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GENERAL NOTES:

- 1. NOTIFY CITY ENGINEER, CITY OF PERRIS, AT (951) 943-6504, AT LEAST 24 HOURS PRIOR TO START OF CONSTRUCTION.
- 2. PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY ARCHITECT OF ALL UNACCEPTABLE AREAS.
- 3. EDGE OF NEW PAVEMENT TO BE FLUSH WITH EXISTING PAVEMENT.
- 4. ALL SIDEWALK, CURB AND GUTTER, STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, ACCESSIBLE RAMPS, ETC. CONSTRUCTED OUTSIDE THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
- 5. FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC.) AS REQUIRED BY OWNERS AND/OR GOVERNING AUTHORITY.
- 6. FOR PROPOSED UTILITY LOCATIONS, SEE UTILITY PLAN.
- 7. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- 8. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO ORDERING MATERIALS AND STARTING WORK, AND NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- 9. CONTRACTOR SHALL ENSURE CLEAN JOINTS AND PROTECT PAVEMENT WHEREVER PROPOSED PAVEMENT MATCHES EXISTING PAVEMENT.
- 10. REFER TO ARCHITECTURAL PLANS FOR SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
- 11. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- 12. ANY WORK IN THE RIGHT-OF-WAY SHALL BE APPROVED BY THE CITY ENGINEER.
- 13. ALL EARTHWORK TO COMPLY WITH RECOMMENDATIONS IN GEOTECHNICAL REPORT.
- 14. ALL PAINT STRIPING TO BE TWO COATS.
- 15. ALL PROPERTY LINES, EASEMENTS AND BUILDING, EXISTING AND PROPOSED, ARE SHOWN ON THIS SITE PLAN.
- 16. THE CONTRACTOR AND SUBCONTRACTORS SHOULD BE FAMILIAR WITH ALL STATE AND LOCAL REQUIREMENTS RELATED TO SITE CONSTRUCTION PRIOR TO BEGINNING TRENCHING WORK. ALL WORK SHALL CONFORM AS APPLICABLE TO THESE GOVERNING STANDARDS AND SPECIFICATIONS.
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- 18. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SCORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- 19. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE UTILITY SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
- 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- 21. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- 22. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- 23. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
- 24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF ARIZONA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- 25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF CALIFORNIA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
- 26. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
- 27. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- 28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- 29. ANY EXISTING UTILITY, WHICH IS TO BE EXTENDED, WHICH IS THE CONNECTION POINT FOR NEW UNDERGROUND UTILITIES, OR WHICH NEW FACILITIES CROSS, SHALL BE EXPOSED BY THE CONTRACTOR PRIOR TO PLACEMENT OF THE NEW UTILITIES. COST OF SUCH EXCAVATION AND SUBSEQUENT BACKFILL SHALL BE INCLUDED IN THE PRICES PAID FOR THE VARIOUS ITEMS OF WORK. THE ELEVATIONS AND LOCATIONS OF THE EXISTING UTILITIES WILL BE CHECKED BY THE PUBLIC WORKS INSPECTOR AND THE ENGINEER. IF IN THE OPINION OF THE INSPECTOR A CONFLICT EXISTS, THEN THE ENGINEER SHALL MAKE ANY NEEDED GRADE AND/OR ALIGNMENT ADJUSTMENTS AND REVISE THE PLANS ACCORDINGLY. ALL GRAVITY FLOW PIPELINES TO BE LAID UPGRADE FROM THE LOWEST POINT STARTING AT THE END OF EXISTING IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO BACKFILLING OF ANY PIPE, WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS.

GENERAL NOTES CONTINUATION:

- 1. ALL WORK TO BE PERFORMED PER CITY OF PERRIS, RIVERSIDE COUNTY TRANSPORTATION DEPARTMENT (R.C.T.D.), EASTERN MUNICIPAL WATER DISTRICT (E.M.W.D.), CALTRANS AND THE 2009 MANUAL ON UNIFORM CONTROL DEVICES (M.U.T.C.D.) STANDARDS WITH CALIFORNIA SUPPLEMENT.
- 2. NOTIFY CITY ENGINEER, CITY OF PERRIS, AT (951) 943-6504, AT LEAST 24 HOURS PRIOR TO START OF CONSTRUCTION.
- 3. CONTRACTOR IS REQUIRED TO LOCATE AND ADJUST TO GRADE ALL EXISTING MANHOLES, METERS, AND VALVE COVERS FOR WATER, SEWER, TELEPHONE, ELECTRIC, CABLE TV AND OTHER FACILITIES AS REQUIRED (WHEATEAR CALLED-OUT OR NOT ON PLANS).
- 4. ALL STRIPING & LEGENDS SHALL BE REPLACED IN ACCORDANCE WITH THE STRIPING PLANS HEREIN. ALL STRIPING TO BE PAINT (TWO COATS) AND ALL MARKINGS (INCLUDING CROSSWALKS) TO BE THERMOPLASTIC ALL STRIPING AND PAVEMENT MARKINGS TO BE PER 2006 M.U.T.C.D. STANDARDS WITH CALIFORNIA SUPPLEMENT.
- 5. ALL EXISTING A.C. AND CONCRETE TO BE SAW-CUT WHERE WIDENING IS TO TAKE PLACE OR ADJACENT TO WHERE CONCRETE IS TO BE CONSTRUCTED (1" MINIMUM).
- 6. ANY STOCKPILE OR STORAGE YARD ON PRIVATE PROPERTY MUST HAVE CITY'S AND OWNER'S APPROVAL.
- 7. THE CITY INSPECTOR WILL MARK ALL CONCRETE REMOVALS PRIOR TO CONSTRUCTION ALL CONCRETE WILL BE SAW-CUT WHERE REQUIRED PRIOR TO BEING REMOVED.
- 8. CONTRACTOR SHALL VERIFY THE EXISTENCE OF EXISTING SURVEY MONUMENTS AND PROTECT THEM IN PLACE. ANY SURVEY MONUMENTS MISSING AND/OR DAMAGED DURING CONSTRUCTION WILL HAVE TO BE RESET PRIOR TO PROJECT COMPETITION BY A QUALIFIED REGISTERED SURVEYOR.
- 9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE NEW WORK, FROM VANDALISM UNTIL THE IMPROVEMENTS HAVE BEEN ACCEPTED BY THE CITY AND A NOTICE OF COMPLETION MUST BE FILED.
- 10. ALL ASPHALT REMOVALS TO BE MARKED BY THE CITY INSPECTOR PRIOR TO CONTRACTOR BEGINNING WORK ON THAT PARTICULAR STREET SEGMENT.
- 11. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA AND OTHER UTILITY COMPANIES AS NEEDED TO COORDINATE FOR PROTECTION AND/OR ADJUSTMENTS OF UTILITIES, AS REQUIRED.
- 12. CONTRACTOR TO VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE WORK AND AREA PRIOR TO BIDDING AND NOTIFY THE CITY OF DISCREPANCIES.
- 13. ALL DIMENSIONS ARE APPROXIMATE CONTRACTOR TO VERIFY IN FIELD.
- 14. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL TRAFFIC CONTROL DEVICES AS NEEDED AND PROVIDE TWO-WAY ACCESS AT ALL TIMES THROUGH THE SITE. THE CONTRACTOR SHALL MAINTAIN THESE DEVICES AT ALL TIMES INCLUDING HOLIDAYS AND WEEKENDS. FLAGMAN SHALL BE UTILIZED AS REQUIRED TO PROVIDE TWO-WAY TRAFFIC DURING CONSTRUCTION.
- 15. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL IN COMPLIANCE WITH WATCH MANUAL, 2009 M.U.T.C.D., OR CURRENT EDITION, AND THE TRAFFIC PLANS PROVIDED HEREIN.
- 16. THE CONTRACTOR SHALL APPLY TO, AND BE ISSUED A NO FEE ENCROACHMENT PERMIT BY THE CITY OF PERRIS BEFORE BEGINNING ANY WORK WITH AN EXISTING CITY MAINTAINED PUBLIC STREET AND FOR UTILITY WORK WITHIN OFFERS OF DEDICATION FOR PUBLIC USE.
- 17. EXISTING PUBLIC STREETS, SHALL REMAIN OPEN TO THE PUBLIC DURING CONSTRUCTION AND SHALL BE MAINTAINED BY THE CONTRACTOR UNLESS OTHERWISE PROVIDED IN THE PLANS AND SPECIFICATIONS. PUBLIC CONVENIENCE WILL BE MINIMIZED AT ALL TIMES AND SUCH STREETS SHALL BE LEFT FREE OF DIRT AND DEBRIS AT THE END OF EACH WORKING DAY UNLESS PERMISSION IS OTHERWISE GRANTED BY THE CITY ENGINEER.
- 18. THE CONTRACTOR IS RESPONSIBLE FOR CLEARING AND GRUBBING THE PROPOSED WORK AREA AND DISPOSAL OF EXCESS OR UNDESIRABLE MATERIAL CONTRACTOR SHALL RELOCATE OR CAUSE TO BE RELOCATED EXISTING CONFLICTING UTILITIES IF REQUIRED BY CONTRACTOR.
- 19. ANY PROPOSED DEVIATION FROM THESE PLANS BY THE CONTRACTOR MUST MEET CITY'S APPROVAL. THE CONTRACTOR IS RESPONSIBLE TO REIMBURSE THE CITY FOR ANY RELATED COST TO THE CITY ASSOCIATED WITH SUCH CHANGE. IN THIS EVENT, NO INCREASE IN CONTRACTOR'S COST WILL BE APPROVED.
- 20. CONTRACTOR IS REQUIRED TO INSTALL BLUE REFLECTIVE PAVEMENT AT ALL FIRE HYDRANT LOCATION IN THE WORK AREA.
- 21. THE CONTRACTOR IS REQUIRED TO REMOVE ALL CONFLICTING STRIPING AND LEGENDS BY WET SANDBLASTING.
- 22. APPLY WEED KILL TO ALL EXISTING WEEDS BETWEEN 1-3 WEEKS PRIOR TO CONSTRUCTION AND REMOVE WEEDS. WEEDS SHALL BE REMOVED FROM ALL EXISTING PAVEMENT, MEDIANS, CURB AND GUTTER, SIDEWALK (BETWEEN CURB AND SIDEWALK) AND WHEREVER IMPROVEMENTS ARE PROPOSED, AND UP TO 4.0' BEHIND E.P. OR CURB WHEN NO SIDEWALK EXISTS.
- 23. CONTRACTOR SHALL REPLACE ALL STRIPING, LEGENDS, AND SIGNS IF THEY ARE DAMAGED DURING CONSTRUCTION AT NO EXTRA COST TO THE CITY. EXISTING STRIPING WITHIN PROJECT VICINITY THAT BECOME DULL, SHALL BE REFRESHED AS DIRECTED BY THE CITY ENGINEER. CONFLICTING SIGNS SHALL BE REMOVED AS DIRECTED BY THE CITY ENGINEER OR HIS REPRESENTATIVE.
- 24. EXISTING TO PROPOSED CONCRETE PAVEMENT JOINTS SHALL BE CONSTRUCTED PER CALTRANS REVISED STANDARD PLAN RSP P10. 1 INCH MINIMUM DIAMETER DOWEL BARS SHALL BE USED AND AS APPROVED BY THE CITY ENGINEER.
- 25. ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECTS SWPPP AND NQF. REFER TO NPDES NOTED ON EROSION CONTROL PLANS.
- 26. ALL STREET SECTION ARE MINIMUM REQUIREMENTS. ADDITIONAL SOILS TESTS SHALL BE TAKEN AFTER ROUGH GRADING TO DETERMINE THE RECOMMENDED STREET SECTIONS REQUIREMENTS. USE RIVERSIDE COUNTY STD 401 IF EXPANSIVE SOILS ARE ENCOUNTERED.
- 27. ON-SITE LIGHTING, LANDSCAPE, AND LAYOUT TO BE APPROVED BY THE CITY OF PERRIS PLANNING DEPARTMENT.
- 28. WALLS/FENCE REQUIRE A SEPARATE PERMIT.
- 29. HAULING ROUTE SHALL BE SUBMITTED FOR APPROVAL BY THE CITY ENGINEER PRIOR TO START OF THE IMPORTATION/EXPORTATION OF DIRT.

