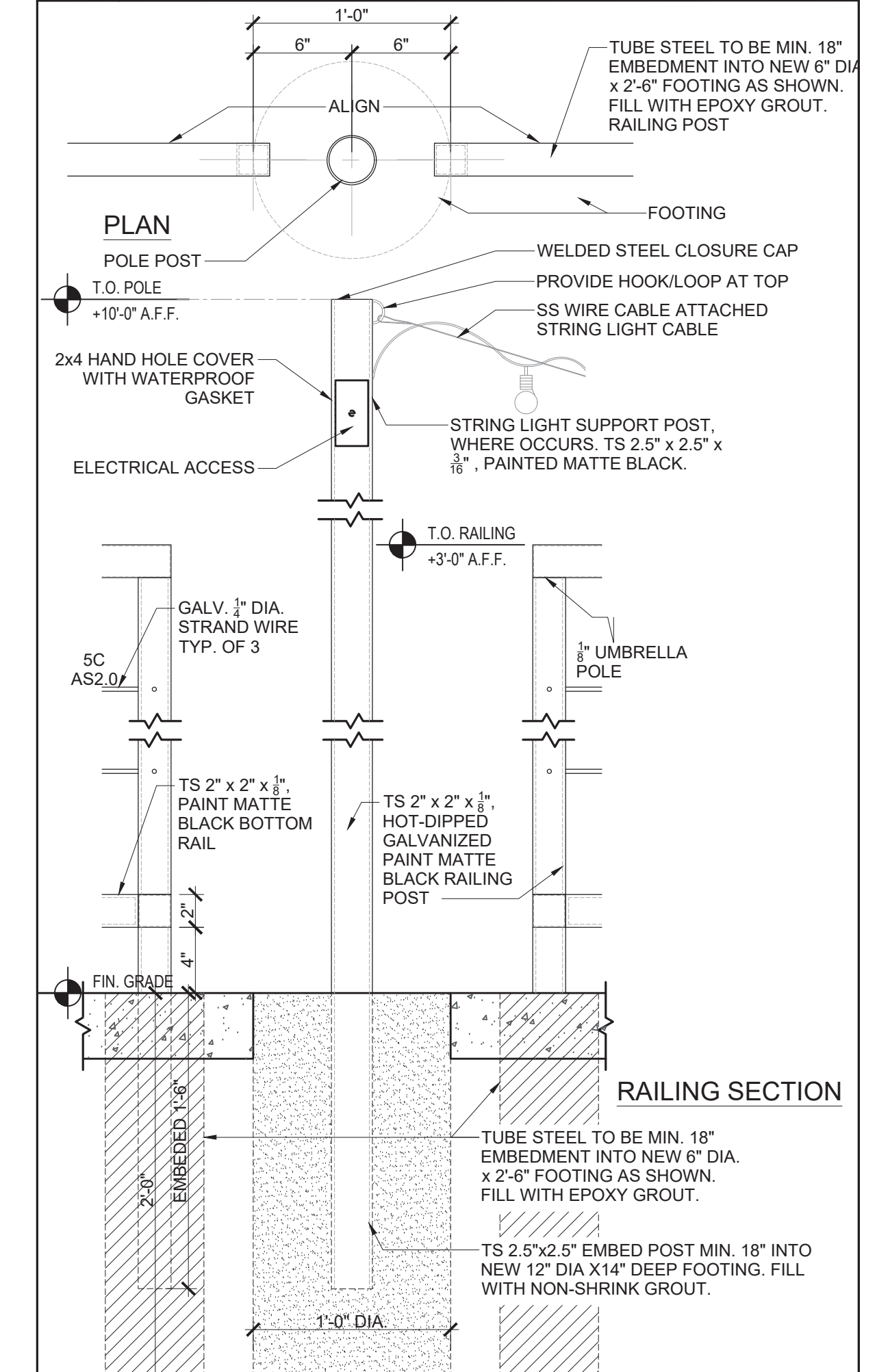
**1D PATIO ELEVATION - SOUTH**  
SCALE: 3/16" = 1'-0"



**3D PATIO - ENLARGED PLAN**  
SCALE: 3/8" = 1'-0"



**5B TYPICAL RAILING ELEVATION AND CONDUIT PLACEMENT**  
SCALE: 1" = 1'-0"



**5D FESTOON POLE/RAILING SECT.**  
SCALE: 1 1/2" = 1'-0"

# BETTER BUZZ COFFEE ROASTERS

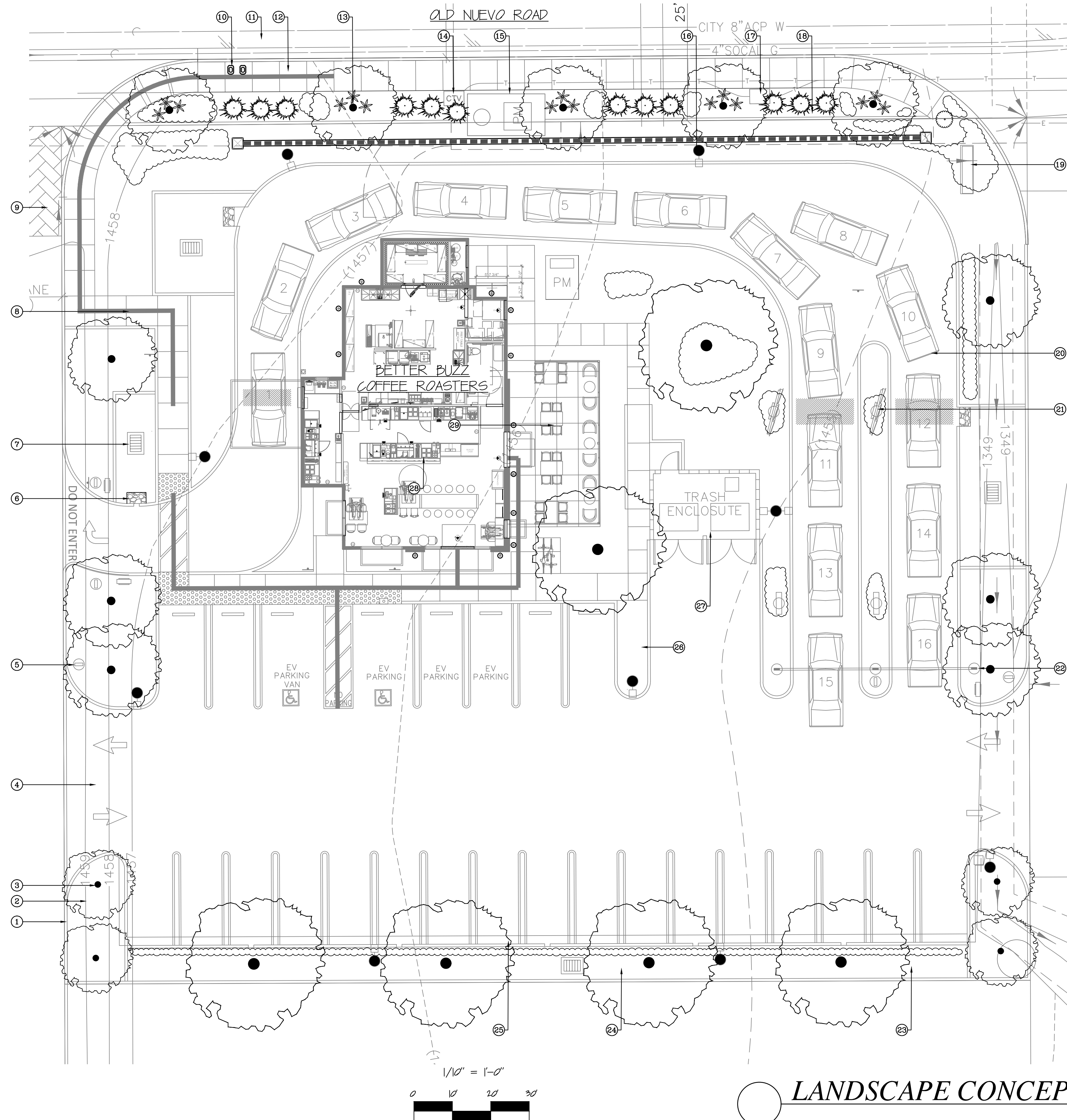
OLD NUEVO RD.  
PERRIS, CA 92571

JOB#: 24-2000  
STORE#:



