

PROPERTY OWNER
 FIRST INDUSTRIAL REALTY TRUST
 898 N. PACIFIC COAST HIGHWAY SUITE 175
 EL SEGUNDO, CA 90245
 TEL: (310) 321-3805
 CONTACT: PAUL LOUBET
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APPLICANT
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 EL SEGUNDO, CA 90245
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 CONTACT: PAUL LOUBET
 PLOUBET@FIRSTINDUSTRIAL.COM

APPLICANT'S REPRESENTATIVE
 HPA, INC.
 18831 BARDEEN AVE SUITE 100
 IRVINE CA 92612
 TEL: 949-863-2116
 ATTN: RUBEN CHOI

ADDRESS OF THE PROPERTY
 100 W SINCLAIR STREET PERRIS, CA 92571

ASSESSOR'S PARCEL NUMBER
 303-080-013 & 303-080-015

hpa, inc.
 18831 bardeen avenue, - ste. #100
 irvine, ca
 92612
 tel: 949-863-1770
 fax: 949-863-0851
 email: hpa@hparchs.com

ZONING
 ZONING DESIGNATION - PERRIS VALLEY COMMERCE CENTER SPECIFIC PLAN
 LIGHT INDUSTRIAL

LEGAL DESCRIPTION
 PARCELS A AND B OF LLA NO. 08-10-0001, IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.
 RECORDED JANUARY 7, 2009, AS INSTRUMENT NO. 2009-0006173 OF OFFICIAL RECORDS, RIVERSIDE COUNTY

PROJECT DATA

SITE AREA	
In s.f.	877,984 sf
In acres	20.2 ac
BUILDING AREA	
Office - 1st Floor	4,000 sf
Office - 2nd Floor	4,000 sf
Warehouse	419,224 sf
BUILDING FOOTPRINT	427,224 sf
TOTAL BUILDING AREA	427,224 sf
FLOOR AREA RATIO	
Maximum Allowed	0.75
Actual	0.487
SITE COVERAGE	
Maximum Allowed	50%
Actual	48.20%
AUTO PARKING REQUIRED	
Office: less than 10% of GFA	n/a stalls
Whse: 1 to 20,000 sf @ 1 / 1,000 sf	20 stalls
20,001 sf to 40,000 sf @ 1 / 2,000 sf	10 stalls
Over 40,001 sf @ 1 / 5,000 sf	70 stalls
TOTAL	108 stalls
AUTO PARKING PROVIDED	
Standard (9' x 19')	78 stalls
ADA Standard (9' x 19')	4 stalls
ADA Van (9' x 19')	1 stall
Standard EVCS (9' x 19')	4 stalls
ADA EVCS Standard Parking (9' x 19')	1 stall
ADA EVCS Van Parking (12' x 19')	1 stall
EV Capable Space w/ Canopy (9' x 19')	19 stalls
TOTAL	108 stalls
TRAILER PARKING REQUIRED	
1 per 5,000 s.f.	85 stalls
TRAILER PARKING PROVIDED	
Trailer (10' x 33')	96 stalls
ZONING REQUIREMENTS	
MAXIMUM BUILDING HEIGHT ALLOWED	Height - 50'
Front/street building setback at secondary arterial - 15'	
Rear/Side building setback - none	
LANDSCAPE	
REQUIRED	105,359 SF
PROVIDED	105,896 SF 12.1 %

Owner:

989 N Sepulveda Blvd. Suite 750
 El Segundo, CA 90245

tel: 310-414-5400

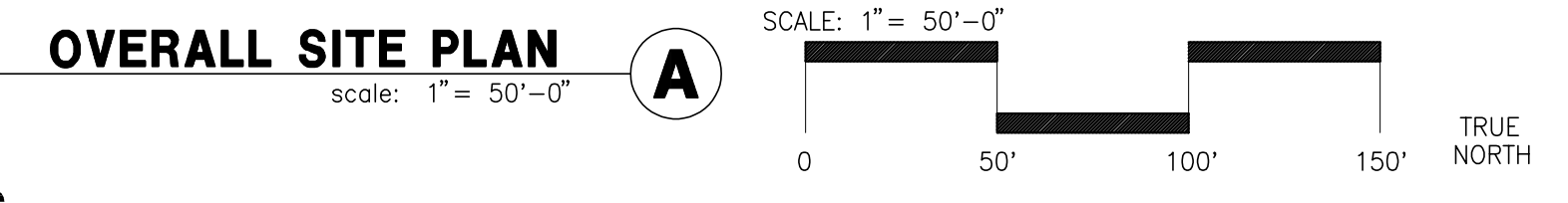
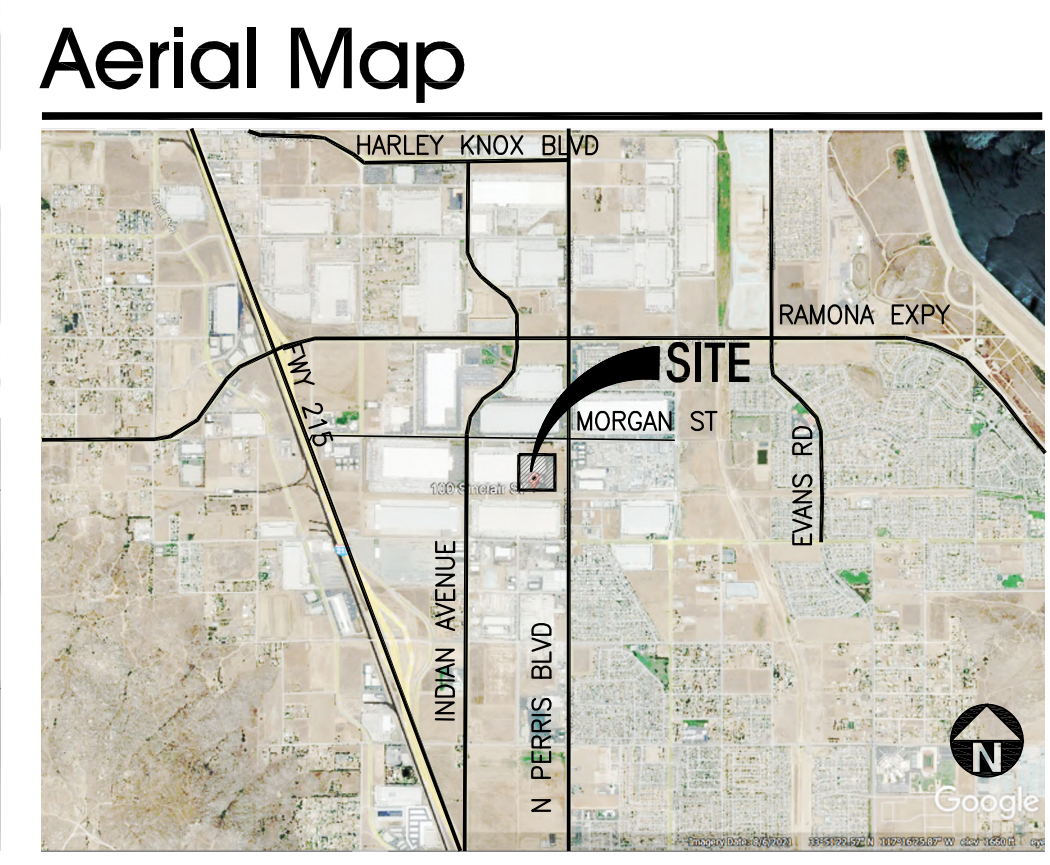
Project:

FIRST INDUSTRIAL SINCLAIR

100 W SINCLAIR STREET
 PERRIS, CA

Consultants:

CIVIL - FMCVIL
 STRUCTURAL -
 MECHANICAL -
 PLUMBING -
 ELECTRICAL -
 LANDSCAPE - SPLA
 FIRE PROTECTION -
 SOILS ENGINEER -



SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONC. PAVEMENT.
- 2 PUMP HOUSE
- 3 CONCRETE WALKWAY
- 4 ENHANCED DRIVEWAY APRONS TO BE CONSTRUCTED PER "L" DRAWINGS.
- 5 5'-6" X 5'-6" X 4" MIN. THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. SLOPE TO BE 1/4" - 1/2" MAX. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY W/ 1:20 MAX. AS REQ. BY CITY INSPECTOR.
- 6 PROVIDE METAL, MANUAL OPERATED SLIDING GATES W/ PERFORATED SCREEN MESH & KNOX-PAD LOCK PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 7 PROVIDE METAL, MANUAL OPERATED SWING GATES W/ PERFORATED SCREEN MESH & KNOX-PAD LOCK PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8 LANDSCAPE. SEE "L" DWGS.
- 9 CONCRETE TILT-UP SCREEN WALL
- 10 BIKE RACK.
- 11 APPROXIMATE LOCATION OF TRANSFORMER.
- 12 8" H WROUGHT IRON FENCE
- 13 14" H SCREEN WALL WITH ANTI GRAFFITI COATING
- 14 ELECTRICAL ROOM
- 15 PROPOSED SITE LIGHT POLE.
- 16 PROPOSED STREET LIGHT
- 17 TRASH ENCLOSURE PER CITY STANDARD.
- 18 PROPOSED FIRE HYDRANT
- 19 HANDICAPPED PARKING STALL SIGN
- 20 HANDICAPPED ENTRY SIGN
- 21 PRE-CAST CONC. WHEEL STOP
- 22 CONC. FILLED GUARD POST "6 DIA. U.N.O. 42" H.
- 23 EXTERIOR CONC. STAIR.
- 24 FUTURE INDOOR EMPLOYEE BREAK AREA
- 25 COLOR CONCRETE WITH SCORING LINES AT TRUCK DRIVEWAY
- 26 EMPLOYEE BREAK AREA WITH 12'X60" BOCCO COURT
- 27 EMPLOYEE BREAK AREA WITH CANOPY AND TABLE
- 28 FUTURE INDOOR EMPLOYEE BREAK AREA WITH 20'X44" PICKLEBALL COURT
- 29 AUTOMATIC BOOM BARRIER DOUBLE GATE
- 30 PROPOSED 8" CLASS 1 MULTIPURPOSE PATH
- 31 3' WIDE WI SWING GATE W/LOCKSET
- 32 6' WIDE WI SWING GATE W/LOCKSET

SITE LEGEND

- LANDSCAPED AREA
- SITE PAVING - SEE "C" DWGS. FOR THICKNESS
- CONCRETE PAVING SEE "C" DWGS. FOR THICKNESS
- STANDARD PARKING STALL (9' X 19')
- HANDICAP PARKING STALL (9' X 19')
- 26' FIRE LANE.
- VAN ACCESSIBLE EVCS WITH ISA SIGN AND MARKING "EV CHARGING ONLY", 12'X18'+5' W/ ACCESSIBLE AISLE
- STANDARD EVCS SIZE, 9'X18'
- EV CAPABLE SPACE WITHOUT EVSE SIZE 9'X18'
- LIGHT STANDARD
- EXISTING PUBLIC FIRE HYDRANT
- PRIVATE FIRE HYDRANT - APPROXIMATE LOCATION
- PROPERTY LINE
- PATH OF TRAVEL
- TRUCK IN & OUT
- EV CHARGER
- EV CHARGER FOR FUTURE