CITY OF PERRIS WOMP INSPECTION NOTIFICATION REQUIREMENTS:

- 1. GENERAL CONTRACTOR IS RESPONSIBLE TO CALL FOR WOMP (WATER QUALITY MANAGEMENT PLAN) INSPECTIONS. A MINIMUM OF TWO (2) WOMP INSPECTIONS ARE REQUIRED IN THE FOLLOWING ORDER:
 - A. AT THE TIME OF PRECISE GRADE AND CONSTRUCTION OF FLOW-BASED/VOLUME BASED BMP'S, AND/OR INSTALLATION OF STORM DRAIN AND WOMP EQUIPMENT, WHEN THE TRENCHES ARE STILL OPEN, AND
 - B. AT FINAL INSPECTION, WHEN ALL PLANT MATERIALS, STRUCTURAL TREATMENT CONTROL BMP'S, STENCILING, EMPLOYEE SOURCE CONTROL HANDBOOKS, AND WOMP EQUIPMENT HAVE BEEN INSTALLED AND ARE FULLY OPERATIONAL.
- 2. A WRITTEN CLEARANCE LETTER SHALL BE SIGNED BY THE CITY'S ENGINEERING DEPARTMENT TO SIGNIFY APPROVAL OF WOMP SITE DESIGN, SOURCE CONTROL, AND TREATMENT CONTROL BMP'S (BEST MANAGEMENT PRACTICES). THIS LETTER WILL NEED TO BE PRESENTED TO BUILDING AND SAFETY DEPARTMENT AS PART OF THE FINAL APPROVALS.

UTILITY NOTES:

- 1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, CLEANOUTS, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEMS AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
- 3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- 4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- 5. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS PLAINS OR IMPERFECTIONS, WHICH IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 6. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- 7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 8. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.
- 9. THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.
- 10. DIMENSIONS PROVIDED ARE TO OUTSIDE PIPE DIAMETERS.
- 11. ALL WATER LINES ARE TO BE BURIED A MINIMUM OF 40" DEEP, MEASURED TO TOP OF PIPE.
- 12. WATER PIPE TRENCHING PER EMDW STANDARD DETAIL B-408.
- 13. SEWER PIPE TRENCHING PER EMDW STANDARD DETAIL SB-157 AND SB-158.
- 14. CONFIRM UTILITY TIE-IN POINTS IN FIELD AND WITH MEP PLANS PRIOR TO CONSTRUCTION.

DEMOLITION NOTES:

- 1. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL OTHER STRUCTURES ARE TO BE REMOVED FROM THE SITE. A COPY OF THE TEST RESULTS DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. REFER TO THE DEMOLITION PLAN FOR THE LIMITS OF ASPHALT REMOVAL (THE EXISTING PARKING LOT IS TO REMAIN). IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- 2. THE CONTRACTOR SHALL CLEAR THE PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL CAP IN PLACE ALL EXISTING UTILITIES AT THE DEMOLITION LIMIT LINE, UNLESS NOTED ON THE PLAN. THE CONTRACTOR SHALL DEMOLISH AND LEGALLY REMOVE/DISPOSE OF ITEMS FROM THE SITE, INCLUDING ALL EXISTING UTILITY STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN.
- 3. DEMOLITION OF PAVEMENT INCLUDES PAVEMENT THICKNESS, REBAR IF ENCOUNTERED, AND BASE COURSE.
- 4. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIAL.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL, AND STATE JURISDICTIONS.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF DEMOLITION WORK.
- 7. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY. CONTRACTOR SHALL ADJUST TO GRADE ANY EXISTING UTILITIES TO REMAIN.
- 8. DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
- 9. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND UNSUITABLE MATERIALS FROM ENTERING SANITARY SEWERS AND STREETS.
- 10. DUST CONTROL MEASURES SHALL BE IMPLEMENTED DURING DEMOLITION.
- 11. DEMOLITION IS LIMITED TO WITHIN THE DEMOLITION LIMIT LINE UNLESS OTHERWISE NOTED.
- 12. CONTRACTOR SHALL REMOVE DEMOLISHED MATERIALS FROM THE SITE AS WORK PROGRESSES.
- 13. THE DRAWINGS MAY NOT INDICATE IN DETAIL ALL DEMOLITION WORK TO BE PERFORMED. THE CONTRACTOR SHALL EXAMINE EXISTING CONDITIONS TO DETERMINE THE FULL EXTENT OF DEMOLITION.
- 14. ALL DEMOLITION SHALL COMPLY WITH CHAPTER 24 AND ARTICLE 87 OF THE CALIFORNIA FIRE CODE.
- 15. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
- 16. SEE EROSION CONTROL PLAN FOR EROSION PREVENTION.
- 17. CONTRACTOR TO INSTALL CHAIN LINK FENCE WITH MESH SCREEN TO PROTECT PUBLIC FROM ENTERING CONSTRUCTION AREA.
- 18. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES.
- 19. MONITORING WELLS TO BE REMOVED PRIOR TO BEGINNING OF CONSTRUCTION.
- 20. FULL DEMOLITION LIMITS DUE TO CONSTRUCTION OF UTILITIES IS NOT SHOWN. CONTRACTOR TO REFER TO SHEET 03 AND UTILITY PLANS TO DETERMINE LIMITS. CONTRACTOR TO USE CAUTION AROUND EXISTING UTILITIES.
- 21. A CITY-APPROVED WASTE HAULER SHALL BE USED FOR ALL CONSTRUCTION/OTHER WASTE DISPOSAL.
- 22. CONTRACTOR SHALL ADJUST TO GRADE ANY EXISTING UTILITIES TO REMAIN.

PAVING, GRADING AND DRAINAGE NOTES:

- 1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR SPWPC SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
- 2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND REPAIRED TO EXISTING CONDITION OR BETTER.
- 3. TRAFFIC CONTROL ON ALL CALTRANS, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL AN ADEQUATE STABILIZATION OCCURS.
- 5. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- 6. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- 7. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- 8. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
- 9. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES THE CONTRACTOR SHALL STABILIZE OR SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
- 11. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE STABILIZED BY MEANS AND METHOD APPROVED BY THE LOCAL AGENCY. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTH AREAS WILL BE COVERED WITH ROCK OR MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
- 12. ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL) : 1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- 14. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS OF THE GOVERNING CODE.
- 15. EXPOSED SLOPES SHOULD BE STABILIZED WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- 16. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE REQUIRED PERMITS COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY GOVERNING JURISDICTIONS.
- 17. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- 18. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- 19. ALL PAVEMENT SPOT GRADE ELEVATIONS WITHIN OR ALONG THE CURB REFER TO THE EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
- 20. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPING, AND PAVING SUBCONTRACTORS CONCERNING THICKNESS OF ITEMS FROM THE SITE AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
- 21. NO EARTHEN SLOPE SHALL BE GREATER THAN 4:1 UNLESS OTHERWISE NOTED.
- 22. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOTE EXCEED 2.0% IN ALL DIRECTIONS.
- 23. MAXIMUM RUNNING SLOPE SHALL NOTE EXCEED 5% AND CROSS SLOPE SHALL NOTE EXCEED 2.0% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES UNLESS OTHERWISE NOTED.
- 24. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
- 25. REFERENCE ARCHITECTURAL PLANS FOR ROOF DRAIN AND LOCATIONS.
- 26. CONTRACTOR TO USE APPROPRIATE PAINT COLORS PER DETAILS SHEET. ADA BARRIER FREE AREAS TO COMPLY WITH ALL LOCAL AND FEDERAL ADA STANDARDS.
- 27. ACCESSIBLE ROUTE TO ACCESSIBLE SPACES, BUILDING ENTRANCES, AND PUBLIC STREETS SHALL NOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE.
- 28. THE ACCESSIBLE ROUTE IN FRONT OF PARKING SHALL BE A MINIMUM OF 48" WIDE AND NOT REDUCED BY VEHICLE OVERHANGS, CURBING, SIGN POSTS, OR OTHER OBSTRUCTIONS.
- 29. ANY WALK THAT CROSSES OR ADJOINS A VEHICULAR WAY NOT SEPARATED BY CURBS, RAILINGS, OR OTHER ELEMENTS SHALL BE DEFINED BY A CONTINUOUS 36" WIDE DETECTABLE WALKING.
- 30. SPECIAL RAMP RULES APPLY FOR ANY RISE GREATER THAN 6" INCLUDING BUT NOT LIMITED TO RESTRICTION ON SLOPE, TOTAL RISE BETWEEN LANDINGS, AND USE OF HANDRAILS.
- 31. TRANSITION CHANGE IN ELEVATION IS NOT TO EXCEED 1/4" WITHIN AN ACCESSIBLE ROUTE.
- 32. JOINT WIDTHS ARE NOT TO EXCEED 1/2" OF WIDTH.
- 33. CURB RAMPS MUST HAVE A DIFFERENT FINISH FROM THE ADJACENT PAVEMENT.
- 34. 2% SLOPE IN ALL DIRECTIONS WITHIN ADA PARKING STALLS. AFTER PROPOSED GRADE BREAK, ALLOWABLE SLOPE TO MATCH EXISTING IS 5.0%.
- 35. ALL AREAS WHERE STRIPING IS TO BE ERADICATED, CONTRACTOR IS TO ERADICATE AND SEAL COAT AREA.