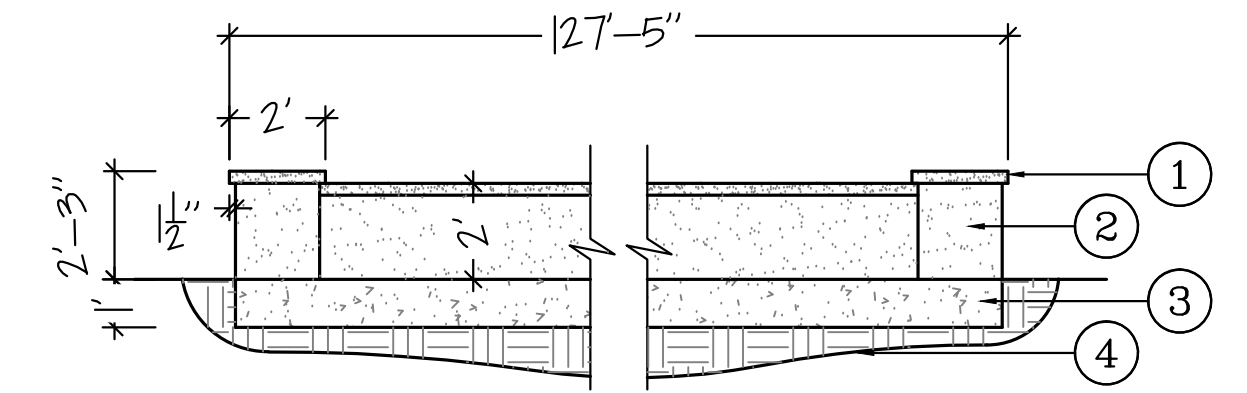
PROJECT ARCHITECT  
**RETAIL AMP DESIGN**  
979 W LAUREL ST  
SAN DIEGO, CA 92101  
PH: (619) 215-1677

**Better Buzz**  
COFFEE ROASTERS  
229 OLD NUEVO ROAD  
PERRIS, CA 92571



LANDSCAPE CONCEPT PLAN KEYNOTES #

1. PROPOSED CURB BY CIVIL PLAN. TYPICAL.
2. PROPOSED PARKING END CAP PLANTER. CONTRACTOR TO INSTALL PLANTS & IRRIGATION PER PLAN. REFER TO L&O PLANTING PLAN & L&O IRRIGATION PLAN. TYPICAL.
3. CONTRACTOR TO INSTALL (2) 24" BOX TREES FOR PARKING LOT PLANTER END CAPS. TYPICAL.
4. PROPOSED AC PAVING & PARKING PER CIVIL PLAN.
5. CONSTRUCT PROPOSED SIGN ON CONCRETE PEDESTAL PER PLAN. TYPICAL.
6. INSTALL PROPOSED RIP-RAP ENERGY DISSIPATOR FOR ALL BIO-RETENTION BASINS. REFER TO CIVIL PLAN. TYPICAL.
7. CONSTRUCT BIO-RETENTION BASIN PER CIVIL PLAN. REFER TO L&O PLANTING PLAN. TYPICAL.
8. CONSTRUCT PROPOSED ON-SITE HARDSCAPE & PEDESTRIAN PATH OF TRAVEL PER CIVIL & ARCHITECTURE PLANS. TYPICAL.
9. OFF-SITE STREET ACCESS.
10. PROPOSED WATER METER IN VAULT PER CIVIL PLAN. SEE L&O IRRIGATION PLAN FOR MAINLINE ROUTING.
11. EXISTING AC PAVING TO REMAIN.
12. PROPOSED R.O.W. HARDSCAPE PER CIVIL PLAN. TYPICAL.
13. PROPOSED STREET TREES PER REQUIREMENTS. SEE L&O PLANTING PLAN.
14. PROPOSED CABLE TV UTILITIES PER CIVIL PLAN. TYPICAL.
15. EXISTING UTILITIES TO REMAIN.
16. PROPOSED SITE LIGHTS PER ARCHITECTURE PLAN. TYPICAL.
17. PROPOSED UTILITY PER CIVIL PLAN.
18. PROPOSED R.O.W. PLANTING & IRRIGATION W/ SEPARATING MOW CURB. REFER TO L&O PLANTING PLAN & L&O IRRIGATION PLAN.
19. PROPOSED MONUMENT SIGN PER ARCHITECTURE PLANS.
20. PROPOSED DRIVE-THRU PER CIVIL PLANS. TYPICAL.
21. PROPOSED DRIVE-THRU MENU BOARD PER ARCHITECTURE PLANS. REFER TO L&O PLANTING PLAN FOR MINIMUM 3' HI SCREEN PLANTINGS.
22. PROPOSED DRIVE-THRU SIGNAGE PER ARCHITECTURE PLANS.
23. PROPOSED PARKING SPACE SCREEN PLANTINGS. REFER TO L&O PLANTING PLAN.
24. CONSTRUCT MINIMUM 6" WIDE PLANTER W/ TREE ROOT BARRIERS PER PLAN. REFER TO L&O PLANTING PLAN & L&O ROOT BARRIER SHEET.
25. CURB & GUTTER PER CIVIL PLAN. TYPICAL.
26. PROPOSED FINGER PLANTER PER CIVIL PLANS. TYPICAL.
27. PROPOSED TRASH ENCLOSURE PER CIVIL PLANS.
28. PROPOSED COMMERCIAL BUSINESS PER ARCHITECTURE PLANS.
29. PROPOSED DINING AREA PER ARCHITECTURE PLANS.



DRIVE-THRU PONEY WALL ELEVATION KEYNOTES

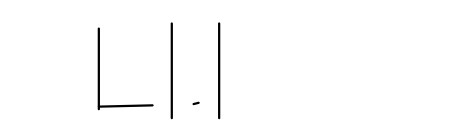
1. CONSTRUCT CMU COLUMN W/ CAST IN PLACE CONCRETE CAP & 15" CANTILEVER. CONSTRUCT PER CITY STANDARDS. TYPICAL.
2. CONSTRUCT CMU SCREEN WALL W/ STUCCO FINISH TO MATCH BUILDING EXTERIOR. TEXTURE & COLOR. CONSTRUCT PER CITY STANDARDS. TYPICAL.
3. CONSTRUCT CONCRETE FOOTING PER CITY CODE. TYPICAL.