SITE PLAN GENERAL NOTES

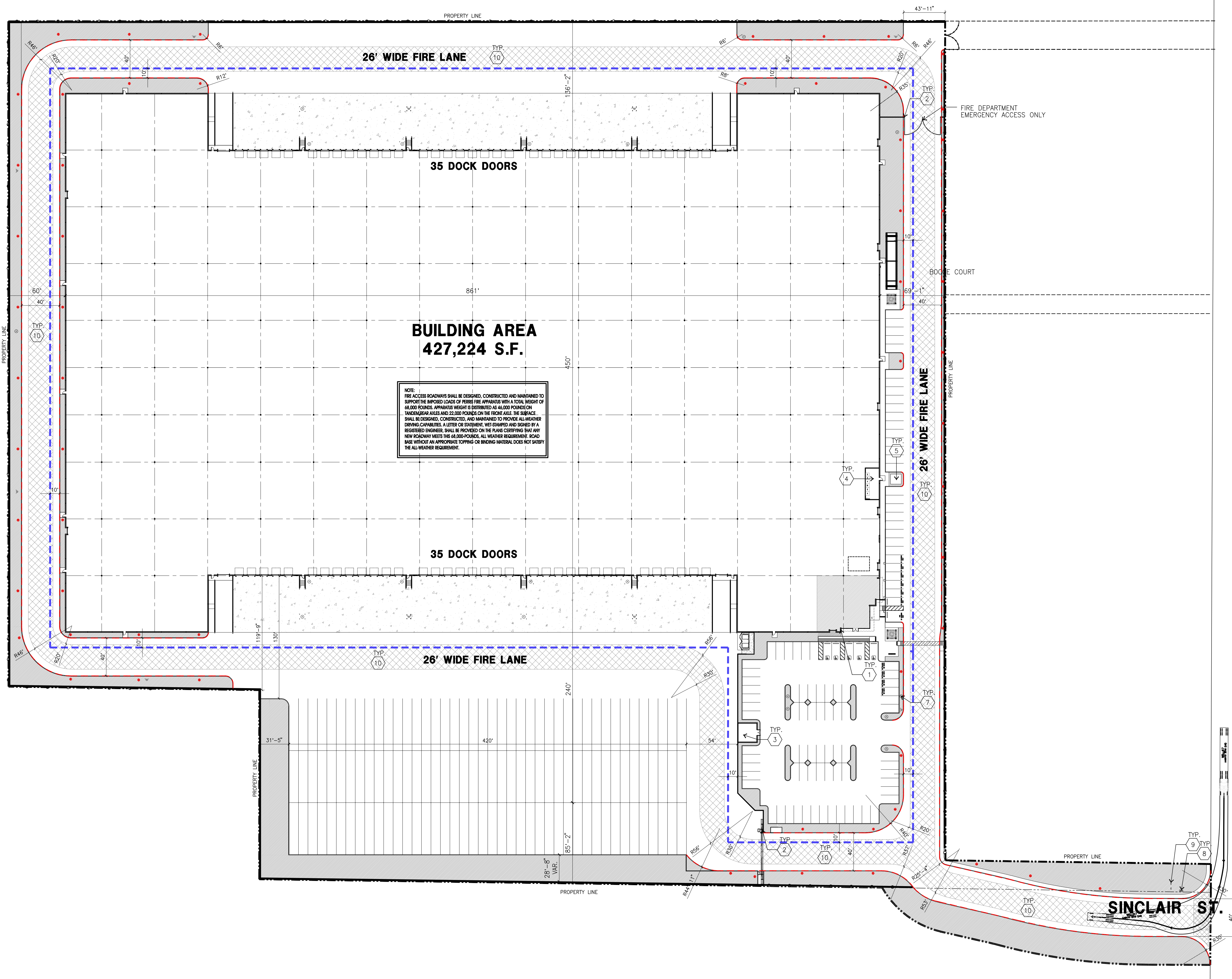
1. THE SOILS REPORT PREPARED BY _____ SHOULD BE A PART OF THESE CONTRACT DOCUMENTS.
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM, PRIOR TO INSTALLATION & AT LEAST 60 DAYS BEFORE BLDG. COMPLETION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". SEE "L" DRAWINGS FOR FINISH.
11. PROVIDE TWO FIRE HYDRANT ON THE SITE. FINAL LOCATION WILL DETERMINE IN DURING SUBMITTAL.
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
14. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
15. NOT USED
16. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
17. NOT USED.
18. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
19. APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO GRADING PERMIT

Title: **OVERALL SITE PLAN**

Project Number: 21393
 Drawn by: RC
 Date: 06/02/2023
 Revision:

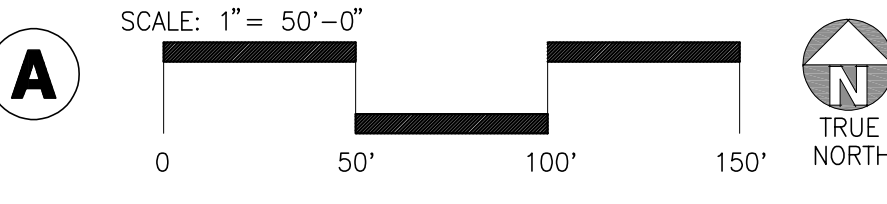
Sheet: **DAB-A1.1**

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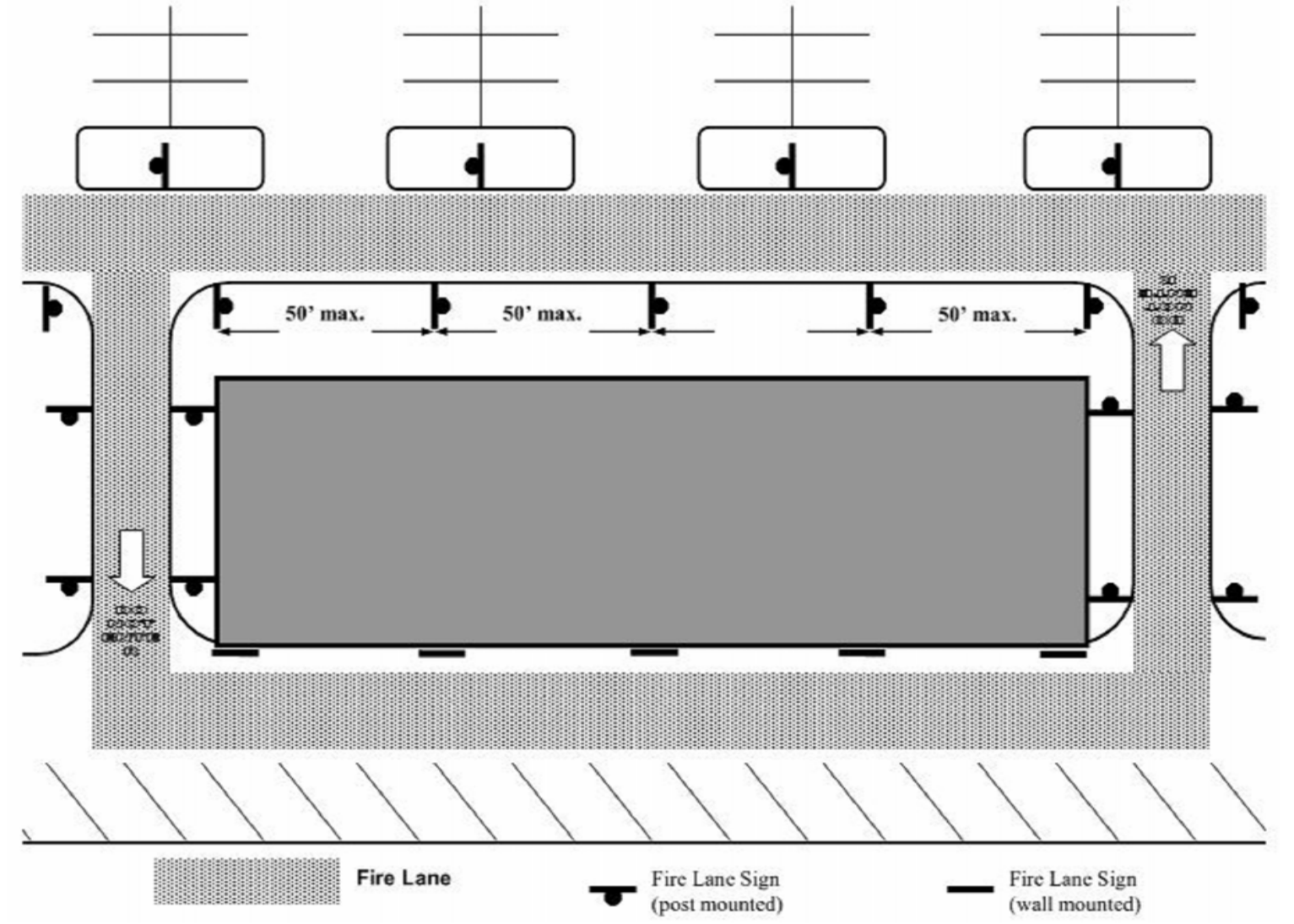


NOTE: FIRE ACCESS ROADS SHALL BE DESIGNED, CONSTRUCTED AND MAINTAINED TO SUPPORT THE IMPROVED LOADS OF FIRE FIRE APPARATUS WITH A TOTAL WEIGHT OF 40,000 POUNDS. APPROXIMATE WEIGHT IS DISTRIBUTED AS FOLLOWS: FRONT AXLE AND 22,000 POUNDS ON THE FRONT AXLE. THE SURFACE SHALL BE DESIGNED, CONSTRUCTED AND MAINTAINED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. A LETTER OR SIGNMENT, WET-STAMPED AND SIGNED BY A REGISTERED ENGINEER, SHALL BE PROVIDED ON THE PLANS IDENTIFYING ANY NEW ROADWAY WITH THE ALL-WEATHER REQUIREMENTS. ROAD AND SURFACE SHALL BE APPROPRIATELY TOPPED OR FINISHED MATERIAL DOES NOT MEET THE ALL-WEATHER REQUIREMENT.

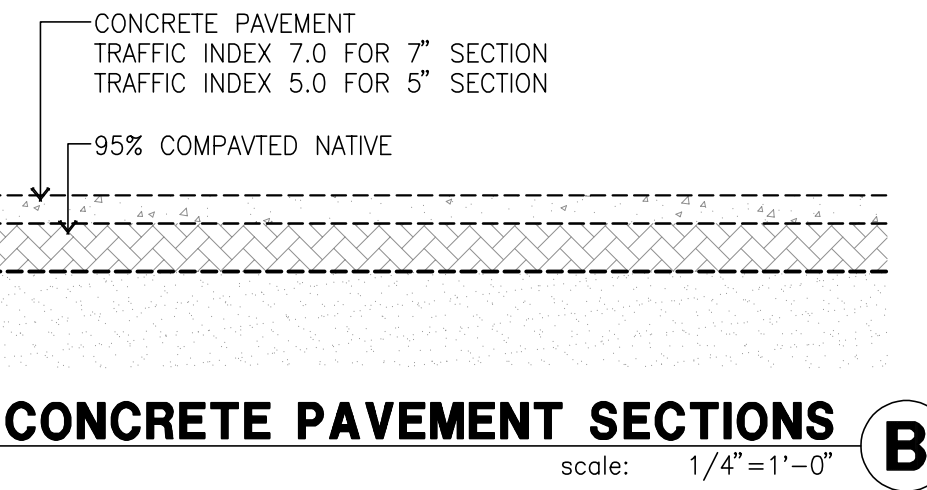
OVERALL FIRE PLAN
scale: 1" = 50'-0"



Fire Lane No Parking Sign Locations



FIRE LANE NO PARKING SIGN LOCATIONS



CONCRETE PAVEMENT SECTIONS
scale: 1/4" = 1'-0"