PRECISE GRADING NOTES (CITY OF PERRIS):

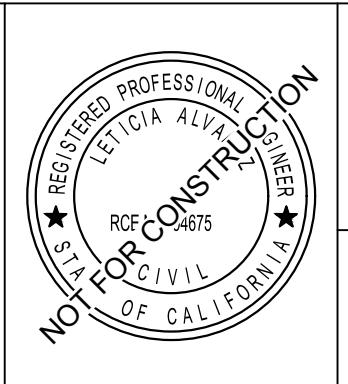
- 1. ALL GRADING SHALL CONFORM TO THE UNIFORM CODE, APPENDIX CHAPTER 33, AS AMENDED BY ORDINANCE NO. 457.
- 2. ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION/GRADING.
- 3. DURING ROUGH GRADING OPERATIONS AND PRIOR TO CONSTRUCTION OF PERMANENT DRAINAGE STRUCTURES, TEMPORARY DRAINAGE CONTROL SHOULD BE PROVIDED TO PREVENT PONDING WATER AND DAMAGE TO ADJACENT STRUCTURES.
- 4. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
- 5. NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL, AND OTHER DELETERIOUS MATERIAL.
- 6. MAXIMUM CUT AND FILL SLOPE = 2:1, UNLESS OTHERWISE SHOWN ON PLANS.
- 7. STABILITY CALCULATIONS WITH A FACTOR OF SAFETY OF AT LEAST ONE AND FIVE TENTHS (1.5) SHALL BE SUBMITTED BY A SOILS ENGINEER TO THE BUILDING AND SAFETY DEPARTMENT FOR CUT AND FILL SLOPES OVER 30' IN VERTICAL HEIGHT.
- 8. PROVIDE 5' BY 1' HIGH BERM OR EQUIVALENT ALONG THE TOP OF ALL FILL SLOPES OVER 5' HIGH.
- 9. PROVIDE A BROW DITCH, DESIGNED TO HANDLE 100 YR. Q STORM FLOWS, ALONG THE TOP OF ALL FILL SLOPES OVER 5' HIGH.
- 10. MINIMUM BUILDING PAD AND DRAINAGE SWALE SLOPE SHALL BE 1% IF CUT OF FILL IS LESS THAN 10'. 2% IF CUT OR FILL IS GREATER THAN 10'. DRAINAGE SWALES SHALL BE A MINIMUM OF 0.2' DEEP AND BE CONSTRUCTED A MINIMUM OF 2' FROM THE TOP OF CUT OR FILL SLOPES.
- 11. NO OBSTRUCTION OF FLOOD PLAINS OR NATURAL WATER COURSES SHALL BE PERMITTED.
- 12. ALL EXISTING DRAINAGE COURSES ON THE PROJECT SITE MUST CONTINUE TO FUNCTION, ESPECIALLY DURING STORM CONDITIONS. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING GRADING OPERATIONS.
- 13. FINISHED GRADE SHALL BE SLOPED AWAY FROM ALL EXTERIOR WALLS AT NOT LESS THAN 1" PER FOOT FOR A MINIMUM OF 3'.
- 14. CUT AND FILL SLOPES EQUAL TO OR GREATER THAN 3' IN VERTICAL HEIGHT SHALL BE PLANTED WITH GRASS OR GROUND COVER TO PROTECT THE SLOPE FROM EROSION AND IN ACCORDANCE WITH ORDINANCE NO. 457 PRIOR TO FINAL GRADING INSPECTION.
- 15. EROSION CONTROL: ALL SLOPES REQUIRED TO BE PLANTED SHALL BE PROVIDED WITH ROSEA ICE PLANT (OR EQUAL) GROUND COVER AT 12" ON CENTER. SLOPES EXCEEDING 15' IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED TREES SPACED NOT TO EXCEED 20' ON CENTER OR SHRUBS NOT TO EXCEED 10', OR A COMBINATION OF SHRUBS AND TREES NOT TO EXCEED 15' IN ADDITION TO A GRASS MIX OR GROUND COVER. SLOPES EXCEEDING 4' IN VERTICAL HEIGHT SHALL BE PROVIDED WITH AN IN-GROUND IRRIGATION SYSTEM. SLOPES EQUAL TO OR LESS THAN 4' MAY BE IRRIGATED BY HOSE BID LOCATED AT THE TOP OR TOE OF THE SLOPE, SPACED TO MAKE USE OF A HOUSE NO LONGER THAN 50' IN HEIGHT. THE IRRIGATION SYSTEM SHALL BE PROVIDED WITH AN APPROPRIATE BACKFLOW DEVICE PER U.P.C., CHAPTER 10.
- 16. ALL GRADING SHALL BE DONE IN CONFORMANCE WITH RECOMMENDATIONS OF THE PRELIMINARY SOILS INVESTIGATION BY SALEM ENGINEERING GROUP, INC. TWO SETS OF THE PRELIMINARY SOILS INVESTIGATION REPORT SHALL BE SUBMITTED TO THE BUILDING AND SAFETY DEPARTMENT WHICH SHALL INCLUDE FOUNDATION DESIGN RECOMMENDATIONS AND CERTIFICATION THAT GRADING HAS BEEN DONE IN CONFORMANCE WITH THE RECOMMENDATIONS OF THE SITE INVESTIGATION REPORT.
- 17. IF STEEP SLOPING TERRAIN OCCURS UPON WHICH FILL IS TO BE PLACED, IT MUST BE CLEARED, KEVED AND BENCHED INTO FIRM NATURAL SOIL FOR FULL SUPPORT. PREPARATION SHALL BE APPROVED BY A SUITABLE QUALIFIED AND REGISTERED PROFESSIONAL PRIOR TO PLACEMENT OF FILL MATERIAL.
- 18. ALL GRADING SHALL BE DONE UNDER THE SUPERVISION OF A COMPETENT SOILS ENGINEER WHO SHALL CERTIFY THAT ALL FILL HAS BEEN PROPERLY PLACED AND WHO SHALL SUBMIT A FINAL COMPACTION REPORT FOR ALL FILLS OVER 1' DEEP.
- 19. FINAL COMPACTION REPORT WILL BE REQUIRED FOR ALL FILLS GREATER THAN 1'.
- 20. A SUITABLY QUALIFIED AND REGISTERED PROFESSIONAL SHALL SUBMIT TO THE BUILDING AND SAFETY DEPARTMENT WRITTEN CERTIFICATION OF COMPLETION OF ROUGH GRADING IN ACCORDANCE WITH THE APPROVED GRADING PLAN PRIOR TO REQUESTING INSPECTION AND ISSUANCE OF THE BUILDING PERMIT. CERTIFICATION SHALL INCLUDE LINE, GRADE, ELEVATION AND LOCATION OF CUT/FILL SLOPES.
- 21. A SUITABLE QUALIFIED AND REGISTERED PROFESSIONAL SHALL SUBMIT CERTIFICATION OF BUILDING PAD ELEVATION, WHERE SPECIFIC ELEVATIONS ARE REQUIRED. THE ELEVATION (WITH RESPECT TO MEAN SEA LEVEL) SHALL BE GIVEN. IF AN ELEVATION WITH RESPECT TO ADJACENT GROUND SURFACE IS REQUIRED, THE ACTUAL DISTANCE ABOVE THE ADJACENT SHALL BE GIVEN.
- 22. A SUITABLY QUALIFIED AND REGISTERED PROFESSIONAL SHALL SUBMIT TO THE BUILDING AND SAFETY DEPARTMENT WRITTEN CERTIFICATION OF FINISH GRADING IN ACCORDANCE WITH THE APPROVED PLANS FOR ALL GRADING AS "ENGINEERED GRADING".
- 23. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT TWO DAYS BEFORE YOU DIG AT 1-800-227-2600. GRADING PERMIT MUST BE OBTAINED FROM THE DEPARTMENT OF BUILDING AND SAFETY, CITY OF PERRIS, PRIOR TO GRADING.
- 24. THE CONTRACTOR SHALL NOTIFY THE BUILDING AND SAFETY DEPARTMENT, 101 NORTH "D" STREET, PERRIS, CA 92571, TELEPHONE (951) 943-5003, AT LEAST 24 HOURS IN ADVANCE REQUESTING LOT GRADE AND DRAINAGE INSPECTION. THE INSPECTION MUST BE APPROVED PRIOR TO BUILDING PERMIT FINAL INSPECTION.
- 26. CONSTRUCTION ACTIVITIES AND EQUIPMENT MAINTENANCE IS LIMITED TO THE HOURS BETWEEN 7:00 A.M. AND 7:00 P.M. PER ZONING ORDINANCE, NOISE CONTROL, SECTION 7.34.060, IT IS UNLAWFUL FOR ANY PERSONS BETWEEN THE HOURS OF 7:00 P.M. OF ANY DAY AND 7:00 A.M. OF THE FOLLOWING DAY, OR ON A LEGAL HOLIDAY, OR ON SUNDAYS TO ERECT, CONSTRUCT, DEMOLISH, EXCAVATE, ALTER OR REPAIR ANY BUILDING OR STRUCTURE IN A MANNER AS TO CREATE DISTURBING EXCESSIVE OR OFFENSIVE NOISE.
- 27. STATIONARY CONSTRUCTION EQUIPMENT THAT GENERATES NOISE IN EXCESS OF 65 DBA AT THE PROJECT BOUNDARIES MUST BE SHIELDED AND LOCATED AT LEAST 100 FEET FROM OCCUPIED RESIDENCES. THE EQUIPMENT AREA WITH APPROPRIATE ACOUSTIC SHIELDING SHALL BE DESIGNATED ON BUILDING AND GRADING PLANS. EQUIPMENT AND SHIELDING SHALL REMAIN IN THE DESIGNATED LOCATION THROUGHOUT CONSTRUCTION ACTIVITIES.
- 28. CONSTRUCTION ROUTES ARE LIMITED TO CITY OF PERRIS DESIGNATED TRUCK ROUTES.
- 29. WATER TRUCKS OR SPRINKLER SYSTEMS SHALL BE USED DURING CLEANING, GRADING, EARTH MOVING, EXCAVATION, TRANSPORTATION OF CUT OR FILL MATERIALS AND CONSTRUCTION PHASES TO PREVENT DUST FROM LEAVING THE SITE AND TO CREATE A CRUST AFTER EACH DAY'S ACTIVITIES CEASE. AT A MINIMUM, THIS WOULD INCLUDE WETTING DOWN SUCH AREAS IN THE LATER MORNING AND AFTER WORK IS COMPLETED FOR THE DAY AND WHENEVER WIND EXCEEDS 15 MPH PER HOUR.
- 30. A PERSON OR PERSONS SHALL BE DESIGNATED TO MONITOR THE DUST CONTROL PROGRAM AND TO ORDER INCREASED WATERING AS NECESSARY TO PREVENT TRANSPORT OF DUST OFF-SITE. THE NAME AND TELEPHONE NUMBER OF SUCH PERSON SHALL BE PROVIDED TO THE CITY.
- 31. PROJECT APPLICANTS SHALL PROVIDE CONSTRUCTION SITE ELECTRICAL HOOK-UPS FOR ELECTRIC HAND TOOLS SUCH AS SAWS, DRILLS, AND COMPRESSORS, TO ELIMINATE THE NEED FOR DIESEL-POWERED ELECTRIC GENERATORS OR PROVIDE EVIDENCE THAT ELECTRICAL HOOK-UPS AT CONSTRUCTION SITES ARE NOT PRACTICAL OR PROHIBITIVELY EXPENSIVE.