DRIVE-THRU PONY WALL ELEVATION  
SCALE: 1/4"=1'-0"

LANDSCAPE CONCEPTUAL PLAN

REVISIONS  
PERMIT SET: 02.26.2025  
CITY COMMENTS: 05.06.2025

SHEET NUMBER



### TREES

SYM.	BOTANICAL NAME	COMMON NAME	QTY. & SIZE	W/COLS
T1	ARBUTUS UNEDO MARINA	STRAWBERRY TREE	4 - 3/8" BOX	L
T2	PODOCARPUS GRACILIOR	FERN PINE	5 - 3/8" BOX	M
T3	CERCIS OCCIDENTALIS	WESTERN REDBUD	1 - 3/8" BOX	L
T4	CHITALPA TASHKENTENSIS	PINK DAWN	5 - 24" BOX	L
T5	MELALEUCA NESPHYLOFLA	PINK MELALEUCA	5 - 24" BOX	L
T6	TIPIANA TIPU	TIPU TREE	1 - 3/8" BOX	L

### SHRUBS

SYM.	BOTANICAL NAME	COMMON NAME	QTY. & SIZE	W/COLS
1	ENCELIA CALIFORNICA	COAST SUNFLOWER	6 - 1 GAL	L
2	CEANOTHUS 'JOYCE COLTER'	CALIFORNIA LILAC	5 - 5 GAL	L
3	CALLISTEMON VIM. 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 - 1 GAL	L
4	ROSMARINUS O. 'PROSTRATUS'	ROSEMARY	5 - 5 GAL	L
5	NOT USED	-	-	-
6	CISTUS x PURPUREUS	ORCHID ROCKROSE	10 - 1 GAL	L
7	SALVIA LEUCANTHA	MEXICAN SAGE	10 - 1 GAL	L
8	LEUCOPHYLLUM F.	GREEN CLOUD TEXAS RANGER	31 - 5 GAL	L
9	MIMULUS AURANTIACUS	STICKY MONKEYFLOWER	11 - 5 GAL	L
10	ACHILLEA MILLEFOLIUM	YARROW	2 - 5 GAL	L
11	PHORMIUM TENAX 'ATROPURPUREUM'	RED FLAX	5 - 5 GAL	L
12	ROSMARINUS O. 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY	19 - 5 GAL	L
13	NERIUM OLEANDER 'PETITE PINK'	OLEANDER 'PETITE PINK'	36 - 5 GAL	L
14	GREVILLEA NOELII	HUMMINGBIRD BUSH	61 - 5 GAL	L
15	ARCTOSTAPHYLOS DENSIFLORA 'HARMONY'	HARMONY MANZANITA	19 - 5 GAL	L

### GRASSES

SYM.	BOTANICAL NAME	COMMON NAME	QTY. & SIZE	W/COLS
G1	PENNISETUM 'EATON CANYON'	DWARF RED FOUNTAIN GRASS	34 - 1 GAL	L
G2	JUNCUS PATENS	CALIFORNIA GRAY RUSH	12 - 1 GAL	L
G3	MULLENBERGIA LINDBERGERI	DEER GRASS	31 - 1 GAL	L

### SUCCULENTS

SYM.	BOTANICAL NAME	COMMON NAME	QTY. & SIZE	W/COLS
X1	ALOE STRIATA	CORAL ALOE	8 - 1 GAL	L
X2	NOT USED	-	-	-
X3	NOT USED	-	-	-
X4	NOT USED	-	-	-
X5	AGAVE ATTENUATA	FOX TAIL AGAVE	9 - 1 GAL	L
X6	AGAVE	BLUE GLOW AGAVE	9 - 1 GAL	L

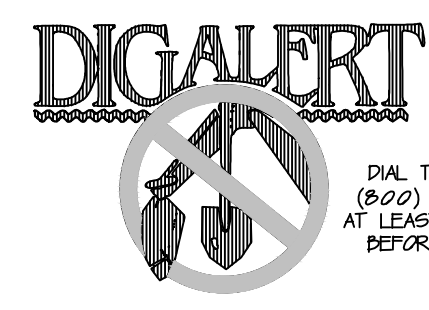
### GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	QTY./SPACING	W/COLS
(A)	SHREDDED BARK MULCH	BARK MULCH AT 3" DEPTH OVER WEED-PROOF FABRIC	-	N/A
(B)	NOT USED	-	-	-
(C)	NOT USED	-	-	-
(D)	ERIGERON KARVINSKIANUS 'PROFUSION'	PROFUSION SANTA BARBARA DAISY	4 - FLATS @ 12" OC.	L
(E)	ARCTOTIS 'STRAWBERRY FIELDS'	RAVERS STRAWBERRY FIELDS AFRICAN DAISY	4 - FLATS @ 12" OC.	L
(F)	SENECIO MANDRALISCAE	BLUE PICKLE	1 - FLATS @ 12" OC.	L
(G)	3/8" DECORATIVE PEBBLE DEL RIO	3" DEEP OVER WEED-PROOF FABRIC	-	L

### PLANTING PLAN GENERAL NOTES

- ALL ISLAND & DIAMOND PLANTERS TO HAVE ROOT BARRIERS INSTALLED FOR TREES. REFER TO L&2 FOR ROOT BARRIER SPECIFICATIONS. TYPICAL.
- ALL DRIVE THROUGH SCREEN SHRUBS TO BE MINIMUM 3/8" HI. TYPICAL.
- TRASH ENCLOSURE SHALL BE SCREENED WITH MINIMUM 6' HI SHRUBS.
- ALL STREET TREES TO HAVE ROOT BARRIERS INSTALLED. REFER TO L&2.

TREE REQUIREMENTS	
-	STREET TREES = 1 PER 30'
-	PARKING SPACES = 25
-	SITE TREES = 4 TREES (6 PER PARKING SPACE)
-	30% TREES = 3/8" BOX
-	(2) 24" BOXES AT EACH END OF PARKING



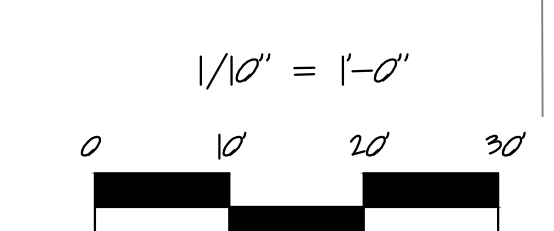
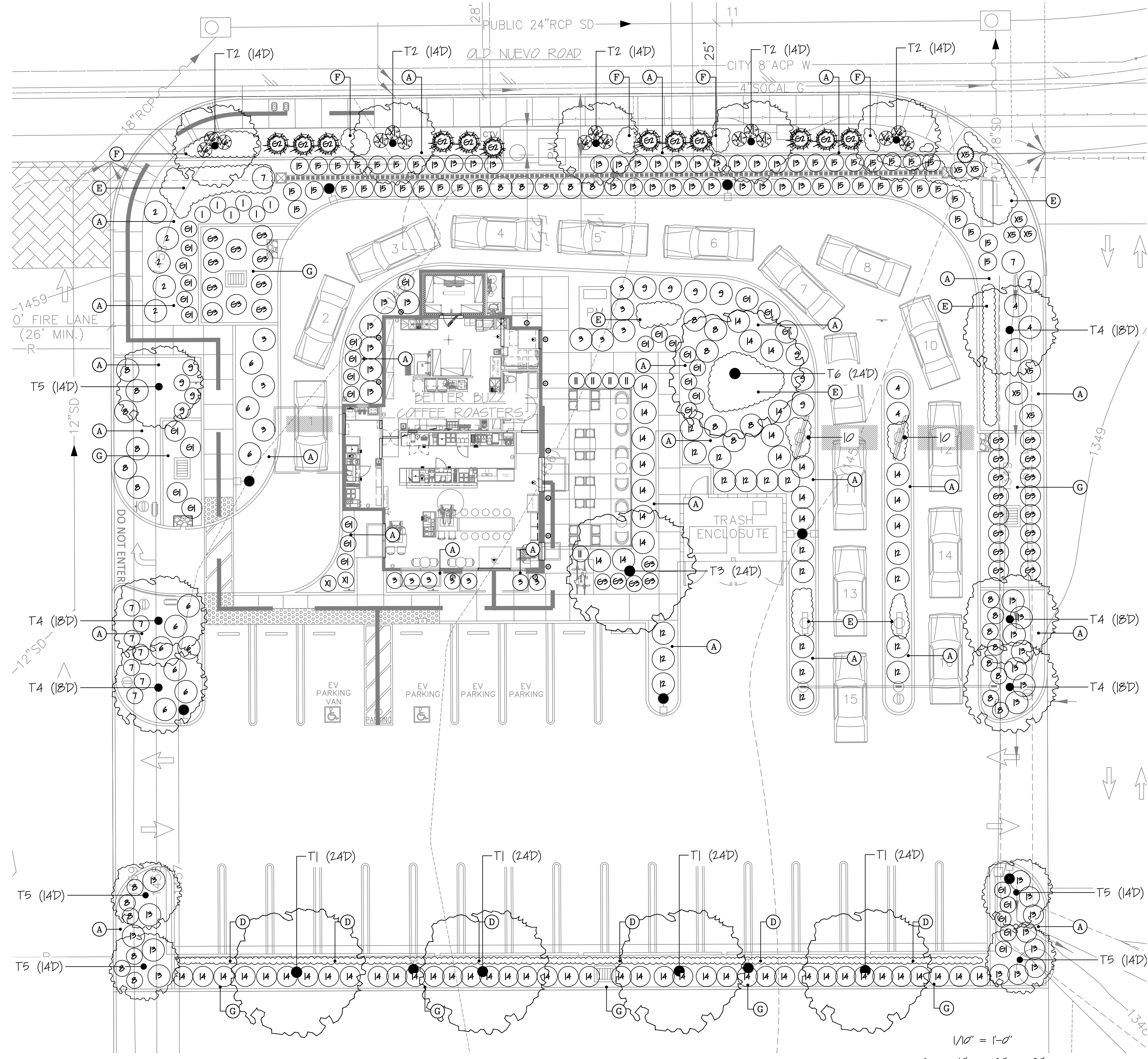
**NOTE TO CONTRACTOR**