CODE ANALYSIS

CONCRETE TILT-UP BUILDING
BUILDING OCCUPANCY: S-1/B
CONSTRUCTION TYPE: III-B
AUTOMATIC FIRE SPRINKLER (ESFR) YES - FIRE SPRINKLER TO BE PROVIDED THROUGHOUT

KEYNOTES

1. KNOX BOX ON GATE TO COMPLY WITH FIRE DEPARTMENT AND CFC REQUIREMENTS.
2. KNOX BOX ON GATE TO COMPLY WITH FIRE DEPARTMENT AND CFC REQUIREMENTS.
3. APPROXIMATE LOCATION OF PUMP ROOM.
4. APPROXIMATE LOCATION OF ELECTRICAL ROOM.
5. APPROXIMATE LOCATION OF TRANSFORMER.
6. DRIVEWAY FOR EMERGENCY VEHICLE ACCESS ONLY
7. APPROXIMATE LOCATION OF FDC.
8. EXISTING FIRE HYDRANT.
9. FIRE LANE ENTRANCE SIGN, SEE DAB-A1.2F.
10. HEAVY BROOM FINISH CONCRETE PAVEMENT

LEGEND

- - - - - "FIRE LANE - NO PARKING" RED CURB MARKINGS PER CFC 503.3
- "FIRE LANE - NO PARKING" SIGN ON POLE, SEE DAB-A1.2F
- "FIRE LANE - NO PARKING" SIGN MOUNTED ON WALL SEE DAB-A1.2F
- ▨ 26' WIDE FIRE ACCESS LANE AND UNOBSTRUCTED VERTICAL CLEARANCE OF 13 FEET 6 INCHES
- APPROXIMATE LOCATION OF FIRE HYDRANTS. LOCATION OF ALL FIRE HYDRANTS WITHIN 500 FT. OF THE NEW STRUCTURE. NOTE: FIRE HYDRANT SHALL BE A MINIMUM OF 40' FROM THE PROTECTED STRUCTURE.
- ▭ 150 FT HOSE PULL TO ALL PORTIONS OF THE EXTERIOR OF THE BUILDINGS MEASURED 10 FT OUT FROM THE CURB LINE ALONG A NORMAL PATH OF TRAVEL. CFC 503.1.1

PERRIS FIRE DEPARTMENT ACCESS AND WATER NOTES

INSPECTION REQUIREMENTS

1. PERRIS SITE INSPECTIONS ARE REQUIRED FOR THIS PROJECT. PLEASE SCHEDULE ALL FIELD INSPECTIONS AT LEAST 48HRS IN ADVANCE. INSPECTIONS CANCELED AFTER 1P, ON THE DAY BEFORE THE SCHEDULED DATE WILL BE SUBJECT TO A RE-INSPECTION FEE. CALL (951) 443-10299 TO SCHEDULE AN INSPECTION.
2. A LUMBER DROP INSPECTION SHALL BE PERFORMED PRIOR TO BRINGING COMBUSTIBLE MATERIALS (OR COMBUSTIBLE FIXTURES AND FINISHED FOR STRUCTURES OF NON-COMBUSTIBLE CONSTRUCTION). ALL-WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 68,000LBS., TOPPED WITH ASPHALT, CONCRETE, OR EQUIVALENT SHALL BE IN PLACE AND HYDRANTS OPERATIONAL AT TIME OF LUMBER DROP INSPECTION.
3. FOR PROJECTS WITH FUEL MODIFICATION, A VEGETATION CLEARANCE INSPECTION IS REQUIRED PRIOR TO A LUMBER DROP INSPECTION. USE THE FUEL MODIFICATION PLAN SERVICE REQUEST NUMBER TO SCHEDULE THE VEGETATION CLEARANCE INSPECTION.
4. PHASED INSTALLATION OF FIRE ACCESS ROADS REQUIRES ADDITIONAL INSPECTIONS NOT COVERED BY THE FEES PAID AT PLAN SUBMITTALS. CONTACT (951) 443-10299 TO ARRANGE FOR ADDITIONAL INSPECTIONS THAT MAY BE NEEDED AND ANY FEES THAT MAY BE DUE.
5. AN ORIGINAL APPROVED, SIGNED, WET-STAMPED PERRIS FIRE ACCESS & WATER PLAN SHALL BE AVAILABLE ON-SITE AT TIME OF INSPECTION.
6. ACCESS ROADS AND HYDRANTS SHALL BE MAINTAINED AND REMAIN CLEAR OF OBSTRUCTIONS AT ALL TIMES DURING AND AFTER CONSTRUCTION. AREAS WHERE PARKING IS NOT PERMITTED SHALL BE CLEARLY IDENTIFIED AT ALL TIMES. OBSTRUCTIONS OF FIRE LANES AND HYDRANTS MAY RESULT IN CANCELLATION OR SUSPENSION OF INSPECTIONS.
7. TEMPORARY FUEL TANKS OF 60 OR MORE GALLONS SHALL BE REVIEWED, INSPECTED, AND PERMITTED BY THE OFFICE OF THE FIRE MARSHAL, CITY OF PERRIS PRIOR TO USE.
8. THE PROJECT ADDRESS SHALL BE CLEARLY POSTED AND VISIBLE FROM THE PUBLIC ROAD DURING CONSTRUCTION.
9. ALL GATES IN CONSTRUCTION FENCING SHALL BE EQUIPPED WITH EITHER A KNOX OR BREAKAWAY PADLOCK.
10. BUILDING OF FOUR OR MORE STORES SHALL BE PROVIDED WITH STAIRS AND A STANDPIPE BEFORE REACHING 40 FEET IN HEIGHT.

GENERAL REQUIREMENTS

11. FIRE LANE WIDTHS SHALL BE MEASURED FROM TOP FACE OF THE CURB TO TOP FACE OF THE CURB FOR FIRE LANES WITH STANDARD CURBS AND GUTTERS AND FROM FLOW-LINE TO FLOW-LINE FOR FIRE LANES WITH MODIFIED CURB DESIGNS (E.G., ROLLED, RAMPED, ETC). THE DEVELOPER IS RESPONSIBLE TO VERIFY THAT ALL APPROVED PUBLIC WORKS OR GRADING DEPARTMENT STREET IMPROVEMENT PLANS OR PRECISE GRADING PLANS CONFORM TO THE MINIMUM STREET WIDTH MEASUREMENTS PER THE APPROVED PERRIS FIRE DEPARTMENT ACCESS & WATER PLAN AND STANDARDS IDENTIFIED IN PERRIS FIRE DEPARTMENT ACCESS & WATER GUIDELINE FOR ALL PORTIONS OF THE FIRE ACCESS ROADS.
12. PERMANENT, TEMPORARY, AND PHASED EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AN IMPOSED LOAD OF 68,000 LBS. AND SURFACED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES.
13. FIRE LANE SIGNS AND RED CURBS SHALL MEET THE SPECIFICATIONS SHOWN IN PERRIS FIRE DEPARTMENT ACCESS & WATER GUIDELINE AND SHALL BE INSTALLED AS DESCRIBED THEREIN. ADDITIONAL FIRE LANE MARKINGS MAY BE REQUIRED AT THE TIME OF INSPECTION DEPENDING ON FIELD CONDITIONS.
14. ALL FIRE HYDRANTS SHALL HAVE A "BLUE REFLECTIVE PAVEMENT MARKER" INDICATING THEIR LOCATION PER THE PERRIS STANDARD. ON PRIVATE PROPERTY MARKERS ARE TO BE MAINTAINED IN GOOD CONDITION BY THE PROPERTY OWNER.
15. ADDRESS NUMBERS SHALL BE LOCATED AND BE OF A COLOR AND SIZE SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROADWAY FROM WHICH THE BUILDING IS ADDRESSED IN ACCORDANCE WITH PERRIS FIRE DEPARTMENT ACCESS & WATER GUIDELINE.
16. ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH CHAPTER 5 OF THE CFC AND PERRIS FIRE DEPARTMENT ACCESS & WATER GUIDELINE.
17. APPROVED ACCESS WALKWAYS SHALL BE PROVIDED TO ALL REQUIRED OPENINGS AND ALL RESCUE WINDOWS.
18. VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR FIREFIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS, OR STROBES.
19. DUMPSTERS AND TRASH CONTAINERS LARGER THAN 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF-EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM.
20. ANY FUTURE MODIFICATION TO THE APPROVED FIRE DEPARTMENT ACCESS & WATER PLAN OR APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO ROAD WIDTH, GRADE, SPEED HUMPS, TURNING RADII, GATES OR OTHER OBSTRUCTIONS, SHALL REQUIRE REVIEW, INSPECTION, AND APPROVAL BY THE OFFICE OF THE FIRE MARSHAL, CITY OF PERRIS.
21. APPROVAL OF THIS PLAN SHALL NOT BE CONSTRUED AS APPROVAL OF ANY INFORMATION OR PROJECT CONDITIONS OTHER THAN THOSE ITEMS AND REQUIREMENTS IDENTIFIED IN PERRIS FIRE DEPARTMENT ACCESS & WATER GUIDELINE AND RELATED PORTIONS OF THE CFC AND CBC. THIS PROJECT MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS NOT STATED HEREIN UPON EXAMINATION OF ACTUAL SITE AND PROJECT CONDITIONS OR DISCLOSURE OF ADDITIONAL INFORMATION.
22. EMERGENCY RADIO COMMUNICATION ENHANCEMENT SYSTEM TO BE PROVIDED PRIOR TO CERTIFICATE OF OCCUPANCY. NO TENANT IS PROPOSED AT THIS TIME. SEPARATE PERMIT AND PLAN CHECKED REQUIRED FOR TENANT IMPROVEMENTS IN WHICH THAT TIME THE EMERGENCY RADIO COMMUNICATION SYSTEM WILL BE PROVIDED.