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UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

BENCH MARK:
COUNTY OF RIVERSIDE BENCHMARK "M 21-1 RESET", 373 FEET EAST ALONG ETHANAC ROAD FROM THE INTERSECTION OF ETHANAC ROAD AND THE SOUTHBOUND LANES OF HIGHWAY 395. 150 FEET SOUTH OF ETHANAC ROAD, 50 FEET SOUTHEAST OF THE NORTHEAST CORNER OF A 6 FOOT CHAIN LINK RIGHT-OF-WAY FENCE, 1 FOOT NORTH OF AN ANGLE-POINT IN THE RIGHT-OF-WAY FENCE, 2 FEET NORTH OF A MARKER POST. A BRASS DISK STAMPED "M-21-1 RESET" SET IN THE TOP OF A CONCRETE POST 3 INCHES ABOVE GROUND. EL = 1421.891 NGVD 29 (5/85)

MARK	BY	DATE	REVISIONS	APPR	DATE
ENGINEER				CITY	

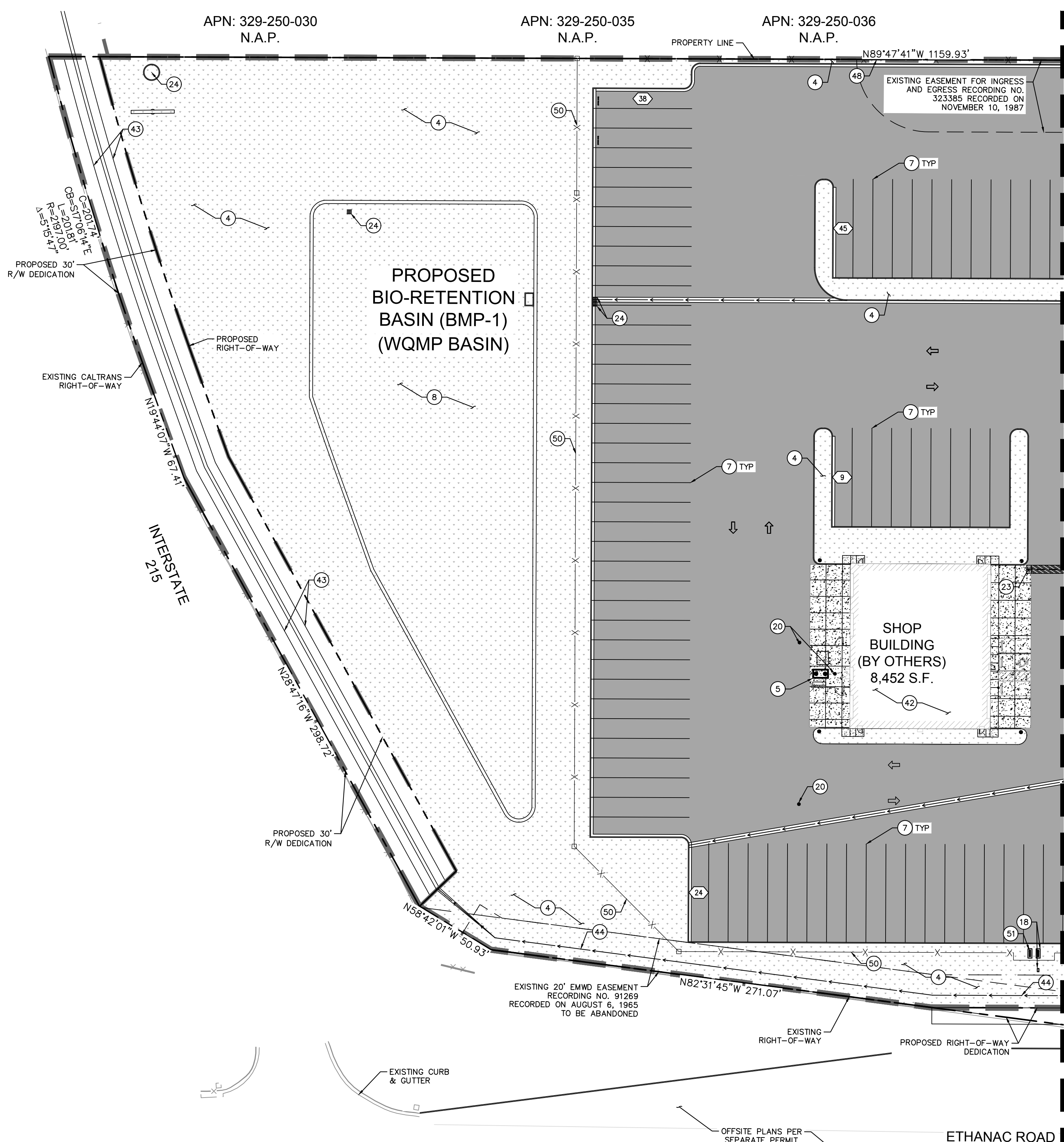
CITY OF PERRIS
APPROVED BY:
CONTRACT CITY ENGINEER DATE



Kimley»Horn
3801 UNIVERSITY AVENUE, SUITE 300, RIVERSIDE, CA 92501
PHONE: 951-543-9868
PREPARED BY:
LETICIA ALVAREZ R.C.E. 94675 DATE 9/19/2024

GENERAL NOTES PRELIMINARY PRECISE GRADING PLAN ETHANAC TRAVEL CENTER ETHANAC ROAD AND TRUMBLE ROAD APN: 329-250-011 & 329-250-012		SHEET NO. 2
PROJECT NUMBER: 095428010	FILE NO.:	OF 18 SHTS

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LEGEND	
—	PROPERTY LINE CIVIL
—	LIMITS OF WORK
—	CENTER LINE
—	SETBACKS
—	EASEMENT LINE
- - -	ACCESSIBLE ROUTE
x - x - x - x	FENCE/WALL
CB	GRADE BREAK
R	RIDGE LINE
⊕	PARKING COUNT
■	DETECTABLE WARNINGS
■	DECORATIVE PAVEMENT
■	STANDARD DUTY CONCRETE PAVEMENT
■	HEAVY DUTY CONCRETE PAVEMENT
■	HEAVY DUTY ASPHALT PAVEMENT
■	STANDARD DUTY ASPHALT PAVEMENT
■	LANDSCAPE/PLANTER AREA

DEVELOPMENT STANDARDS	
LOT SIZE	MINIMUM LOT SIZE OF ONE ACRE
LOT DIMENSIONS	MINIMUM LOT WIDTH 100 FEET MINIMUM LOT DEPTH 150 FEET
STRUCTURE SIZE	NO MINIMUM SIZE; HOWEVER FLOOR AREA RATION CANNOT EXCEED 0.75
ACCESSORY STRUCTURE	NO MAXIMUM SIZE
LOT COVERAGE	MAXIMUM LOT COVERAGE OF 50%
STRUCTURE HEIGHT	MAXIMUM HEIGHT OF 45 FEET
SETBACKS	FOR BUILDING THAT ARE 25 FEET FOR LESS IN HEIGHT <ul style="list-style-type: none"> MIN. FRONT YARD <ul style="list-style-type: none"> LOCAL AND COLLECTOR STREET 5 FEET SECONDARY AND PRIMARY ARTERIALS 10 FEET EXPRESSWAYS AND FREEWAYS 15 FEET FOR BUILDING GREATER THAN 25 FEET IN HEIGHT SHALL BE SETBACK AN ADDITIONAL 5 FEET FOR EACH TEN FEET OF ADDITIONAL STRUCTURE HEIGHT MAX FRONT YARD: NONE MIN. SIDE YARD: NONE. IF ADJOINING A RESIDENTIAL ZONE THE SETBACK SHALL NOT BE LESS THAN 10 FEET. IF LOADING AND UNLOADING ARE PROVIDED THE SETBACK SHALL BE NOT LESS THAN 25 FEET. MIN. STREET SIDE YARD: SEE REQUIREMENTS FOR FRONT YARDS MIN. REAR YARD: NONE. IF ADJOINING A RESIDENTIAL ZONE THE SETBACK SHALL BE THE DAME AD THE SIDE YARD REQUIREMENTS.
STRUCTURE SEPARATION	NONE REQUIRED
LOT FRONTAGE	MINIMUM LOT FRONTAGE OF 100 FEET

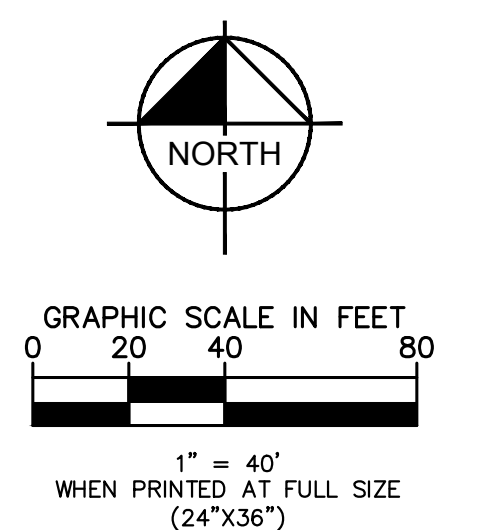
SITE INFORMATION	
APN	329-250-011 AND 329-250-012
EXISTING ZONING	COMMERCIAL COMMUNITY (CC)
PROPOSED ZONING	COMMERCIAL COMMUNITY (CC)
EXISTING LOT SIZE	±14.4 ACRES
PROPOSED PARCEL	±13.4 ACRES
DISTURBED AREA	±13.75 ACRES (599,017 SQ FT)
TOTAL PERVIOUS AREA	±4.39 ACRES (191,245 SQ FT)
TOTAL PERVIOUS AREA (%)	31.9%
TOTAL IMPERVIOUS (INCLUDING BUILDING)	±9.36 ACRES (407,772 SQ FT)
TOTAL IMPERVIOUS AREA (%)	68.1%
TOTAL GROSS FLOOR AREA (INCLUDING FUTURE SHOP BUILDING)	22,432 SQUARE FEET
FLOOR AREA RATIO (FAR) (INCLUDING THE CANOPIES)	0.04
PROPOSED BLDG HEIGHT	ETHANAC TRAVEL CENTER 31'-10" FUTURE SHOP BUILDING 22'-6"
SITE SETBACKS	SOUTH RIGHT OF WAY 10 FEET EAST RIGHT OF WAY 10 FEET WEST PROPERTY LINE NONE NORTH PROPERTY LINE NONE