THIS PLAN IS DIAGRAMMATIC ONLY. THE INTENT IS TO PORTRAY LANDSCAPE INFORMATION ONLY. THESE PLANS DO NOT PROVIDE DETAILED SOLUTIONS TO ALL LANDSCAPE RELATED PROBLEMS.

THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED ABOVE BY THE LANDSCAPE ARCHITECT, AND APPROVED BY THE OWNER, AND BEAR THE LOCAL BUILDING AND PLANNING DEPARTMENT APPROVAL STAMPS AND A BUILDING PERMIT HAS BEEN OBTAINED.

MINOR ADJUSTMENTS IN LAYOUT OR FINISH ELEVATIONS MAY OCCUR DUE TO FIELD CONDITIONS OR AT THE DISCRETION OF THE OWNER. THE CONTRACTOR IS TO BEAR FULL RESPONSIBILITY FOR OBTAINING ALL PERMITS AND PLAN APPROVALS THROUGH THE PERTINENT BUILDING DEPARTMENTS PRIOR TO CONSTRUCTION.

REPORT ANY DISCREPANCIES OR QUESTIONS TO THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION OF WORK. LANDSCAPE ARCHITECT, P.L.A. 398, MAY BE REACHED AT: (760) 939-1171.



## PLANTING PLAN

JOB#: 24-2000  
STORE#:



PROJECT ARCHITECT  
**RETAIL AMP DESIGN**

979 W LAUREL ST  
SAN DIEGO, CA 92101  
PH: (619) 215-1677

**Better Buzz**  
COFFEE ROASTERS  
229 OLD NUEVO ROAD  
PERRIS, CA 92571

REVISIONS  
PERMIT SET: 02.26.2025  
CITY COMMENTS: 05.06.2025

SHEET NUMBER  
L6.0



REVISIONS

LL PLANS:	04.11.2024
PERMIT SET	05.17.2024

**GENERAL NOTES**

- CONTRACTOR TO VERIFY OVERALL DIMENSIONS AND CONTACT ARCHITECT IMMEDIATELY WITH ANY DISCREPANCIES.
- ALL DIMENSIONS ARE TO FACE OF STUD, U.O.N.
- REPLACE OR REPAIR DAMAGED, DETERIORATED OR UNSUITABLE SUBSTRATES AS REQUIRED TO RECEIVE NEW WALL FINISHES AS SCHEDULED.
- PREPARE EXISTING CONCRETE SLAB TO RECEIVE NEW FLOOR FINISHES AS SCHEDULED.
- ALL INTERIOR WALL SHALL BE 3-5/8" 20 GA. METAL STUDS @16" O.C. U.O.N
- CUT, REMOVE AND REPLACE EXISTING CONCRETE SLAB AS REQUIRED FOR INSTALLATION OF NEW UNDERSLAB PIPING AND CONDUIT, XRAY SLAB PRIOR TO ANY PENETRATIONS. SEE SHEET AX.XX FOR SLAB PENETRATION DETAIL.
- ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS ORDINANCES AND STANDARDS.
- ALL REMODELED BUILDING ELEMENTS INCLUDED AS PART OF THIS PROJECT SHALL COMPLY WITH THE MOST CURRENT EDITION OF BUILDING CODES, AND LOCAL CODES.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING ABOVE AND BELOW GRADE UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY, LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF THE BUILDING'S STRUCTURAL SYSTEM. STRUCTURAL MEMBERS, INCLUDING BEARING AND SHEAR WALLS, SHALL NOT BE REMOVED, CUT OR OTHERWISE MODIFIED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF ANY VARIANCE OR DISCREPANCY AFFECTING NEW CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.
- GENERAL CONTRACTOR SHALL COORDINATE EXISTING STRUCTURE WITH NEW CONSTRUCTION INCLUDING MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL WORK.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING IN WALLS FOR SUPPORT OF ALL EQUIPMENT, SHELVING, ACCESSORIES AND OTHER DEVICES REQUIRED.
- ALL PENETRATIONS SHALL RECEIVE CAULKING TO SEAL ANY TYPE OF ENERGY LOSS.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL APPLICABLE DIMENSIONS OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
- THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING PARTITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD.
- UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTION AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
- ALL MEANS OF EGRESS AND FIRE PROTECTION SHALL BE MAINTAINED AT ALL TIMES AND ANY SHUT DOWN OF LIFE SAFETY OR BUILDING SYSTEMS SHALL BE APPROVED AND COORDINATED IN ADVANCE WITH THE OWNER AND LOCAL BUILDING DEPARTMENT.
- DEMISING WALLS SHALL EXTEND FULL HEIGHT TO STRUCTURE ABOVE. G.C. SHALL SEAL ALL PENETRATIONS AS REQUIRED TO MAINTAIN INTEGRITY OF DEMISING WALLS AND PREVENT INSECT OR RODENT EGRESS INTO STORE SPACE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING INSULATION VALUES IN EXTERIOR WALL AND ROOF/CEILING ASSEMBLY. CONTRACTOR SHALL PROVIDE ADDITIONAL INSULATION TO ACHIEVE A MINIMUM R-19 IN INTERIOR WALL AND R-30 IN ROOFING/CEILING ASSEMBLY.
- PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 906.
- SEE K-SHEETS FOR BACKING IN KITCHEN.

**FLOOR PLAN NOTES**

- DIMENSIONS:**  
A. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N.
- WALL FRAMING**  
A. ALL INTERIOR WALL FRAMING SHALL BE 3-5/8" METAL STUDS @16" O.C., U.O.N.  
B. STUD WITH TO MATCH WALL THICKNESS AS DIMENSIONED ON FLOOR PLAN.  
C. NON-BEARING WALLS SHALL BE ANCHORED TO STRUCTURE ABOVE @48" (MAX.)  
D. GYPSUM BOARD SHALL EXTEND 6" INCHES ABOVE SUSPENDED CEILING.
- FINISH SUBSTRATES**  
A. ALL INTERIOR WALL SHALL HAVE 5/8" GYP. BOARD SUBSTRATE, U.O.N.  
B. PROVIDE 5/8" THICK CEMENTITIOUS BOARD FROM FLOOR SLAB TO 12" A.F.F.  
C. ALL JOINTS, GAPS AND SPACES EXPOSING HOLLOW OR IN ACCESSIBLE SPACES SHALL BE SEALED WITH NSF APPROVED SEALANTS.  
D. SEE ID-SHEETS FOR INTERIOR FINISHES.
- CASEWORK:**  
A. ALL CASEWORK SHALL BE SUPPLIED AND INSTALLED BY MILLWORK CONTRACTOR.

NOTE: CONTRACTOR TO CONTACT ARCHITECT IMMEDIATELY WITH ANY DISCREPANCIES.  
ALL DIMENSIONS TO THE FACE OF STUDS, U.O.N.