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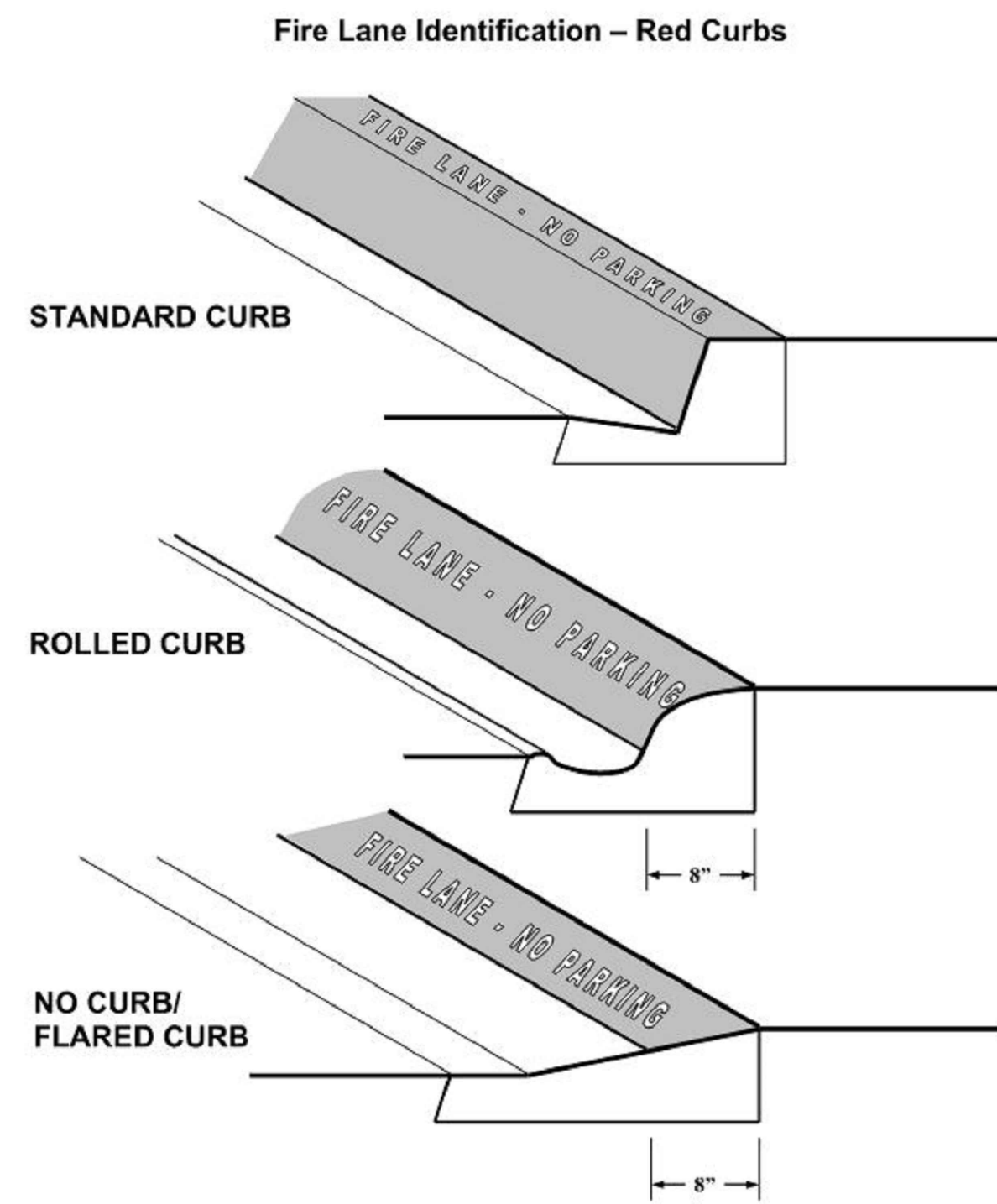
CIVIL	FMCVIL
STRUCTURAL	-
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LANDSCAPE	SPLA
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: FIRE PLAN

Project Number: 21393
Drawn by: RC
Date: 06/02/2023
Revision:

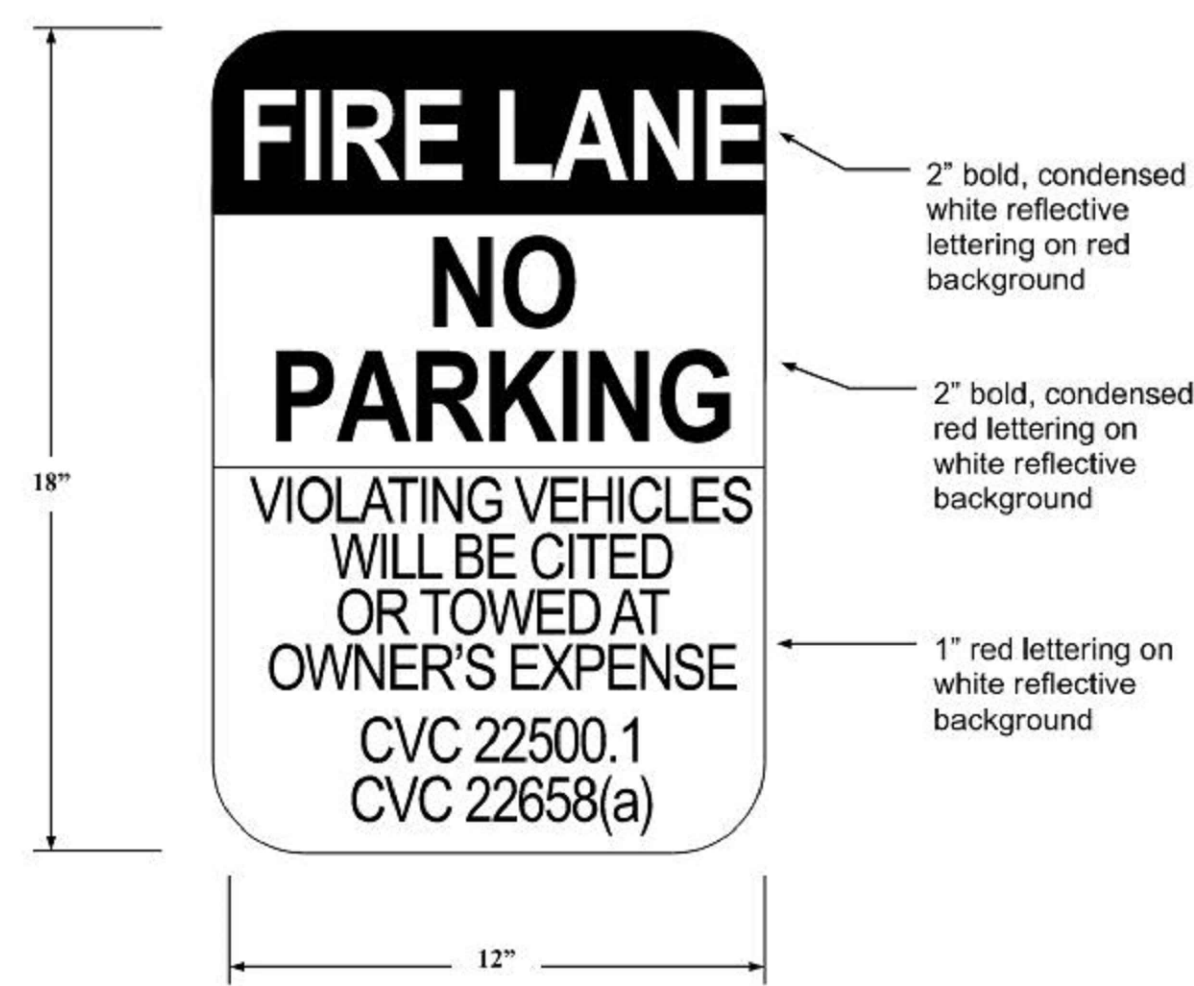
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1. Fire lane entrance sign(s) shall also be provided per Attachment 10 or 11.
2. Curbs shall be painted OSHA safety red.
3. "FIRE LANE - NO PARKING" shall be painted on top of curb in 3" white lettering at a spacing of 30' on center or portion thereof.

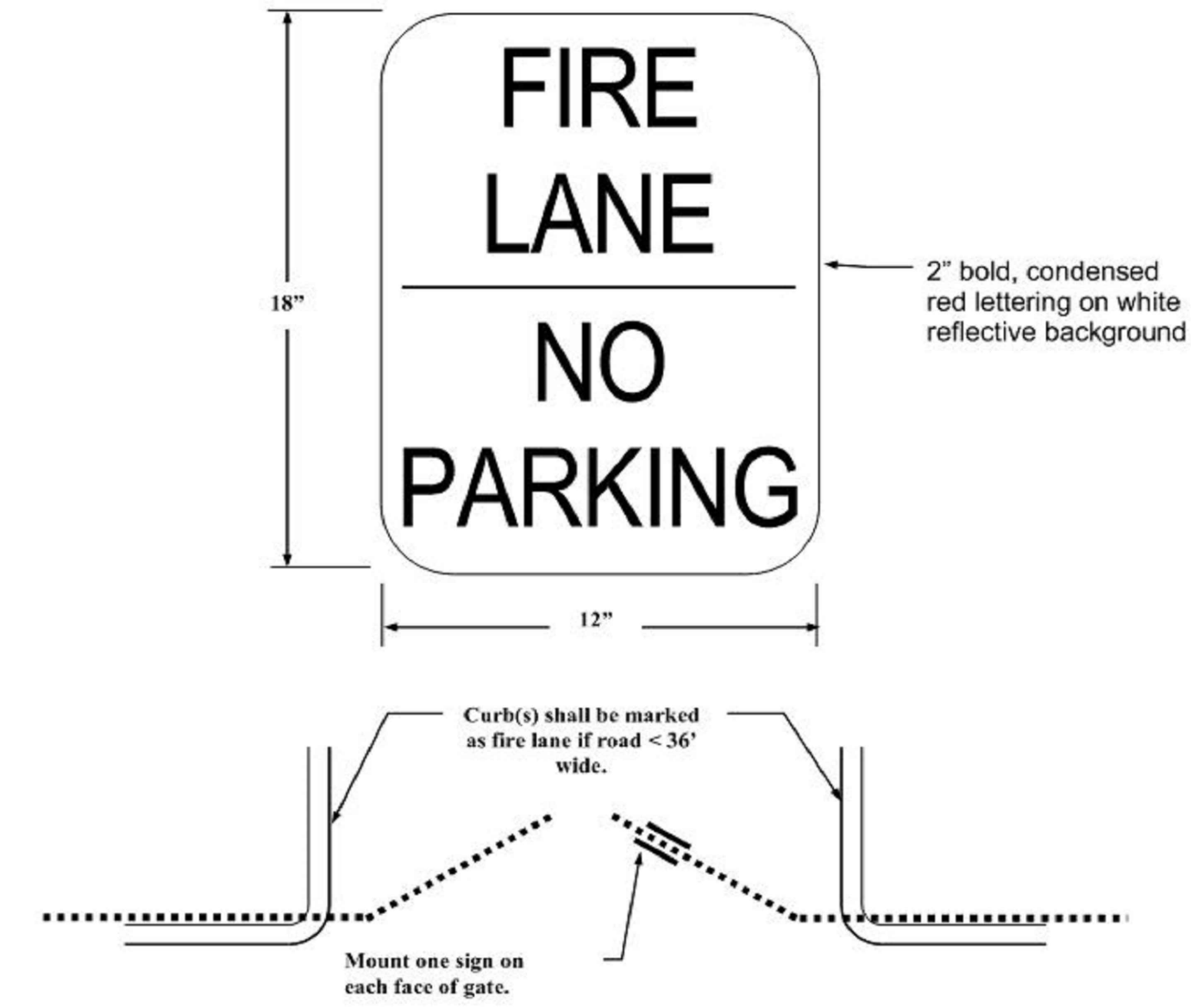
Specifications for Fire Lane No Parking Signs



All sign and lettering dimensions shown are minimums. "Arial Narrow" font used is used in sample above though other legible sans-serif fonts may be acceptable.

Signs shall be securely mounted facing the direction of travel and clearly visible to oncoming traffic entering the designated area. Signs shall be made of durable material and installed per Attachments 13 and 14.