- ### CONSTRUCTION NOTES
- ETHANAC TRAVEL CENTER BUILDING (SEE ARCHITECTURAL DRAWINGS), INSTALLED BY CONTRACTOR.
 - ABOVE GROUND STORAGE TANK FARM WITH CONTAINMENT. EACH AST FARM CONTAINS (4) 12,000 GALLON TACKS FOR DIESEL AND BIO. SEE PRODUCT PIPING DRAWINGS FOR MORE INFORMATION.
 - 25'-0" x 253'-7" AUTO CANOPY, FURNISHED AND INSTALLED BY CANOPY SUPPLIER. CANOPY FOUNDATIONS INSTALLED BY CONTRACTOR.
 - LANDSCAPE AREA INSTALLED BY CONTRACTOR. REFER TO LANDSCAPE AND IRRIGATION PLANS FOR MORE INFORMATION.
 - GREASE TRAP. FURNISHED AND INSTALLED BY CONTRACTOR.
 - CONCRETE ISLAND WITH A GAS/AUTO DIESEL (3+1) DISPENSER AND CONTAINMENT BOX TYPICAL AT (8) PLACES, INSTALLED BY CONTRACTOR.
 - PROPOSED STRIPING.
 - PROPOSED BIORETENTION BASIN. SEE UTILITY PLAN FOR MORE INFORMATION.
 - 25'-0" x 124'-9" TRUCK CANOPY, FURNISHED AND INSTALLED BY CANOPY SUPPLIER, CANOPY FOUNDATIONS INSTALLED BY CONTRACTOR.
 - TRUCK AIR STAND, TYPICAL AT EVERY OTHER TRUCK FUELING ISLAND, SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.
 - CONCRETE ISLAND WITH A DIESEL DISPENSER AND CONTAINMENT BOX TYPICAL AT (8) PLACES, INSTALLED BY CONTRACTOR.
 - PREFABRICATED TRUCK ISLAND CATCH BASIN (TYP (7) PLACES), SUPPLIED BY OWNER INSTALLED BY CONTRACTOR
 - TRUCK FREEZE PROOF WATER STAND TYPICAL AT EVERY OTHER TRUCK FUELING ISLAND FURNISHED AND INSTALLED BY CONTRACTOR.
 - TANK #1, PRODUCT #1. 20,000 GALLON, 10'-0" x 37'-8 3/4" LONG, DOUBLE-WALL FIBERGLASS UNDERGROUND REGULAR UNLEADED GASOLINE TANK. FURNISHED BY OWNER, INSTALLED BY CONTRACTOR (TYP (1) PLACE). SEE PP DRAWINGS FOR MORE INFORMATION.
 - TANK #2 AND TANK #3. 20,000 GALLON, 10'-0" x 37'-10" LONG (2) CHAMBER UNDERGROUND DOUBLE WALL FIBERGLASS TANK, TANK #2, PRODUCT #2 - 12,000 GALLON SUPER UNLEADED GASOLINE, TANK #3, PRODUCT #3 - 8,000 AUTO DIESEL. FURNISHED BY OWNER, INSTALLED BY CONTRACTOR. (SEE PP DRAWINGS FOR MORE INFORMATION).
 - LOCAL UTILITY ELECTRICAL TRANSFORMER INSTALLED BY CONTRACTOR.
 - TRAVEL CENTER DISTRIBUTION ELECTRICAL TRANSFORMER INSTALLED BY CONTRACTOR.
 - PROPOSED WATER OR IRRIGATION METER AND BACKFLOW. SEE UTILITY PLANS SHEET ##-## FOR MORE INFORMATION.
 - PROPOSED DCDA. SEE UTILITY PLANS SHEET ##-## FOR MORE INFORMATION.
 - PROPOSED SEWER CLEANOUT. SEE UTILITY PLANS SHEET ##-## FOR MORE INFORMATION.
 - PROPOSED U-SHAPED BIKE RACKS PER CITY STANDARDS AND SPECIFICATIONS.
 - INSTALL ACCESSIBLE RAMP. INSTALL CAST-IN-PLACE DETECTABLE WARNING SYSTEM (TRUNCATED DOMES) PER ARMOR TILE - 36" x 48" PANEL. PRODUCT NO. ADA-C-3648W PER DETAIL X, SHEET XX.
 - INSTALL DETECTABLE WARNINGS.
 - PROPOSED STORM DRAIN STRUCTURE. SEE STORM DRAIN PLANS SHEET ##-## FOR MORE INFORMATION.
 - AUTO AIR/VACUUM (PROVIDED BY OWNER, ELECTRICAL BY CONTRACTOR), YARD HYDRANT BY CONTRACTOR.
 - NEW TANK VENT RISER CLUSTER, INSTALLED BY CONTRACTOR.
 - 4,000 GALLON, 6'-0" x 21'-11" LONG, SINGLE-WALL FIBERGLASS UNDERGROUND OIL/ WATER SEPARATOR, FURNISHED BY OWNER, INSTALLED BY CONTRACTOR.
 - CLEAN OUT FOR OIL/WATER SEPARATOR FURNISHED AND INSTALLED BY CONTRACTOR.
 - B99 INJECTION SHED WITH SUMP. SUPPLIED BY OWNER. (SEE PRODUCT PIPING DRAWINGS FOR MORE INFORMATION).
 - 4" STEEL PIPE BOLLARD FURNISHED, INSTALLED BY CONTRACTOR (SEE CIVIL DWGS FOR SPECS.).
 - 6" STEEL PIPE BOLLARD FURNISHED, INSTALLED BY CONTRACTOR (SEE CIVIL DWGS FOR SPECS.).
 - 1'-0" CONCRETE BOLLARD FURNISHED, INSTALLED AND PAINTED BY CONTRACTOR (SEE CIVIL DWGS FOR SPECS.).
 - GREASE CONTAINER, PROVIDED BY OWNER.
 - SITE LIGHT, FURNISHED BY OWNER, INSTALLED BY CONTRACTOR. (LOCATION TO BE DETERMINED DURING FINAL ENGINEERING)
 - TRUCK SCALE, CONCRETE TRUCK SCALE PIT AND TRUCK SCALE FURNISHED AND INSTALLED BY TRUCK SCALE SUPPLIER. ELECTRICAL, COMMUNICATIONS AND DRAINAGE PROVIDED TO THE SCALE PIT BY CONTRACTOR, COORDINATION BY CONTRACTOR.
 - PARKING AREA DESIGNATED FOR GOLF CART.
 - TRASH ENCLOSURE, 8" CMU WITH ARCHITECTURAL ELEMENTS TO MATCH THE TRAVEL CENTER (SEE ARCH DRAWINGS FOR DETAILS).
 - TRASH COMPACTOR, FURNISHED AND INSTALLED BY TRASH COMPACTOR SUPPLIER.
 - CARDBOARD BAILER OR RECYCLE DUMPSTER, FURNISHED AND INSTALLED BY DUMPSTER SUPPLIER.
 - STORAGE UNIT, FURNISHED BY OWNER. ELECTRICAL & A/C INSTALL BY CONTRACTOR.
 - PROPOSED DECORATIVE PAVEMENT.
 - PROPOSED SHOP BUILDING TO BE CONSTRUCTED BY OTHERS PER SEPARATE PLANS (FOR REFERENCE ONLY).
 - PROPOSED CHANNEL (BOTTOM WIDTH 2', DEPTH 3.5', SIDE SLOPE 1.5:1) PER RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT PLAN FOR M.D.P. - ROMOLAND AREA LATERAL A-11A.
 - PROPOSED V-DITCH. REFER TO GRADING PLAN SHEET ## AND ## FOR MORE INFORMATION.
 - PROPOSED PORTE-COCHERE. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION.
 - PROPOSED COMMERCIAL DRIVEWAY.
 - FUTURE ELECTRIC VEHICLE CHARGING STATION.
 - PROPOSED 8" ALUMINUM FENCE WITH DECORATIVE PILASTERS.
 - PROPOSED 12'-6" SPLIT-FACE BLOCK WALL WITH DECORATIVE PILASTERS.
 - PROPOSED 14" ALUMINUM FENCE AND BERM WITH DECORATIVE PILASTERS.
 - PROPOSED DCDA.
 - PROPOSED PATH OF TRAVEL STRIPING.
 - PROPOSED 10' ALUMINUM FENCE.

MATCHLINE - SEE SHEET 5

PARKING REQUIREMENTS				
BUILDING	SF	CODE	REQUIRED	PARKING PROVIDED
PROPOSED DRIVE-THRU RESTAURANT	1,297 DINNING + SERVING AREA	1 SPACE PER 50 SQUARE FEET OF DINING OR SERVING AREA PLUS 10 SPACES	36 CAR	87 CAR SPACES (82 STANDARD STALL 5 ACCESSIBLE STALLS) 116 TRUCK SPACES 2 BICYCLE SPACES
PROPOSED TRAVEL CENTER RETAIL AREA	3,145	1 SPACE PER 250 SQUARE FEET OF BUILDING AREA	13 CAR	
PROPOSED SHOP BUILDING WITH 3 BAYS	8,452	5 SPACES PER BAY	15 CAR SCAPES	

LOADING REQUIREMENTS				
BUILDING	SF	CODE	REQUIRED	PROVIDED
PROPOSED TRAVEL CENTER WITH DRIVE THRU RESTAURANT AND SHOP BUILDING	22,432	10,000-25,000 SQUARE FEET OF BUILDING AREA; ONE LOADING SPACE	1 LOADING SPACE	1 LOADING SPACE



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UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