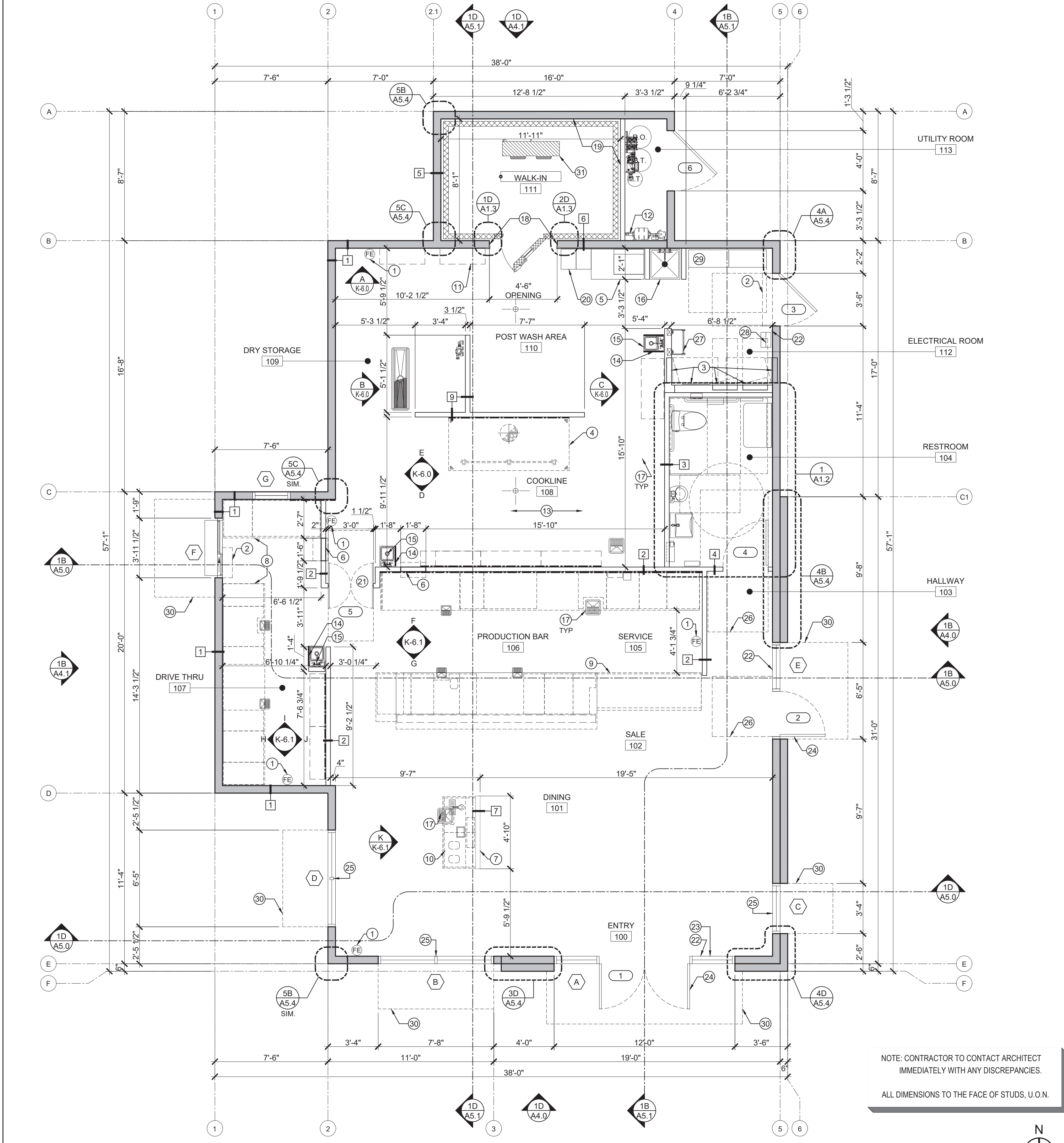


**FLOOR PLAN KEYNOTES**

- 2A-10BC, FIRE EXTINGUISHER WITH A STATE FIRE MARSHAL CERTIFICATION TAG. CONTRACTOR TO COORDINATE LOCATION WITH FIRE MARSHAL AND POST FIRE EXTINGUISHER SIGN ABOVE.
- AIR CURTAIN ABOVE. SEE E-SHEETS.
- ELECTRICAL PANELS AND TELEPHONE BOARD, G.C. TO MAKE CONNECTIONS, SEE E-SHEETS
- TYPE-2 HOOD UNIT ABOVE. SEE M-SHEETS AND HOOD SHEETS
- MANAGER'S DESK. SEE INT. ELEVATION DETAIL A/K-6.0
- PASS-THRU OPENING. SEE DETAIL 1C/A1.3
- LOW WALL AT 36" A.F.F. SEE WALL TYPE 7 ON SHEET 4D/A1.3
- DRIVE-THRU COUNTER BY MILLWORK VENDOR. SEE DETAIL A8.1
- SERVICE COUNTER @ ±36" A.F.F. SEE MILLWORK SHEETS A8.1
- CONDIMENT COUNTER @ ±34" A.F.F. SEE MILLWORK SHEETS A8.0
- GLYCOL PUMP ABOVE. SEE K-SHEETS & INTERIOR ELEVATION FOR HEIGHT.
- R.O. SYSTEM / FILTERS. SEE K-SHEETS.
- KITCHEN EQUIPMENTS. SEE K-SHEETS.
- SPLASH GUARD. COORDINATE WITH SINK INSTALLATION. SEE DETAIL 4A/A1.3
- HAND SINK WITH SPLASH GUARD. SEE K-SHEETS AND P-SHEETS.
- MOPSINK. SEE K-SHEETS AND P-SHEETS.
- FLOOR SINK, TYP. SEE P-SHEETS.
- INSTALL FULL HEIGHT ENCLOSURE BY KEC. SEE DETAIL 1D/A1.3 AND 2D/A1.3
- MIN. 1" AIR GAP AT W.I.B. INSTALL CLOSER STRIP AT SIDES AND FINISH PER INTERIOR ELEVATIONS.
- LOCKER UNITS. PROVIDE BLOCKING ARE REQUIRED.
- G.C. TO PROVIDE A 38"Wx82"H ROUGH OPENING FOR ELIASON DOOR/FRAME
- TACTILE EXIT OR EXIT ROUTE SIGN PER CODE. SEE SHEET A0.3c FOR MOUNTING HEIGHT AND DESIGN DETAIL. PLACE ON STRIKE SIDE OF DOOR. IF DOUBLE DOORS, PLACE ON RIGHT SIDE. INSTALL PER PLAN OR AS DIRECTED BY THE BUILDING OFFICIAL.
- OCCUPANT LOAD SIGN AT 5'-8". SEE INTERIOR ELEVATIONS. SEE A0.1 FOR OCCUPANT LOAD AND A0.3c FOR SIGNAGE. ALL SIGNAGE MUST BE APPROVED BY CITY/COUNTRY FIRE DEPARTMENT.
- SYMBOL OF ACCESSIBILITY SIGN, MOUNTED AT 60" A.F.F. TO CENTER OF SIGN (2022 CBC). SEE A0.3c
- PROVIDE ROLL-UP SHADES IN ALL WINDOW. OWNER TO SUPPLY AND INSTALLED BY VENDOR. (VERIFY WITH OWNER)
- ACCESSIBLE DOOR CLEARANCE PER CODE. SEE A0.3a
- ROOF ACCESS LADDER. SEE 1D/A3.1
- LIGHTING CONTROL PANEL. SEE E-SHEETS
- MAIN SWITCHGEAR LOCATION. SEE ELECTRICAL SHEETS
- LINE OF CANOPY ABOVE - UNDER SEPARATE PERMIT. GC TO PROVIDE BLOCKING AND POWER PER DETAIL 5B/A3.2
- EVAPORATOR COIL PER KITCHEN DRAWINGS