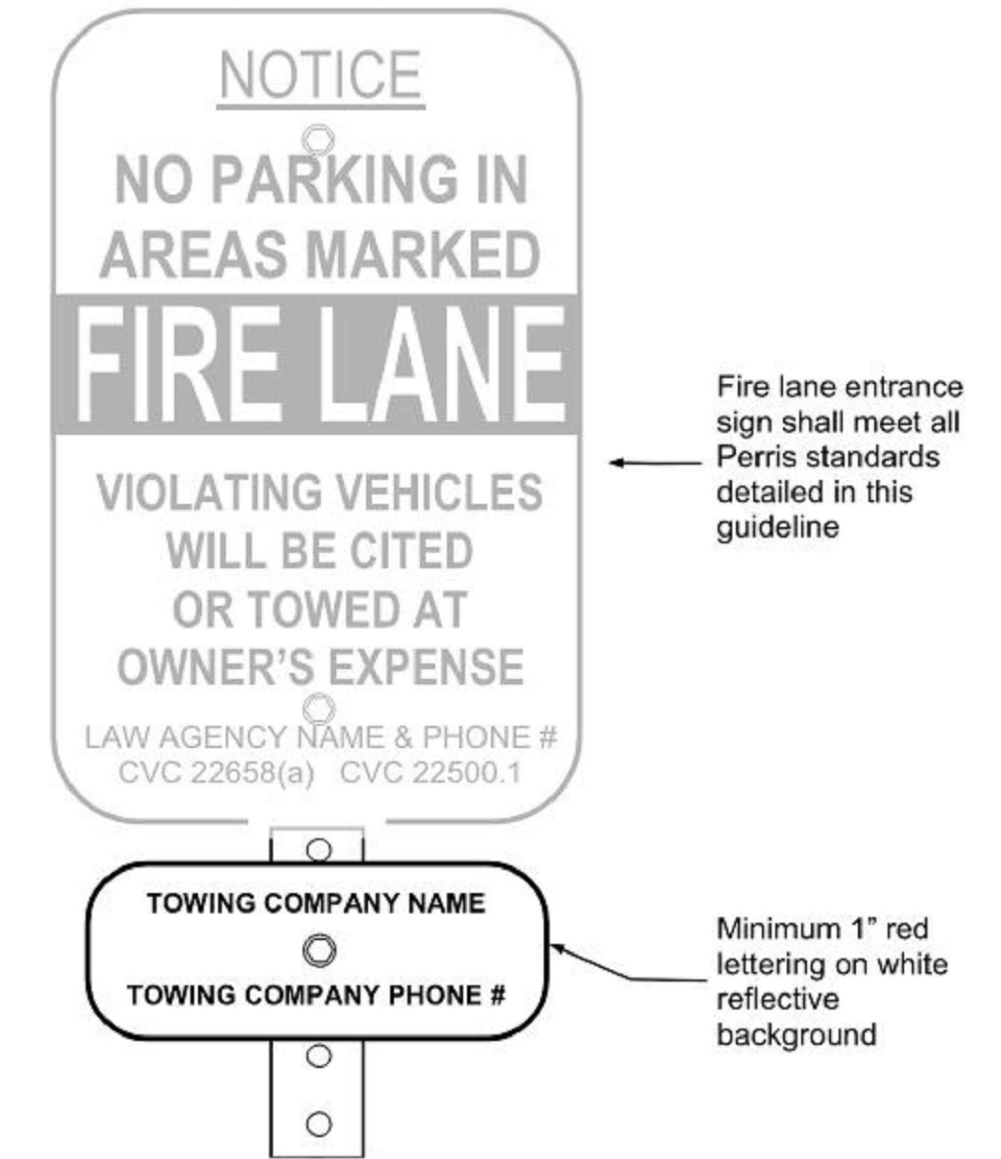
Specifications for "Fire Lane - No Parking" Signs for Manually Operated Gates and Barriers



All sign and lettering dimensions shown are minimums. "Arial Narrow" font used is used in sample above though other legible sans-serif fonts may be acceptable.

"Fire Lane—No Parking" sign shown in Attachment 12 may be used as an alternative. Signs shall be securely mounted on the front and back face of the gate clearly visible to traffic entering the designated area. Signs shall be made of a durable material.

Specifications for Alternate Location of Towing Company Information

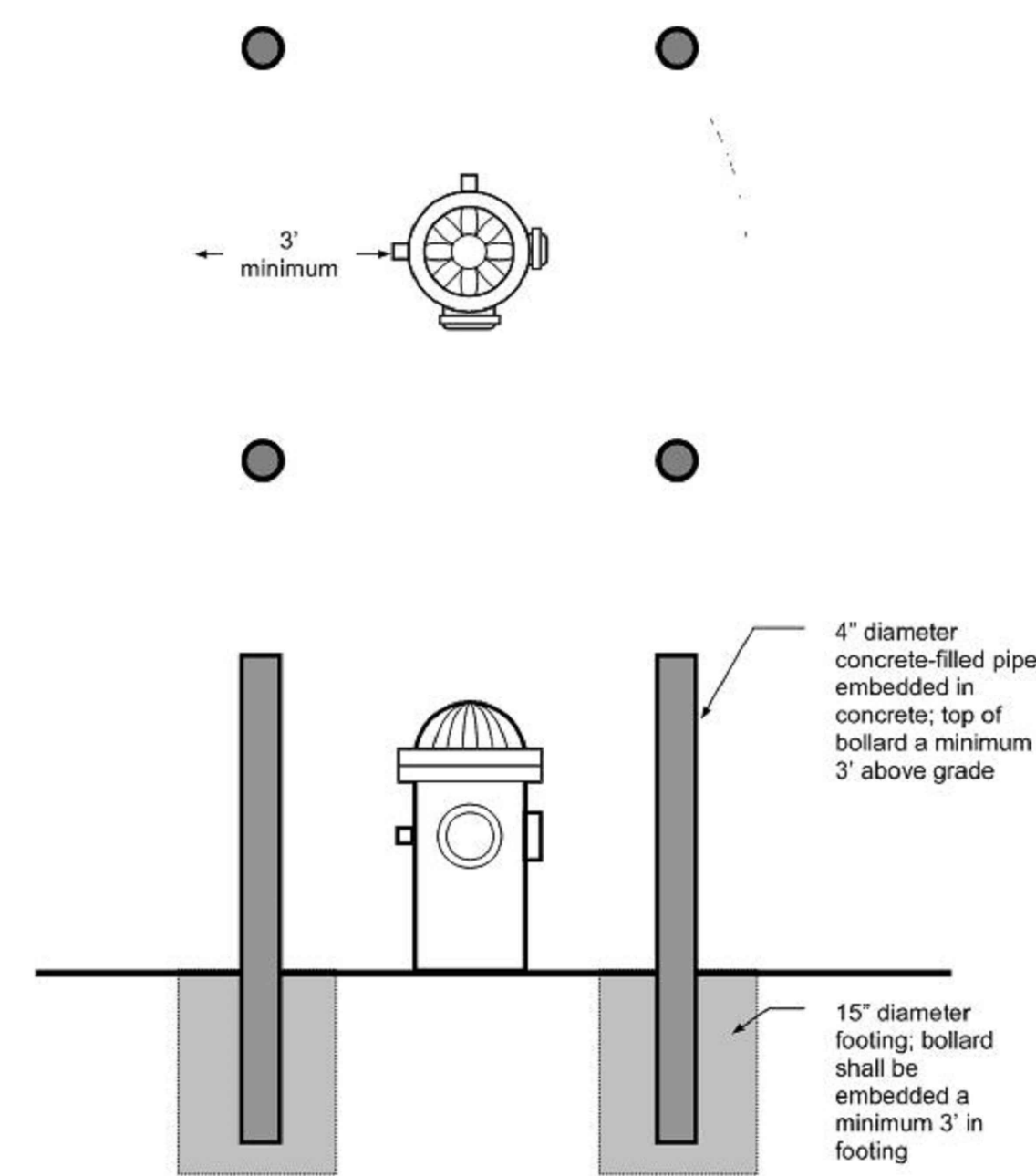


Towing company contact information is required for all properties with a standing written agreement for services with a towing company per the California Vehicle Code.

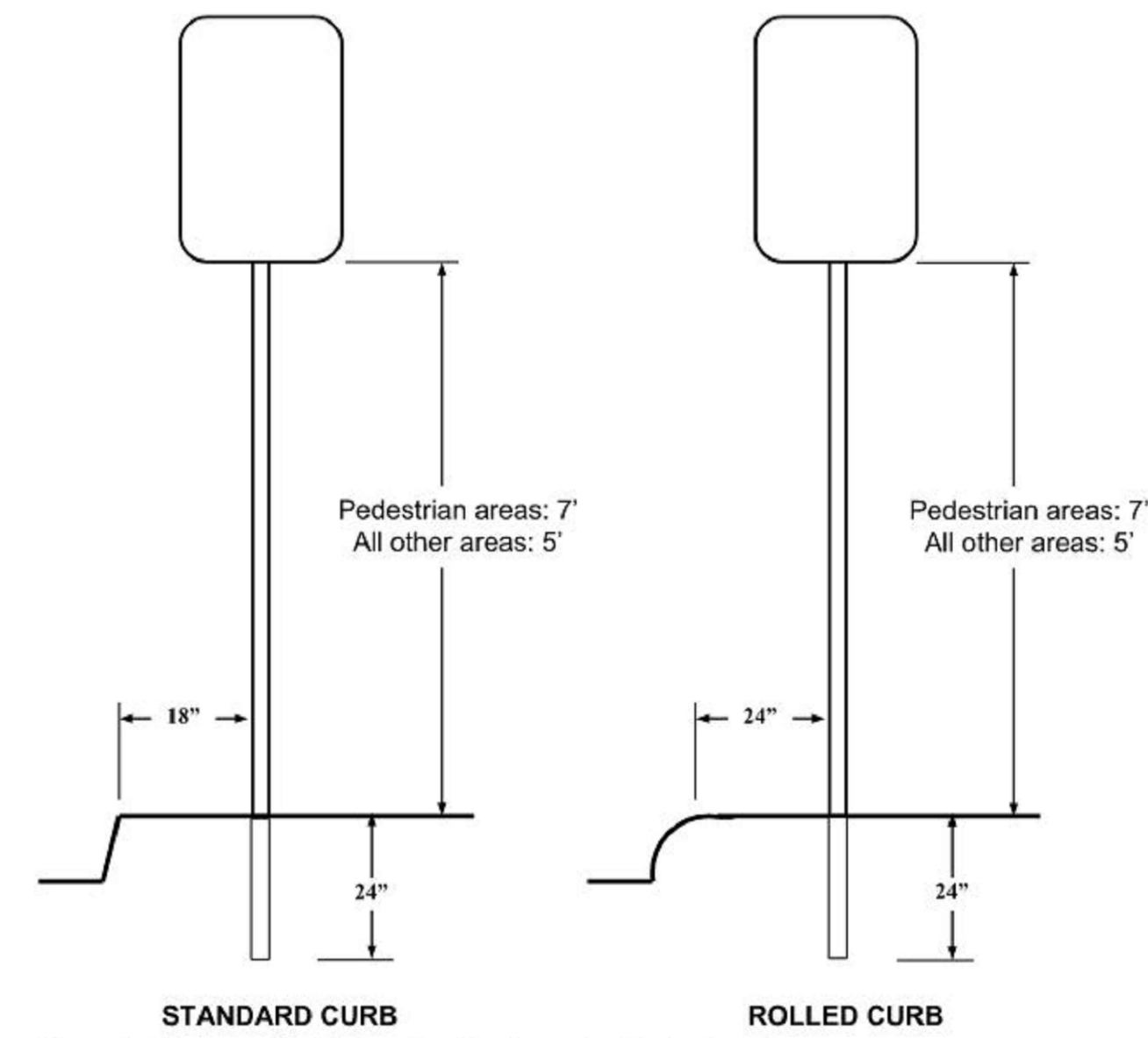
To facilitate periodic changes in towing company contracts, the towing company contact information may be posted on a separate sign mounted directly below the fire lane entrance sign instead of on the entrance sign itself. The method of attachment to the post shall not obscure the wording on either sign.