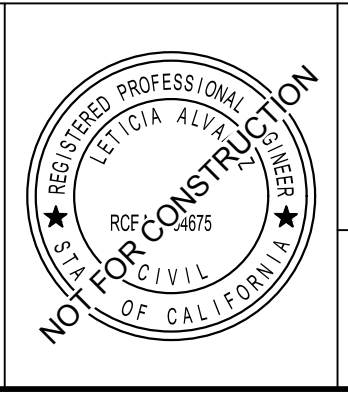
BENCH MARK:
 COUNTY OF RIVERSIDE BENCHMARK "M 21-1 RESET", 373 FEET EAST ALONG ETHANAC ROAD FROM THE INTERSECTION OF ETHANAC ROAD AND THE SOUTHBOUND LANES OF HIGHWAY 395. 150 FEET SOUTH OF ETHANAC ROAD. 50 FEET SOUTHEAST OF THE NORTHEAST CORNER OF A 6 FOOT CHAIN LINK RIGHT-OF-WAY FENCE. 1 FOOT NORTHEAST OF AN ANGLE-POINT IN THE RIGHT-OF-WAY FENCE. 2 FEET NORTH OF A MARKER POST. A BRASS DISK STAMPED "M-21-1 RESET" SET IN THE TOP OF A CONCRETE POST 3 INCHES ABOVE GROUND. EL = 1421.891 NGVD 29 (5/85)

MARK	BY	DATE	REVISIONS	APPR	DATE

CITY OF PERRIS

APPROVED BY: _____ DATE _____

CONTRACT CITY ENGINEER DATE



Kimley»Horn

3801 UNIVERSITY AVENUE, SUITE 300, RIVERSIDE, CA 92501
 PHONE: 951-543-9868

PREPARED BY: Leticia Alvarez
 R.C.E. 94675 DATE: 9/19/2024

SITE PLAN PRELIMINARY PRECISE GRADING PLAN
ETHANAC TRAVEL CENTER
ETHANAC ROAD AND TRUMBLE ROAD
APN: 329-250-011 & 329-250-012

PROJECT NUMBER: 095428010

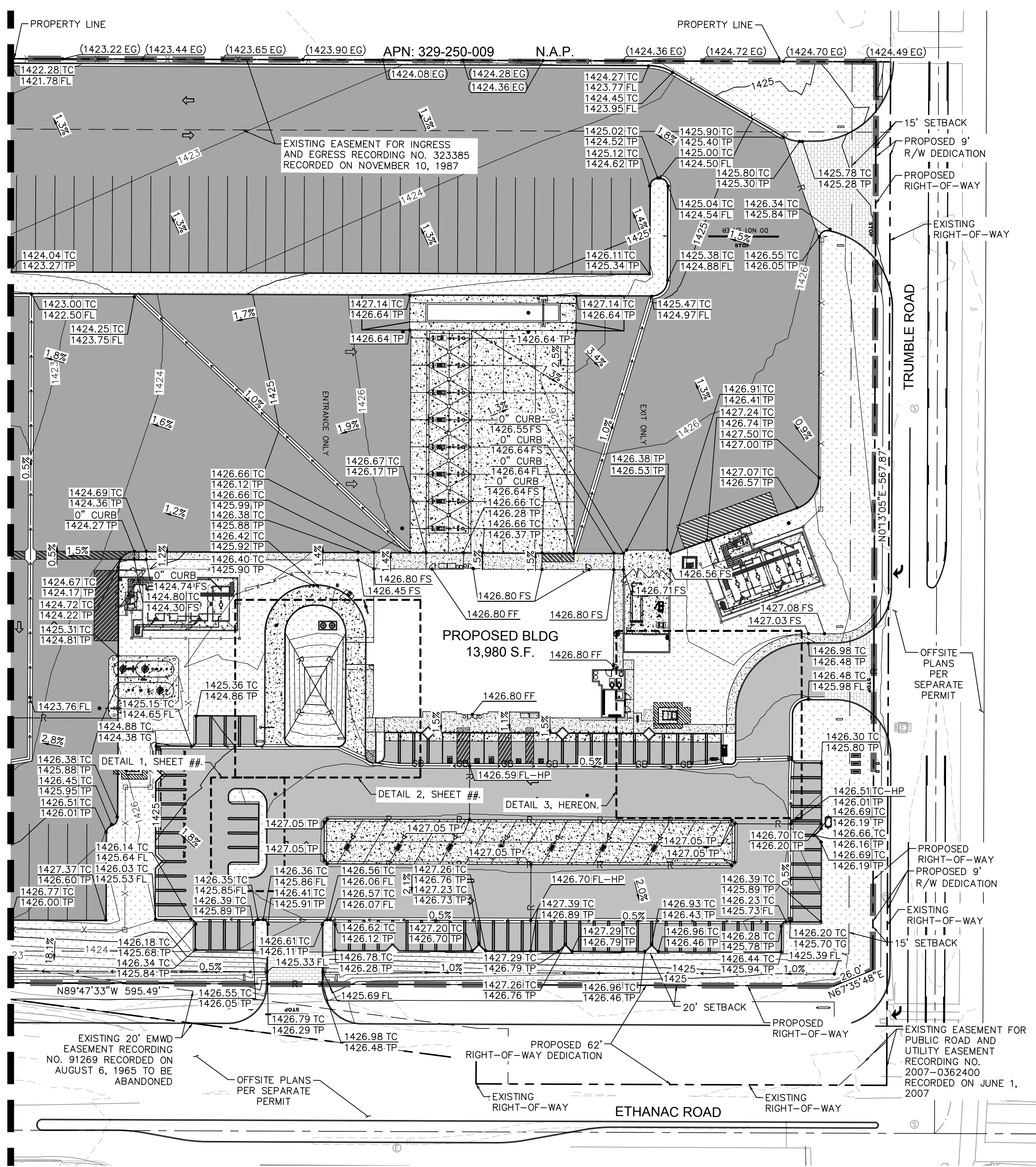
FILE NO.:

SHEET NO. **4**

OF 18 SHTS

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MATCHLINE - SEE SHEET 10

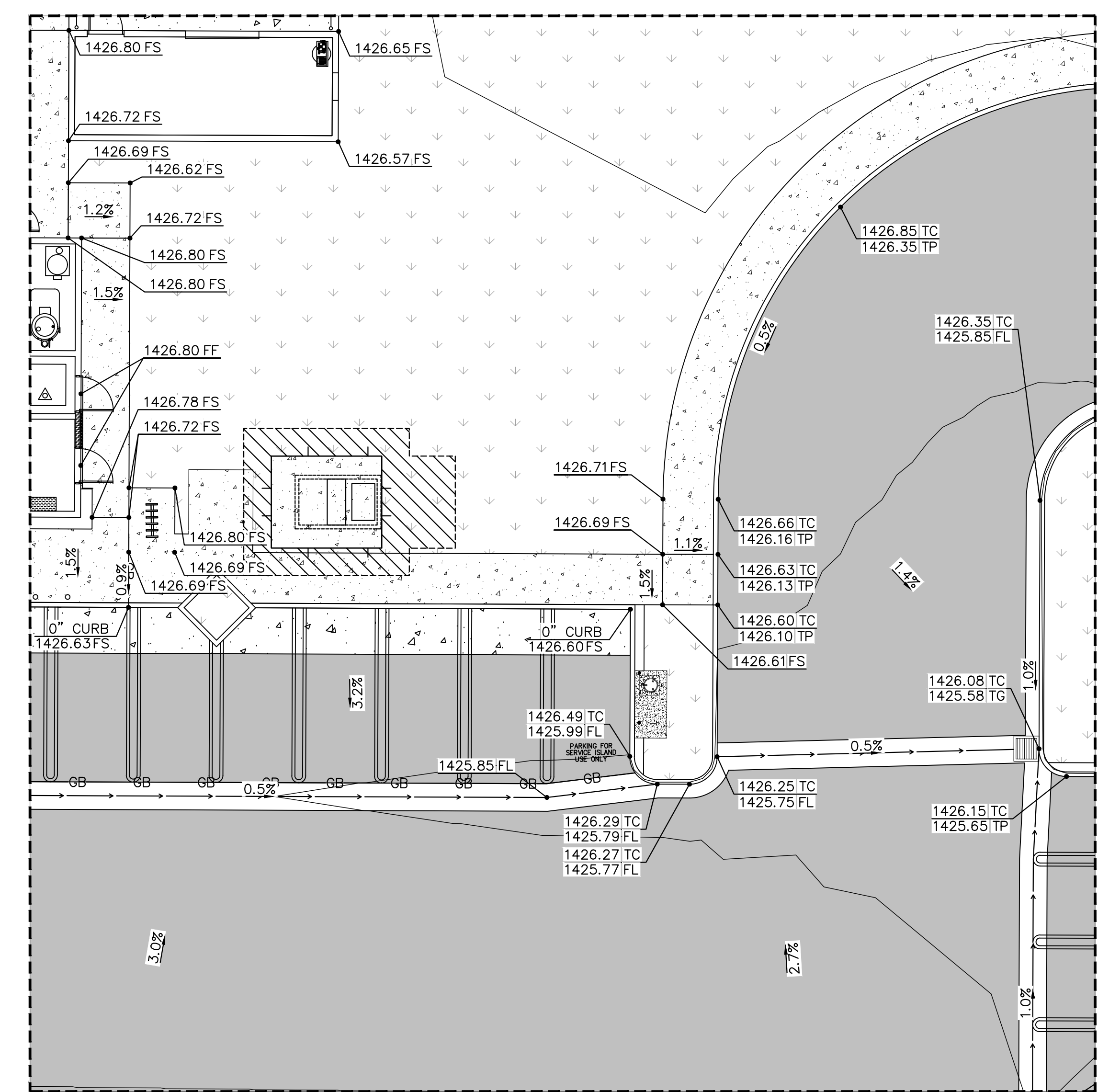


LEGEND			
	PROPERTY LINE CIVIL		STANDARD DUTY CONCRETE PAVEMENT
	LIMITS OF WORK		HEAVY DUTY CONCRETE PAVEMENT
	CENTER LINE		HEAVY DUTY ASPHALT PAVEMENT
	SETBACKS		STANDARD DUTY ASPHALT PAVEMENT
	EASEMENT LINE		LANDSCAPE/PLANTER AREA
	GRADE BREAK		DECORATIVE PAVEMENT
	RIDGE LINE		
	PROPOSED ELEVATION		
	EXISTING ELEVATION		
	SLOPE		
	DETECTABLE WARNINGS		

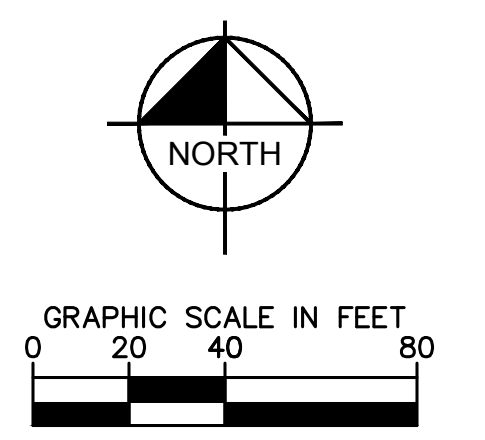
ABBREVIATIONS:	
EG	EXISTING GROUND ELEVATION
FF	FINISHED FLOOR ELEVATION
FS	FINISH SURFACE ELEVATION
FL	FLOW LINE ELEVATION
GB	GRADE BREAK
HP	HIGH POINT
N.A.P.	NOT A PART
TC	TOP OF CURB
TG	TOP OF GRADE
TP	TOP OF PAVEMENT

GRADING NOTES

- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
- NO EARTHEN SLOPE SHALL BE GREATER THAN 2:1, UNLESS OTHERWISE NOTED.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
- MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
- MATCH EXISTING ELEVATIONS AT THE CURB LIMITS.
- REFER TO STORM DRAIN PLANS FOR INLET SIZE AND LOCATION.
- EARTHWORK AND PAVING SPECIFICATION PER GEOTECHNICAL REPORT.
- A GRADING PERMIT FROM THE CITY OF PERRIS WILL BE REQUIRED PRIOR TO COMMENCEMENT OF WORK.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF PERRIS STANDARDS AND SPECIFICATIONS.