**LEGEND**

	INTERIOR OR EXTERIOR WALL
	BACKING PLATE LOCATION. SEE SHEET K5.0 FOR BACKING PLAN & DETAILS
	INTERIOR WALL PARTITION
	COOLER/FREEZER WALK-IN WALL
	FLOOR THROUGH DRAIN. SEE P-SHEETS
	FLOOR SINK, MUST BE READILY ACCESSIBLE. SEE P-SHEETS
	FLOOR DRAIN. SEE P-SHEETS.
	MOP SINK. SEE P-SHEETS
	FLOOR SINK ON WALK-IN COOLER
	SEE SHEET A1.3 FOR WALL TYPES
	SEE SHEET A6.0 FOR WINDOW SCHEDULE
	SEE SHEET A6.0 FOR DOOR SCHEDULE





PROJECT ARCHITECT  
**RETAIL AMP DESIGN**  
2300 BOSWELL RD.  
SUITE 265  
CHULA VISTA, CA 91914  
PH: (619) 215-1677

**Better Buzz**  
COFFEE ROASTERS  
229 OLD NUEVO ROAD  
PERRIS, CA 92571

REVISIONS

LL PLANS:	04.11.2024
PERMIT SET	05.17.2024
CUP REV01	08.14.2024
CUP REV02	12.04.2024

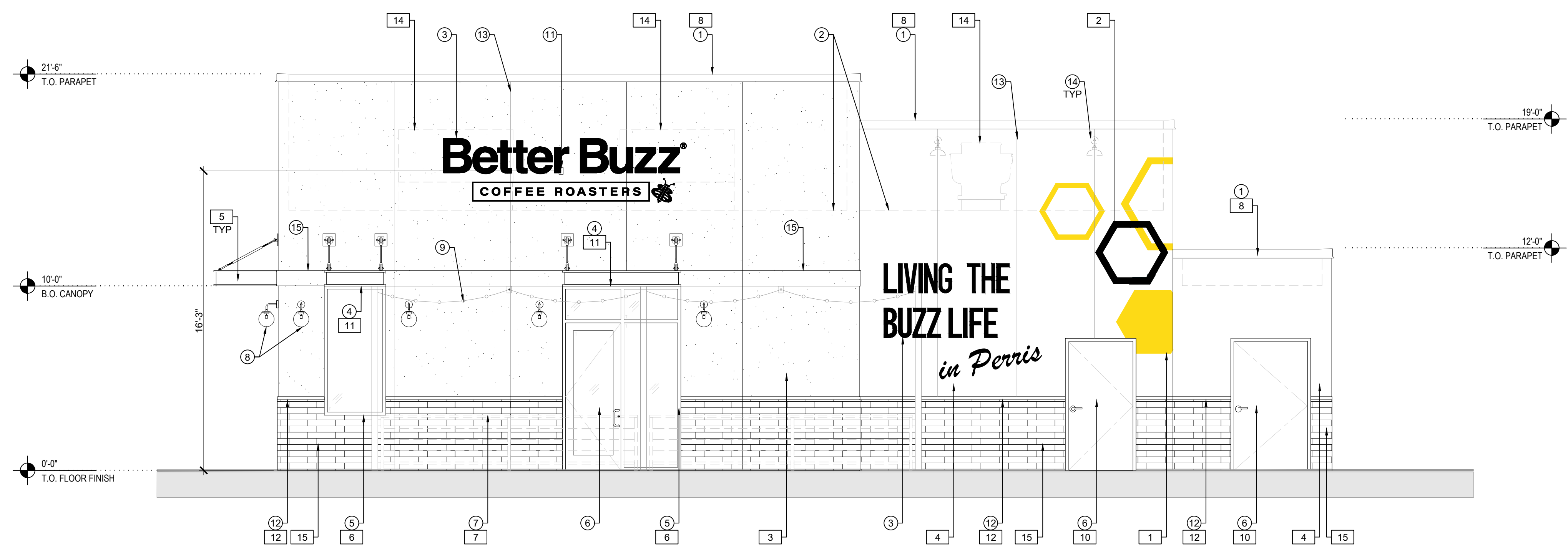
EXTERIOR ELEVATIONS

SHEET NUMBER  
**A4.0**

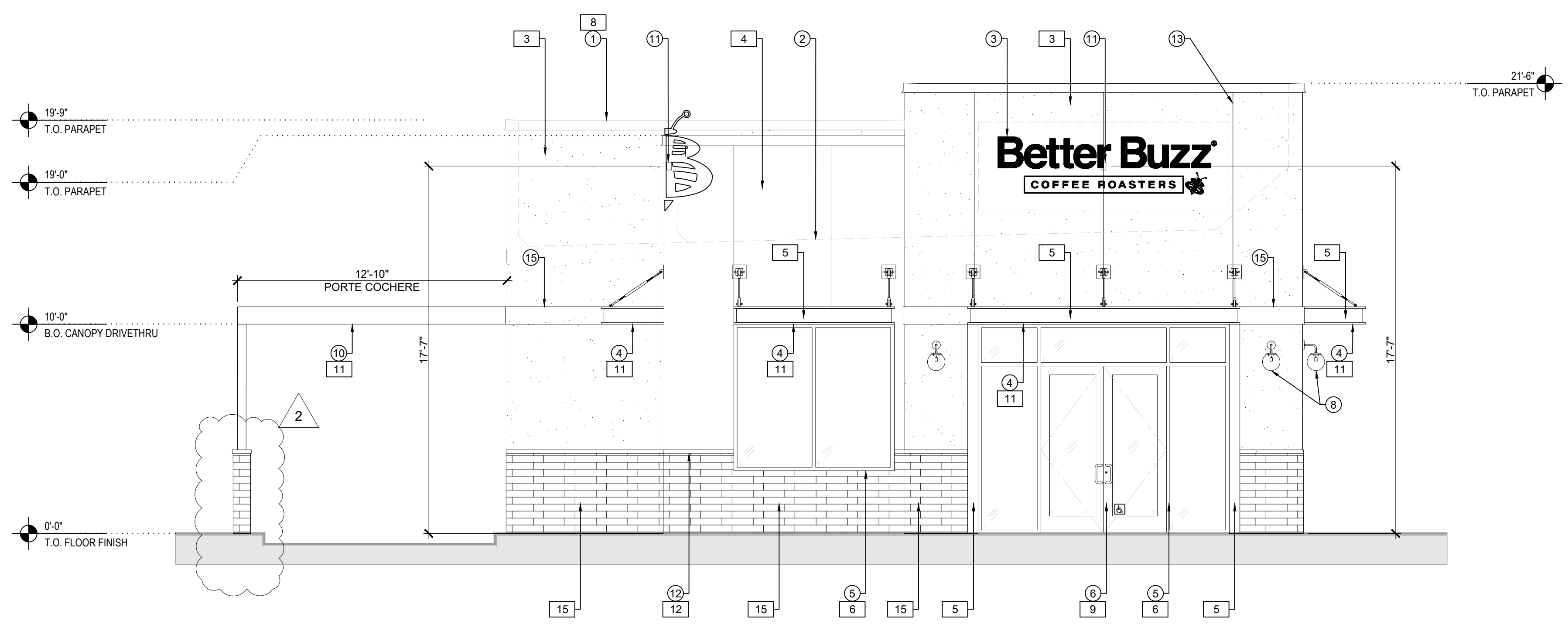
**MATERIAL / COLOR LEGEND**

TAG	MATERIAL	MANUFACTURER	COLOR/STYLE
1	HEXAGONS	PAINT by GC	MATCH SW 3630-25 SUNFLOWER
2	HEXAGONS	PAINT by GC	MATCH SW 7006 "EXTRA WHITE"
3	PAINTED EXTERIOR STUCCO CEMENT, FINE SAND FINISH	SHERWIN WILLIAMS	"PURE WHITE" SW7005
4	PAINTED EXTERIOR STUCCO CEMENT, FINE SAND FINISH	SHERWIN WILLIAMS	"BLACK FOX" SW7020
5	EXTERIOR COMPOSITE WOOD	COMPOSITE WOOD	NEWTECH WOOD DECK BOARD JAPANESE CEDAR
6	ALUMINUM STOREFRONT SYSTEM	KAWNEER TRIFAB VERSAGLAZE 451T "THERMALLY BROKEN" & INSULATED GLAZING	BLACK ANODIZED ALUMINUM
7	TUBE STEEL RAILING WITH AIRPLANE CABLE	SHERWIN WILLIAMS	COLOR: SW6990 CAVIAR (MATTE BLACK PAINT)
8	PAINTED PARAPET CAP	GALVANIZED SHEET METAL	"CAVIAR" SW6990
9	ALUMINUM STOREFRONT ENTRY DOORS, POWDERCOATED	KAWNEER 350 MEDIUM STILE WITH INSULATED GLAZING	POWDER COATED AXALTA 'SUN GOLD' EFD400M9
10	HOLLOW METAL DOOR	SHERWIN WILLIAMS	"CAVIAR" SW6990
11	METAL CANOPY WITH ALUMINUM WOOD & ROD/TURNBUCKLE	QPC POWDERCOATINGS	"CAVIAR" SW6990 AND LIGHTER MAPLE
12	EXTERIOR WAINSCOT REVEAL	FRY REGLET	"CAVIAR" SW6990
13	DRIVE-THRU PICK UP WINDOW & SHELF	QUIKSERV	DARK BRONZE
14	ROOF TOP EQUIPMENT	VARIES	SHOWN AS SCREENED DASHED LINE - FULLY SCREENED BY PARAPET
15	EXTERIOR STONE TILE	STACKED STONE	CALIFORNIA GOLD NATURAL STONE PANEL OR SIMILAR

- KEY NOTES**
- 24 GA GSM PARAPET WALL CAP - PAINTED, TYP.
  - ROOF SLOPE BEYOND AS SHOWN DASHED, TYP.
  - SIGNAGE AS SHOWN DASHED BY VENDOR UNDER SEPARATE APPLICATION.
  - PRE-FAB / ENGINEERED STEEL CANOPY .G.C. TO PROVIDE BLOCKING, TYP. SEE STRUCTURAL DWGS
  - ALUMINUM STOREFRONT WINDOW. SEE WINDOW SCHEDULE A6.0
  - DOOR AS PER DOOR SCHEDULE A6.0
  - PATIO RAILING SHOWN DAHSED FOR CLARITY. SEE PATIO DETAILS AS2.0
  - WALL SCONCE LIGHT FIXTURE - SEE SHEET A2.0 FOR LIGHT FIXTURES SCHEDULE AND E-SHEETS.
  - FESTOON LIGHTING. SEE PATIO DETAILS AS2.0
  - NEW PORTE COCHERE. REFER TO SIGN VENDOR DWGS
  - JUNCTION BOX FOR SIGNAGE CIRCUIT CONNECTION, TYP. SEE E-SHEET.
  - EXTERIOR WAINSCOT REVEAL @ STUCCO, TYP. PAINTED. SEE DETAIL 5A/A5.4
  - EXTERIOR VERTICAL CONTROL JOINT @ STUCCO, TYP. PAINT BLACK. SEE DETAIL 3A/A5.4
  - GOOSENECK LIGHTING - SEE SHEET A2.0 FOR LIGHT FIXTURES SCHEDULES AND E-SHEETS
  - ARCHITECTURAL REVEAL