ATTACHMENT 25

Protection of Hydrants, Detector Checks, Fire Department Connections, and other Appurtenances

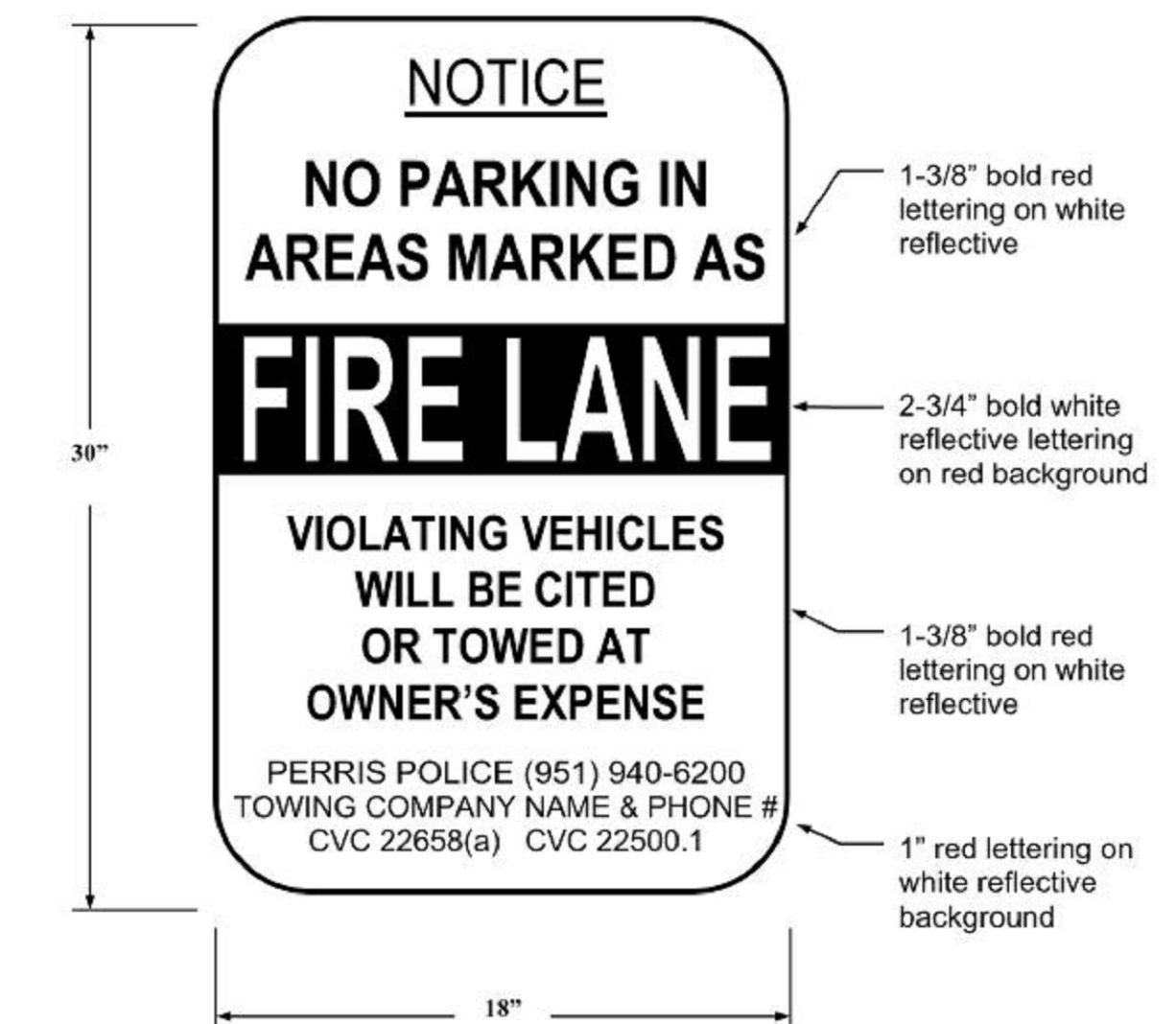


Mounting Specifications for Fire Lane Entrance and No Parking Signs



Signs shall be mounted facing the direction of vehicular travel. Signs may be mounted on existing posts or buildings where the centerline of the sign is no more than 24" from the edge of the roadway. Depth of bury shall be a minimum of 24" and rebar, a concrete footing, or another method to prevent removal of the sign is recommended. Footings for signs located in the public right-of-way shall be per the local jurisdiction's requirements.

Specifications for Fire Lane Entrance Signs To be used only at vehicle entry points to areas that contain "Fire Lane—No Parking" signs or red curbs



All sign and lettering dimensions shown are minimums. "Arial Narrow" font used is used in sample above though other legible sans-serif fonts may be acceptable. This sign shall be posted at all vehicle entrances to areas marked with either red curbs or fire lane "No Parking" signs. Signs shall be securely mounted facing the direction of travel and clearly visible to oncoming traffic entering the designated area. Signs shall be made of durable material and installed per Attachments 13 and 14. Towing company contact information is required for all properties with a standing written agreement for services with a towing company per the California Vehicle Code.



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Consultants:

CIVIL	FMCVIL
STRUCTURAL	-
MECHANICAL	-
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LANDSCAPE	SPLA
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: Fire Department Notes

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Project:

FIRST INDUSTRIAL
SINCLAIR

100 W SINCLAIR STREET
PERRIS, CA

Consultants:

CIVIL	FMCVIL
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	SPLA
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: FENCE & WALL PLAN

Project Number: 21393

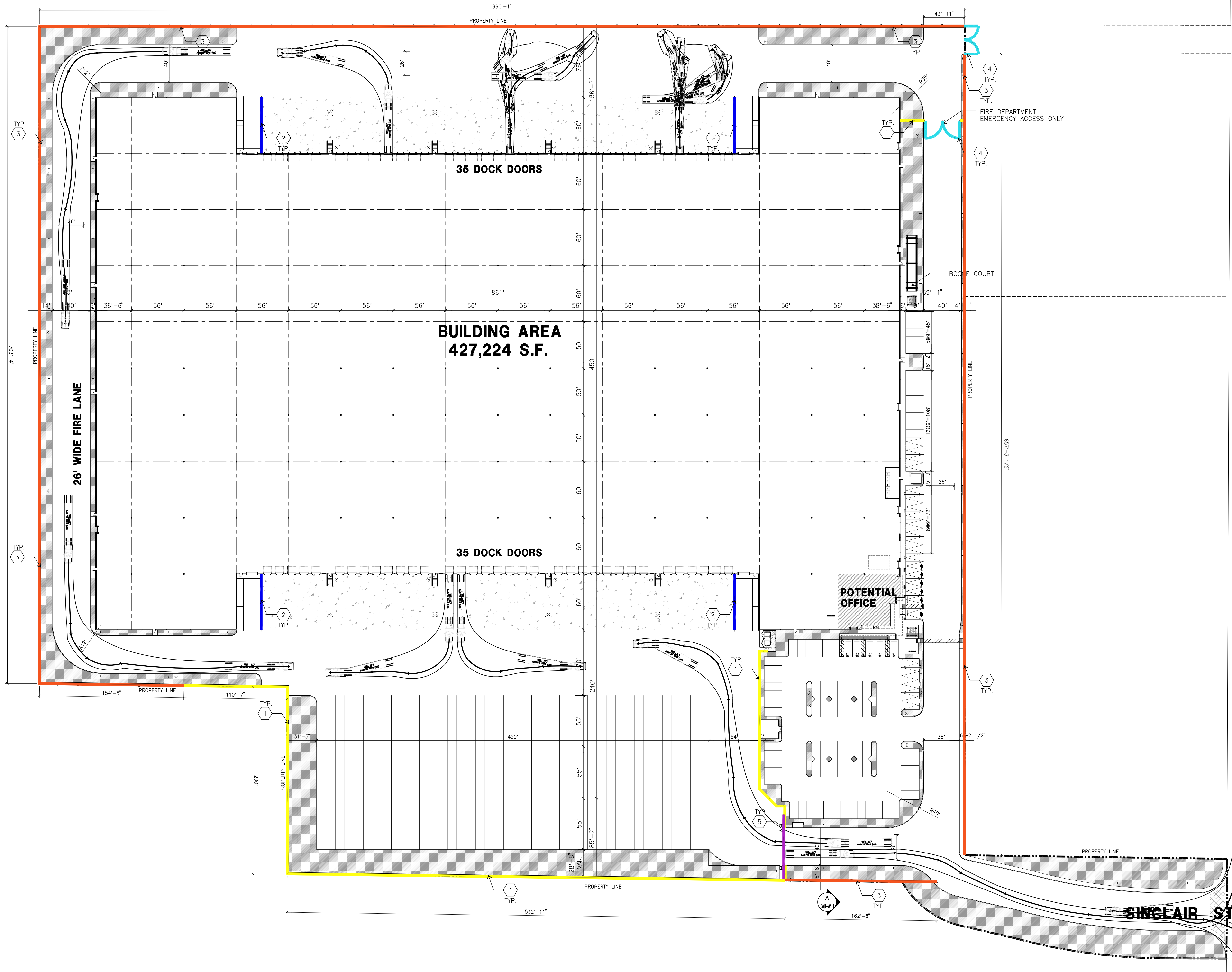
Drawn by: RC

Date: 06/02/2023

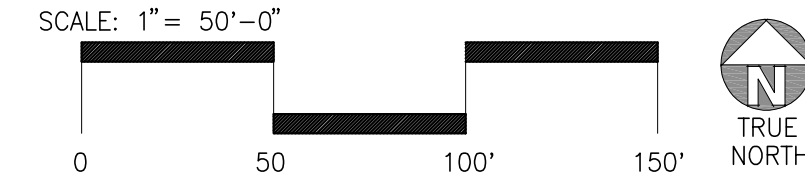
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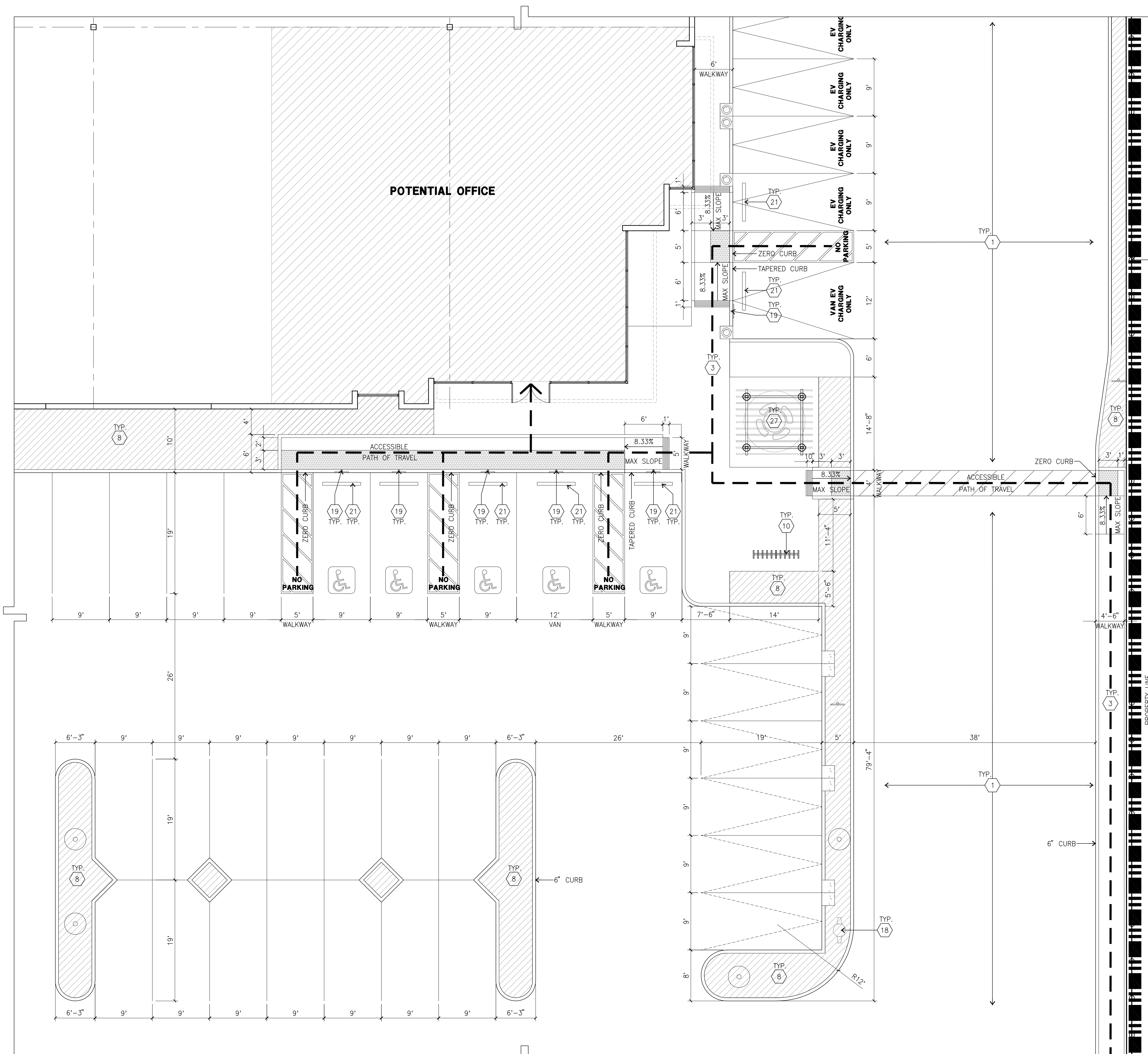
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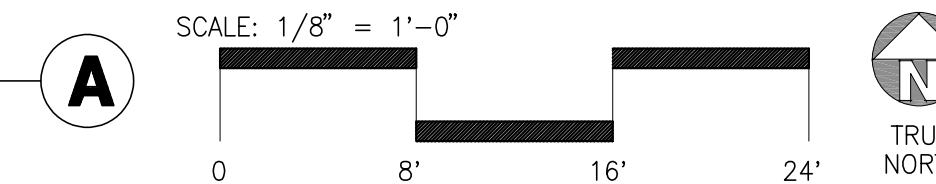
OVERALL SITE PLAN
scale: 1" = 50'-0"