DETAIL 3
1"=10'

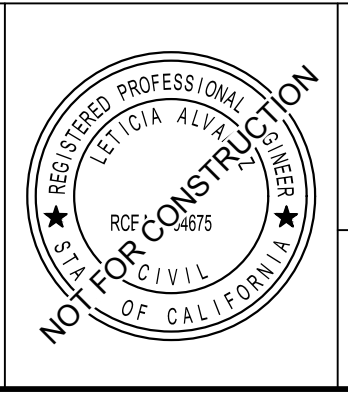


BENCH MARK:
COUNTY OF RIVERSIDE BENCHMARK "M 21-1 RESET", 373 FEET EAST ALONG ETHANAC ROAD FROM THE INTERSECTION OF ETHANAC ROAD AND THE SOUTHBOUND LANES OF HIGHWAY 395. 150 FEET SOUTH OF ETHANAC ROAD, 50 FEET SOUTHEAST OF THE NORTHEAST CORNER OF A 6 FOOT CHAIN LINK RIGHT-OF-WAY FENCE, 1 FOOT NORTHEAST OF AN ANGLE-POINT IN THE RIGHT-OF-WAY FENCE, 2 FEET NORTH OF A MARKER POST, A BRASS DISK STAMPED "M-21-1 RESET" SET IN THE TOP OF A CONCRETE POST 3 INCHES ABOVE GROUND. EL = 1421.891 NGVD 29 (5/85)

MARK	BY	DATE	REVISIONS	APPR	DATE

CITY OF PERRIS

APPROVED BY: _____ DATE _____
CONTRACT CITY ENGINEER



Kimley»Horn
3801 UNIVERSITY AVENUE, SUITE 300, RIVERSIDE, CA 92501
PHONE: 951-543-9868

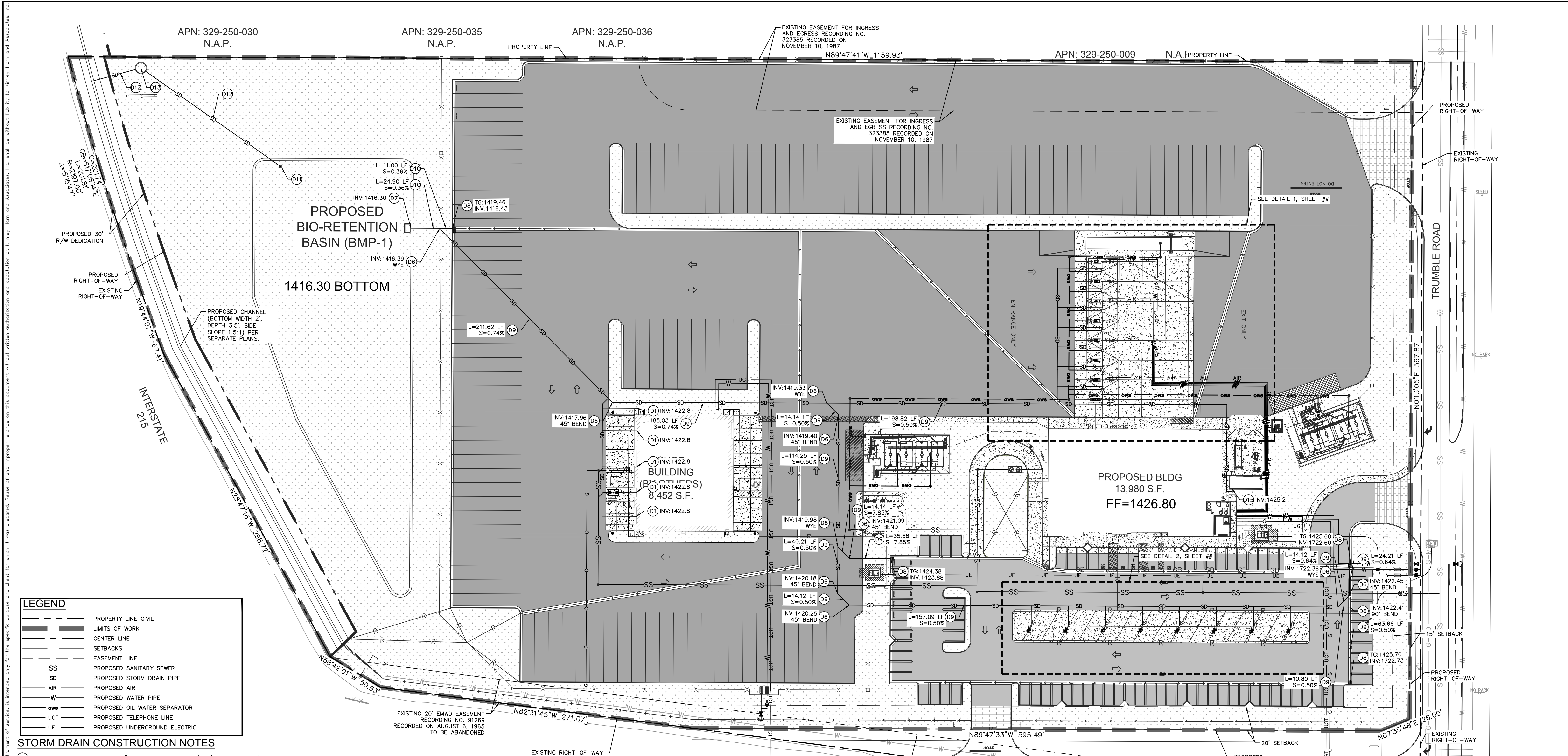
PREPARED BY: Leticia Alvarez
DATE: 9/19/2024
R.C.E. 94675

GRADING PLAN
PRELIMINARY PRECISE GRADING PLAN
ETHANAC TRAVEL CENTER
ETHANAC ROAD AND TRUMBLE ROAD
APN: 329-250-011 & 329-250-012

PROJECT NUMBER: 095428010
FILE NO.:

SHEET NO. **11**
OF 18 SHTS

811 DIAL TOLL FREE 811
Know what's below. Call before you dig.
AT LEAST TWO DAYS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA



LEGEND

---	PROPERTY LINE CIVIL
---	LIMITS OF WORK
---	CENTER LINE
---	SETBACKS
---	EASEMENT LINE
SS	PROPOSED SANITARY SEWER
SD	PROPOSED STORM DRAIN PIPE
AIR	PROPOSED AIR
W	PROPOSED WATER PIPE
OWS	PROPOSED OIL WATER SEPARATOR
UGT	PROPOSED TELEPHONE LINE
UE	PROPOSED UNDERGROUND ELECTRIC

STORM DRAIN CONSTRUCTION NOTES

- (D1) CONTRACTOR TO CONNECT TO 6" BUILDING ROOF DRAIN (1.50' MIN. BELOW FF).
- (D2) CONTRACTOR TO INSTALL 3" PVC FROM TRUCK CANOPY DRAINS. INVERT ELEVATION AT EACH ISLAND 1.25' BELOW CANOPY PAD FINISH GRADE.
- (D3) CONTRACTOR TO INSTALL 6" PVC TRUNK LINE FROM 3" PVC CANOPY DRAIN LINES TO STORM WATER DRAINAGE.
- (D4) CONTRACTOR TO INSTALL 3" PVC FROM AUTO CANOPY DRAINS. INVERT ELEVATION AT EACH ISLAND 1.25' BELOW CANOPY PAD FINISH GRADE.
- (D5) INSTALL PVC FITTING (TYPE PER PLAN)
- (D6) INSTALL HDPE FITTING (TYPE PER PLAN)
- (D7) CONSTRUCT SAND FOREBAY PER DETAIL X ON SHEET X
- (D8) INSTALL NYLOPLAST 12" DRAIN BASIN WITH SUMP INSERT 2' BY 2' ROAD & HIGHWAY GRATE INLET WITH FLEXSTORM PERMANENT USE PURE INLET PER DETAIL X AND X ON SHEET X
- (D9) INSTALL 12" HDPE STORM DRAIN PIPE
- (D10) INSTALL 24" HDPE STORM DRAIN PIPE
- (D11) PROPOSED OVERFLOW STRUCTURE.
- (D12) PROPOSED OVERFLOW PIPE.
- (D13) PROPOSED PUMP.
- (D14) PROPOSED 6" ROOF DRAIN LINE.
- (D15) CONTRACTOR TO CONNECT TO 4" ROOF DRAIN (1.5' MIN. BELOW FS)

EXISTING UTILITY NOTES

- THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.
- ALL SHUT DOWN OF EXISTING WATER MAIN TO BE DONE BY AND COORDINATED WITH THE CITY UTILITY DIVISION. CONTRACTOR SHALL NOTIFY ALL AFFECTED WATER USERS 72 HOURS IN ADVANCE OF SHUT DOWN.

GENERAL NOTES

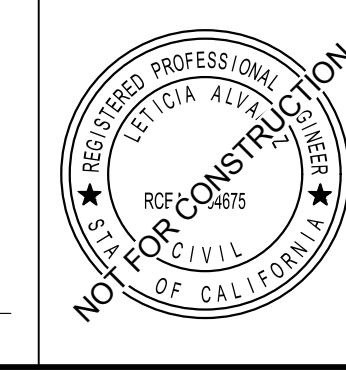
1. PRIOR TO ANY WORK PERFORMED IN THE RIGHT-OF-WAY A PERMIT FROM THE CITY OF PERRIS IS REQUIRED.
2. ALL CATCH BASIN COVERS/GRATES AND CLEANOUT/MANHOLE COVERS EXPOSED TO VEHICULAR LOADS SHALL BE TRAFFIC RATED.
3. FOR TRENCHING, PIPE BEDDING & ROADWAY PAVEMENT REPAIRS DETAILS & SPECIFICATIONS, TRENCH AND BACKFILL PER EMDM STANDARDS AND SPECIFICATIONS.
4. STUB POINT OF CONNECTION 5' FROM BUILDING. REFER TO MEP PLAN FOR CONTINUATION OF BUILDING.
5. CONTRACTOR TO MAINTAIN A VERTICAL SEPARATION OF A MINIMUM OF 1-FOOT FOR ALL UTILITY CROSSINGS SHOWN ON THIS PLAN PER DETAIL 2, SHEET ##.