**1B RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**1D FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



PROJECT ARCHITECT  
**RETAIL AMP DESIGN**  
2300 BOSWELL RD.  
SUITE 265  
CHULA VISTA, CA 91914  
PH: (619) 215-1677

**Better Buzz**  
COFFEE ROASTERS  
229 OLD NUEVO ROAD  
PERRIS, CA 92571

REVISIONS

LL PLANS:	04.11.2024
PERMIT SET	05.17.2024
CUP REV01	08.14.2024
CUP REV02	12.04.2024

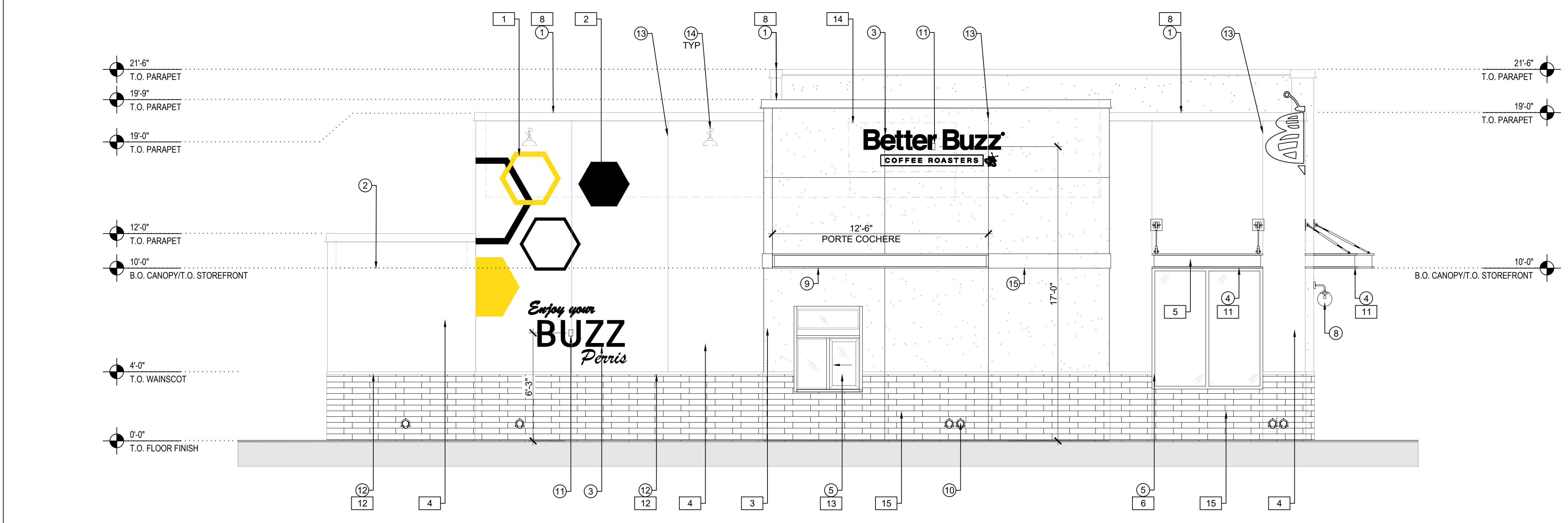
EXTERIOR ELEVATIONS

SHEET NUMBER  
**A4.1**

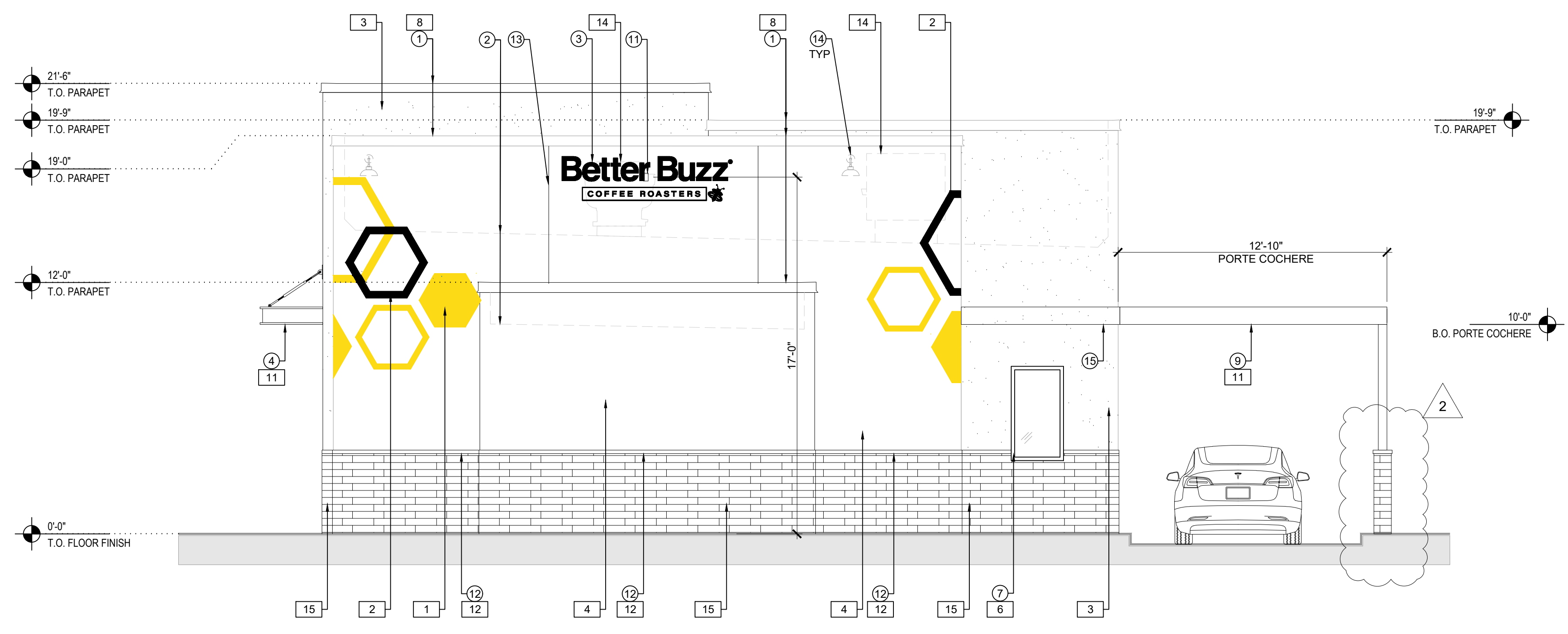
**MATERIAL / COLOR LEGEND**

TAG	MATERIAL	MANUFACTURER	COLOR/STYLE
1	HEXAGONS	PAINT by GC	MATCH SW 3630-25 SUNFLOWER
2	HEXAGONS	PAINT by GC	MATCH SW 7006 EXTRA WHITE
3	PAINTED EXTERIOR STUCCO CEMENT, FINE SAND FINISH	SHERWIN WILLIAMS	"PURE WHITE" SW7005
4	PAINTED EXTERIOR STUCCO CEMENT, FINE SAND FINISH	SHERWIN WILLIAMS	"BLACK FOX" SW7020
5	EXTERIOR COMPOSITE WOOD	COMPOSITE WOOD	NEWTECH WOOD DECK BOARD JAPANESE CEDAR
6	ALUMINUM STOREFRONT SYSTEM	KAWNEER TRIFAB VERSAGLAZE 451T "THERMALLY BROKEN" & INSULATED GLAZING	BLACK ANODIZED ALUMINUM
7	TUBE STEEL RAILING WITH AIRPLANE CABLE	SHERWIN WILLIAMS	COLOR: SW6990 CAVIAR (MATTE BLACK PAINT)
8	PAINTED PARAPET CAP	GALVANIZED SHEET METAL	"CAVIAR" SW6990
9	ALUMINUM STOREFRONT ENTRY DOORS, POWDERCOATED	KAWNEER 350 MEDIUM STILE WITH INSULATED GLAZING	POWDER COATED AXALTA 'SUN GOLD' EFD400M9
10	HOLLOW METAL DOOR	SHERWIN WILLIAMS	"CAVIAR" SW6990
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  - ALUMINUM STOREFRONT WINDOW. SEE WINDOW SCHEDULE A6.0
  - NOT USED
  - NOT USED
  - WALL SCONCE LIGHT FIXTURE - SEE SHEET A2.0 FOR LIGHT FIXTURES SCHEDULE AND E-SHEETS.
  - NEW PORTE COCHERE. REFER TO SIGN VENDOR DWGS
  - DECORATIVE DOWNSPOUT NOZZLE OVERFLOW. SEE DETAIL 3D/A3.1 AND PLUMBING SHEETS.