LEGEND	SITE PLAN KEYNOTES
	1 14' HIGH CONCRETE TILT UP SCREEN WALL WITH ANTI-GRAFFITI COATING.
	2 42" HIGH CONCRETE GUARD WALL.
	3 8' HIGH WROUGHT IRON FENCE.
	4 8' HIGH TUBE STEEL SWING GATE.
	5 8' HIGH SLIDING GATE. PROVIDE VIEW-OBSCURING MESH MATERIAL SECURED TO THE BACK OF THE GATES TO SCREEN LOADING DOCK AREAS FROM PUBLIC VIEW.



ENLARGED SITE PLAN
scale: 1/8" = 1'-0"



SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONC. PAVEMENT.
- 2 PUMP HOUSE
- 3 CONCRETE WALKWAY
- 4 ENHANCED DRIVEWAY APRONS TO BE CONSTRUCTED PER "L" DRAWINGS.
- 5 5'-6"x5'-6"x4" MIN. THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. SLOPE TO BE 1/4" : 12" MAX. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY W/ 1/20 MAX. AS REQ. BY CITY INSPECTOR.
- 6 PROVIDE METAL, MANUAL OPERATED SLIDING GATES W/ PERFORATED SCREEN MESH & KNOX-PAD LOCK PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 7 PROVIDE METAL, MANUAL OPERATED SWING GATES W/ PERFORATED SCREEN MESH & KNOX-PAD LOCK PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8 LANDSCAPE. SEE "L" DWGS.
- 9 CONCRETE TILT-UP SCREEN WALL
- 10 BIKE RACK.
- 11 APPROXIMATE LOCATION OF TRANSFORMER.
- 12 8'H WROUGHT IRON FENCE
- 13 14' H SCREEN WALL WITH ANTI GRAFFITI COATING
- 14 ELECTRICAL ROOM
- 15 PROPOSED SITE LIGHT POLE.
- 16 PROPOSED STREET LIGHT
- 17 TRASH ENCLOSURE PER CITY STANDARD.
- 18 PROPOSED FIRE HYDRANT
- 19 HANDICAPPED PARKING STALL SIGN
- 20 HANDICAPPED ENTRY SIGN
- 21 PRE-CAST CONC. WHEEL STOP
- 22 CONC. FILLED GUARD POST "6 DIA. U.N.O. 42" H.
- 23 EXTERIOR CONC. STAIR.
- 24 FUTURE INDOOR EMPLOYEE BREAK AREA
- 25 COLOR CONCRETE WITH SCORING LINES AT TRUCK DRIVEWAY
- 26 EMPLOYEE BREAK AREA WITH PICKLE BALL
- 27 EMPLOYEE BREAK AREA WITH CANOPY AND TABLE
- 28 FUTURE INDOOR EMPLOYEE BREAK AREA
- 29 AUTOMATIC BOOM BARRIER DOUBLE GATE
- 30 PROPOSED 8' CLASS I MULTIPURPOSE PATH
- 31 3' WIDE WI SWING GATE W/LOCKSET
- 32 6' WIDE WI SWING GATE W/LOCKSET

SITE LEGEND

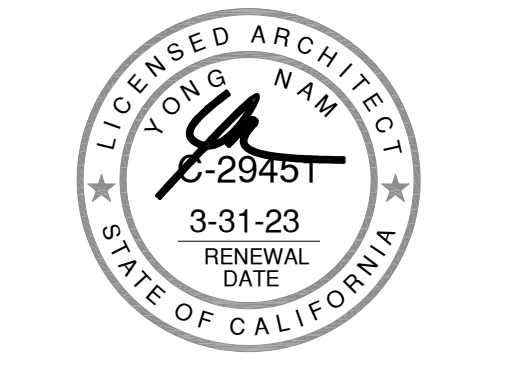
- LANDSCAPED AREA
- SITE PAVING - SEE "C" DRWGS. FOR THICKNESS
- CONCRETE PAVING SEE "C" DRWGS. FOR THICKNESS
- STANDARD PARKING STALL (9' X 19')
- HANDICAP PARKING STALL (9' X 19')
- 26' FIRE LANE.
- VAN ACCESSIBLE EVCS WITH 15A SIGN AND MARKING "EV CHARGING ONLY", 12'X18'+5' W/ ACCESSIBLE AISLE
- STANDARD EVCS SIZE, 9'X18'
- EV CAPABLE SPACE WITHOUT EVSE SIZE 9'X18'
- LIGHT STANDARD
- EXISTING PUBLIC FIRE HYDRANT
- PRIVATE FIRE HYDRANT - APPROXIMATE LOCATION
- PROPERTY LINE
- PATH OF TRAVEL
- TRUCK IN & OUT
- EV CHARGER
- EV CHARGER FOR FUTURE

SITE PLAN GENERAL NOTES

1. THE SOILS REPORT PREPARED BY _____ SHOULD BE A PART OF THESE CONTRACT DOCUMENTS.
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM, PRIOR TO INSTALLATION & AT LEAST 60 DAYS BEFORE BLDG. COMPLETION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". SEE "L" DRAWINGS FOR FINISH.
11. PROVIDE TWO FIRE HYDRANT ON THE SITE. FINAL LOCATION WILL DETERMINE IN DURING SUBMITTAL.
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
14. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
15. NOT USED
16. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
17. NOT USED
18. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
19. APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO GRADING PERMIT



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Project:
FIRST INDUSTRIAL SINCLAIR
100 W SINCLAIR STREET
PERRIS, CA

Consultants:
CIVIL - FMCVIL
STRUCTURAL -
MECHANICAL -
PLUMBING -
ELECTRICAL -
LANDSCAPE - SPLA
FIRE PROTECTION -
SOILS ENGINEER -

Title: ENLARGED SITE PLAN

Project Number: 21993
Drawn by: RC
Date: 06/02/2023

Revision:

Sheet:
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SINCLAIR

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PERRIS, CA

Consultants:

CIVIL	FMCVIL
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	SPLA
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: OVERALL FLOOR PLAN

Project Number: 21393

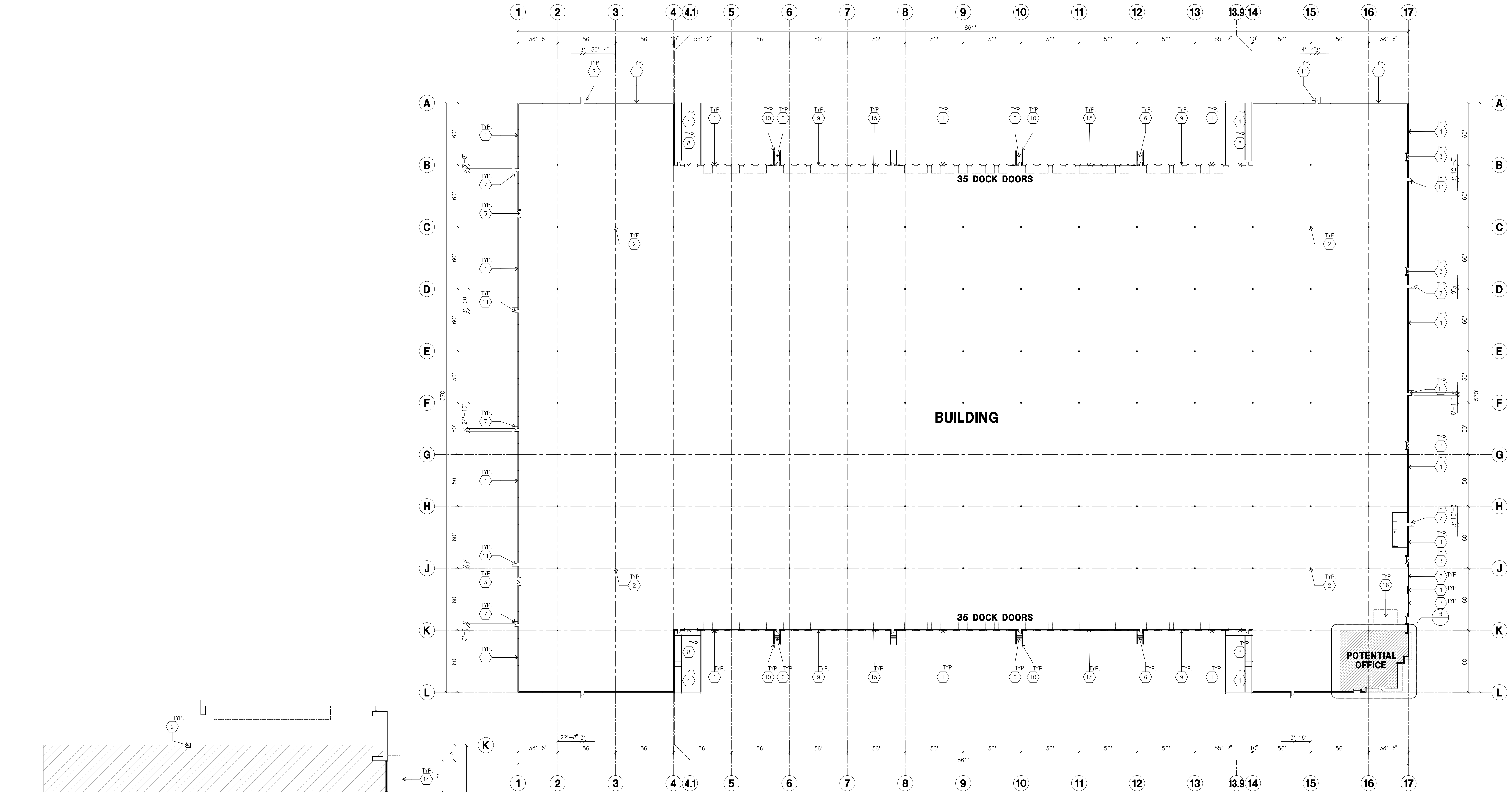
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Date: 06/02/2023