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Know what's below. Call before you dig.
AT LEAST TWO DAYS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

BENCH MARK:
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MARK	BY	DATE	REVISIONS	APPR	DATE

CITY OF PERRIS
APPROVED BY: _____
CONTRACT CITY ENGINEER DATE

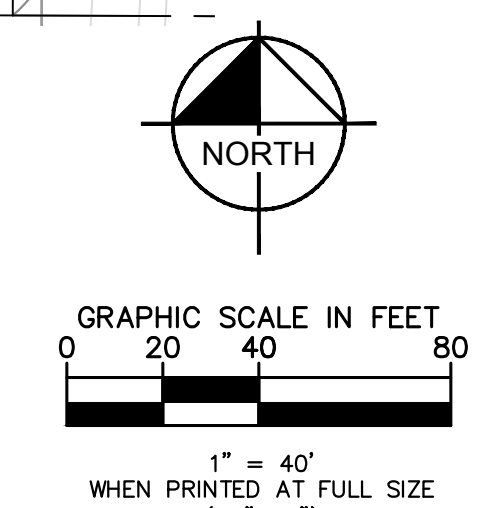


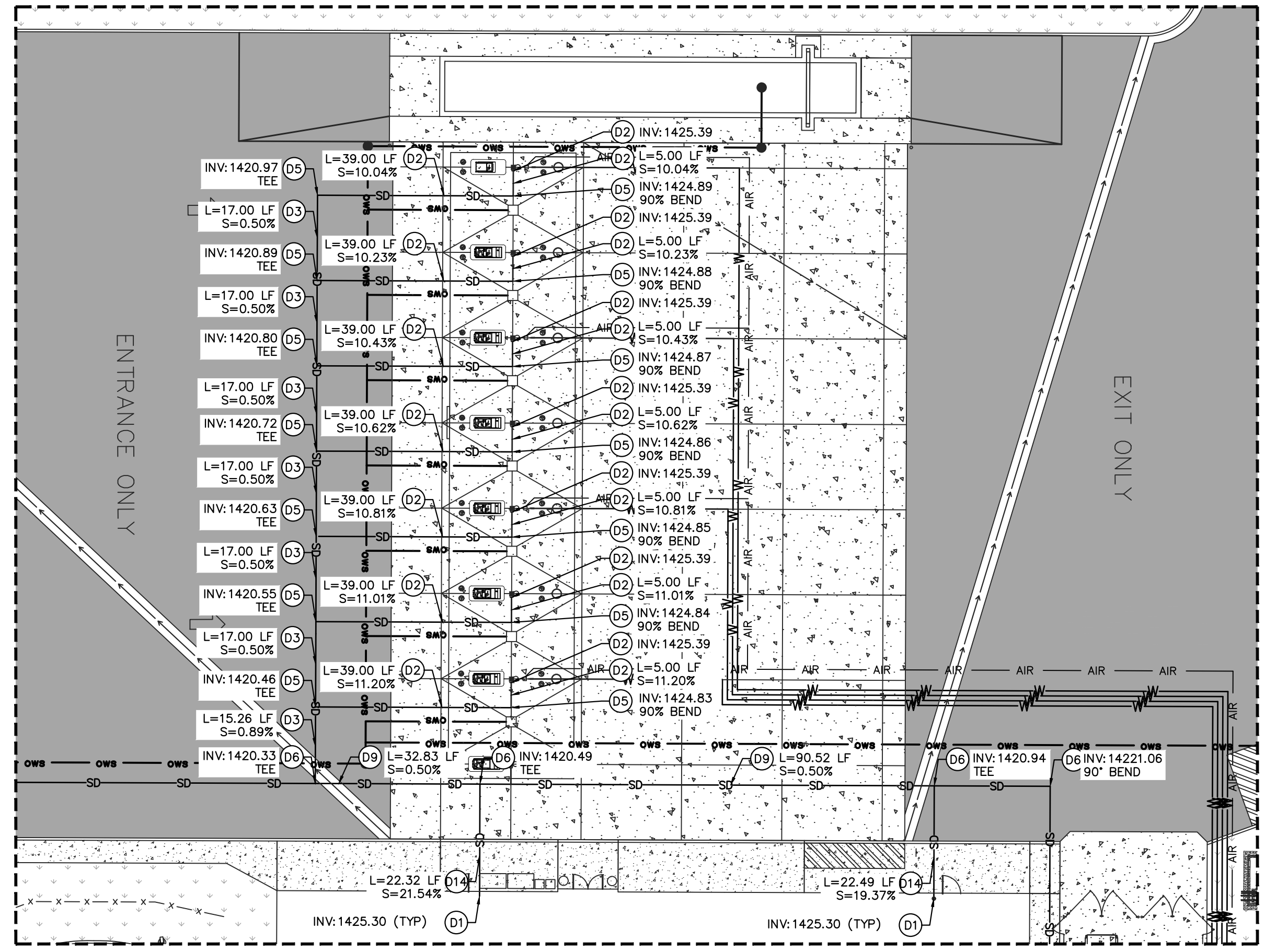
Kimley»Horn
3801 UNIVERSITY AVENUE, SUITE 300, RIVERSIDE, CA 92501
PHONE: 951-543-9868
PREPARED BY: LETICIA ALVAREZ
R.C.E. 94675 DATE: 9/19/2024

STORM DRAIN PLAN PRELIMINARY PRECISE GRADING PLAN ETHANAC TRAVEL CENTER ETHANAC ROAD AND TRUMBLE ROAD APN: 329-250-011 & 329-250-012

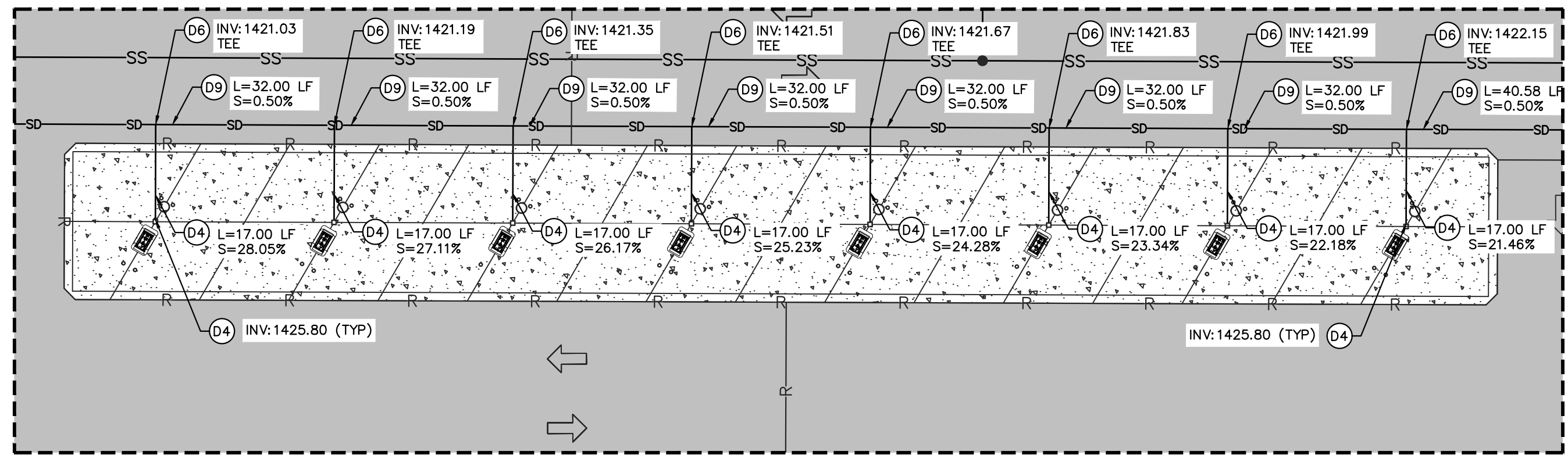
PROJECT NUMBER: 095428010 FILE NO.:

SHEET NO. **14** OF 18 SHTS





DETAIL 1
1"=20'



DETAIL 2
1"=20'

LEGEND

---	PROPERTY LINE CIVIL
---	LIMITS OF WORK
---	CENTER LINE
---	SETBACKS
---	EASEMENT LINE
SS	PROPOSED SANITARY SEWER
SD	PROPOSED STORM DRAIN PIPE
AIR	PROPOSED AIR
W	PROPOSED WATER PIPE
OWS	PROPOSED OIL WATER SEPARATOR
UGT	PROPOSED TELEPHONE LINE
UE	PROPOSED UNDERGROUND ELECTRIC

STORM DRAIN CONSTRUCTION NOTES

- (D1) CONTRACTOR TO CONNECT TO 6" BUILDING ROOF DRAIN (1.50' MIN. BELOW FF).
- (D2) CONTRACTOR TO INSTALL 3" PVC FROM TRUCK CANOPY DRAINS. INVERT ELEVATION AT EACH ISLAND 1.25' BELOW CANOPY PAD FINISH GRADE.
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- (D13) PROPOSED PUMP.
- (D14) PROPOSED 6" ROOF DRAIN LINE.

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4. STUB POINT OF CONNECTION 5' FROM BUILDING. REFER TO MEP PLAN FOR CONTINUATION OF BUILDING.
5. CONTRACTOR TO MAINTAIN A VERTICAL SEPARATION OF A MINIMUM OF 1-FOOT FOR ALL UTILITY CROSSINGS SHOWN ON THIS PLAN PER DETAIL X, SHEET XX.

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EL = 1421.891 NGVD 29 (5/85)

MARK	BY	DATE	ENGINEER

CITY OF PERRIS
APPROVED BY:
CONTRACT CITY ENGINEER
DATE



Kimley»Horn
3801 UNIVERSITY AVENUE, SUITE 300, RIVERSIDE, CA 92501
PHONE: 951-543-9868
PREPARED BY:
LETICIA ALVAREZ
R.C.E. 94675
DATE: 9/19/2024

**STORM DRAIN PLAN BLOW UPS
PRELIMINARY PRECISE GRADING PLAN
ETHANAC TRAVEL CENTER
ETHANAC ROAD AND TRUMBLE ROAD
APN: 329-250-011 & 329-250-012**

PROJECT NUMBER: 095428010
FILE NO.:

SHEET NO. **15**
OF 18 SHTS

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