  - JUNCTION BOX FOR SIGNAGE CIRCUIT CONNECTION, TYP. SEE E-SHEET.
  - EXTERIOR WAINSCOT REVEAL @ STUCCO, TYP. PAINT BLACK. SEE DETAIL 5A/A5.4
  - EXTERIOR VERTICAL CONTROL JOINT @ STUCCO, TYP. PAINT BLACK. SEE DETAIL 3A/A5.4
  - GOOSENECK LIGHTING - SEE SHEET A2.0 FOR LIGHT FIXTURES SCHEDULES AND E-SHEETS
  - ARCHITECTURAL REVEAL



**1B LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**1D REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**Better Buzz**

COFFEE ROASTERS





**Better Buzz**  
COFFEE ROASTERS

**Better Buzz**  
COFFEE ROASTERS

LIVING THE

*in Bliss*

**Better Buzz**

COFFEE ROASTERS



**LIVING THE  
BUZZ LIFE**

*in Perris*





**Better Buzz**  
COFFEE ROASTERS

**Better Buzz**  
COFFEE ROASTERS

LIVING THE  
BUZZ LIFE  
*in Perris*



Better Buzz

COFFEE ROASTERS





Better Buzz  
COFFEE ROASTERS

Better Buzz  
COFFEE ROASTERS

Enjoy your  
**BUZZ**  
Perris





**Better Buzz**

COFFEE ROASTERS

Enjoy your  
**BUZZ**  
Per

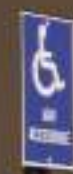




**Better Buzz**  
COFFEE ROASTERS



**Better Buzz**  
COFFEE ROASTERS





**Better Buzz**  
COFFEE ROASTERS

**Buzz-Thru**

CLEARANCE 9 FEET

LIVING THE





**Better Buzz**  
COFFEE ROASTERS

LIVING THE  
BUZZ LIFE  
*in Perris*

**Better Buzz**  
COFFEE ROASTERS

**BETTER BUZZ - PERRIS**  
EXTERIOR MATERIAL BOARD



**SHERWIN WILLIAMS**  
PURE WHITE  
SW7005



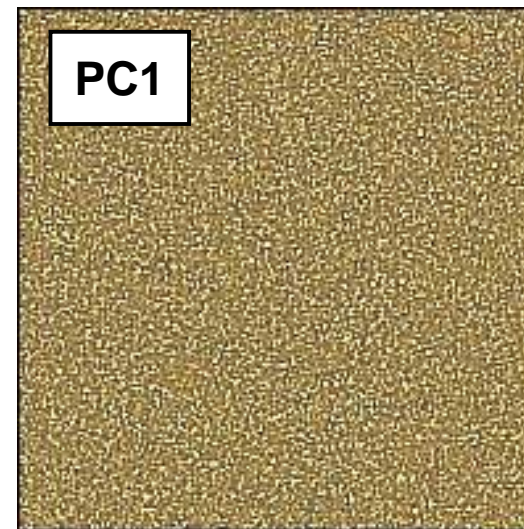
**SHERWIN WILLIAMS**  
BLACK FOX  
SW7020



**SHERWIN WILLIAMS**  
COLOR MATCH  
MATHEWS PAINT  
SUNFLOWER - 3630-25



**COMPOSITE WOOD**  
NEWTECH WOOD  
DECK BOARD  
JAPANESE CEDAR



**BRASS POWDERCOAT**  
AXALTA SUN GOLD  
EFD400M9



**STACKED STONE**  
CALIFORNIA GOLD  
NATURAL STONE PANEL  
OR SIMILAR

P1

PC1  
(DOORS)

CW1  
(AWNING  
EYEBROW)

P2

P3  
(YELLOW  
HEX)

P2

S1