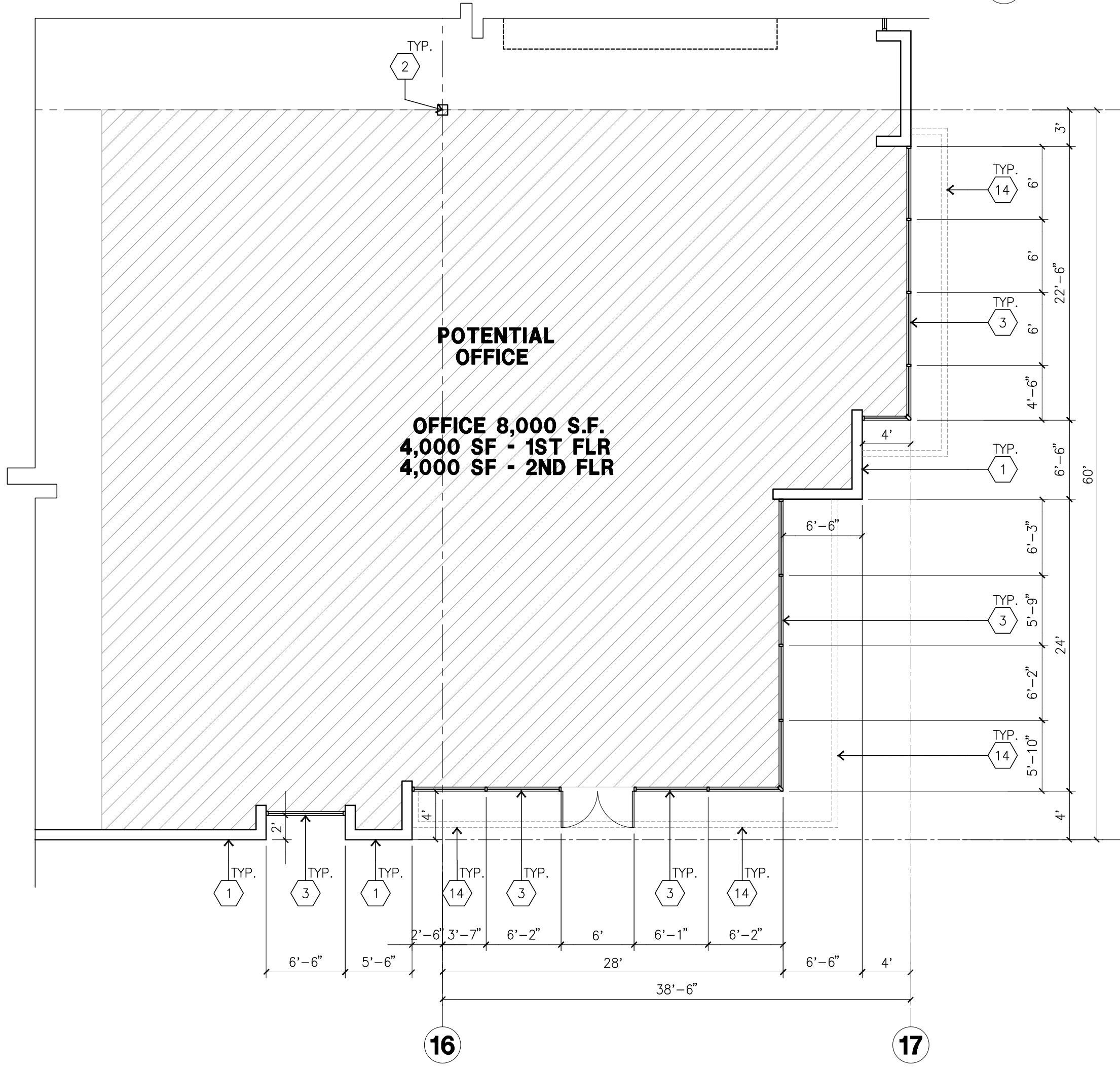
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OVERALL FLOOR PLAN
scale: 1" = 40'-0"
SCALE: 1" = 40'-0"
0 40 80 120' TRUE NORTH



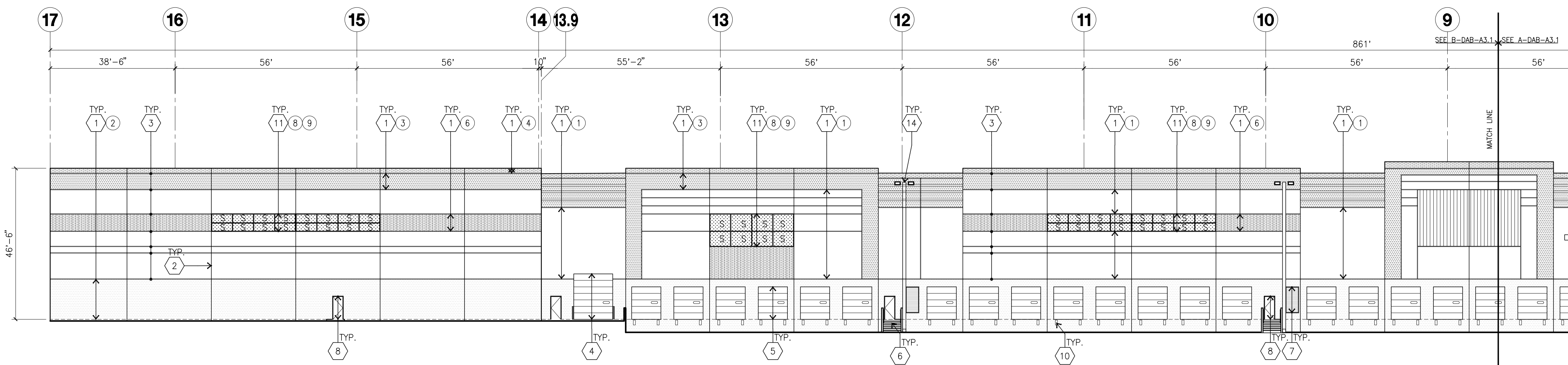
ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"
0 8' 16' 24' TRUE NORTH

KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 9'-0" X 10' TRUCK DOOR, SECTIONAL O/H., STANDARD GRADE.
- 6 EXTERIOR CONCRETE STAR
- 7 5'-6" X 5'-6" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" = 12" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 12' X 14' DRIVE THRU. SECTIONAL O/H., STANDARD GRADE.
- 9 DOCK DOOR BUMPER
- 10 CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 42"H.
- 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE
- 13 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- 14 TUBE STEEL CANOPY.
- 15 Z GUARD
- 16 FUTURE INDOOR EMPLOYEE BREAK AREA

GENERAL NOTES - FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. NOT USED.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL OYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1" COAT OF WHITE TO COVER.
- F. SLOPE FOUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD-4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 113381.1.1.
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW. SEE A/A4.1 OFFICE SECTION.



NORTH ELEVATION
scale: 1" = 20'-0" **A**

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 4" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.G.
- 4 OVERHEAD DOOR # DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. PAINT COLOR TO MATCH FIELD COLOR.
- 5 OVERHEAD DOOR # DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. PAINT COLOR TO MATCH FIELD COLOR.
- 6 CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON SKID NOSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRACTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 7 METAL LOUVER. PAINT COLOR TO MATCH FIELD COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 ROOF LINE BEYOND.
- 10 DOCK BUMPER
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SUBLETS ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 12 PARAPET RETURN
- 13 TUBE STEEL CANOPY
- 14 EXTERIOR DOWNSPOUT.
- 15 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS
- 16 INTERIOR ROOF DRAIN WITH OVERFLOW DRAIN

COLOR SCHED. - ELEVATIONS

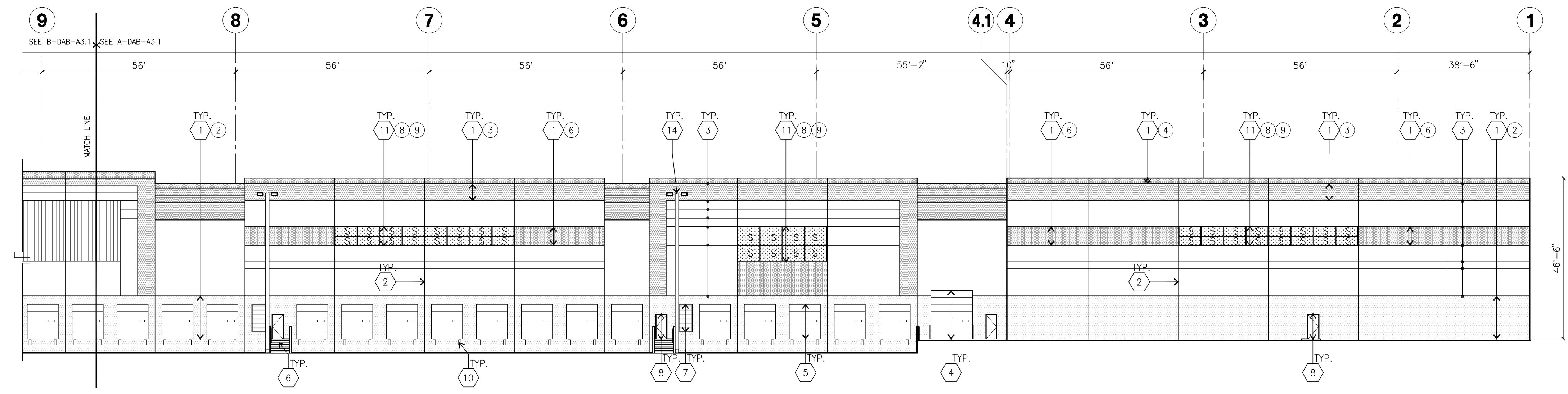
- 1 CONCRETE TILT-UP PANEL PAINT BRAND_SHERWIN-WILLIAMS SW7005 PURE WHITE
- 2 CONCRETE TILT-UP PANEL PAINT BRAND_SHERWIN-WILLIAMS SW7071 GRAY SCREEN
- 3 CONCRETE TILT-UP PANEL PAINT BRAND_SHERWIN-WILLIAMS SW7073 NETWORK GRAY
- 4 CONCRETE TILT-UP PANEL PAINT BRAND_SHERWIN-WILLIAMS SW7075 WEB GRAY
- 5 CONCRETE TILT-UP PANEL CORRUGATED METAL WITH DARK GRAY
- 6 CONCRETE TILT-UP PANEL FORMLINER PAINTED IN SHERWIN-WILLIAMS SW7075 WEB GRAY
- 7 SPLIT LIMESTONE - BLACK FOREST CORONADO STONE
- 8 MULLIONS COLOR: CLEAR ANODIZED
- 9 GLAZING COLOR: BLUE REFLECTIVE GLAZING
- 10 METAL CANOPY COLOR: SW ACRYLIC LATEX SYSTEMS HIGH GLOSS /HIGH PERFORMANCE 7075 WEB GRAY

GLAZING LEGEND

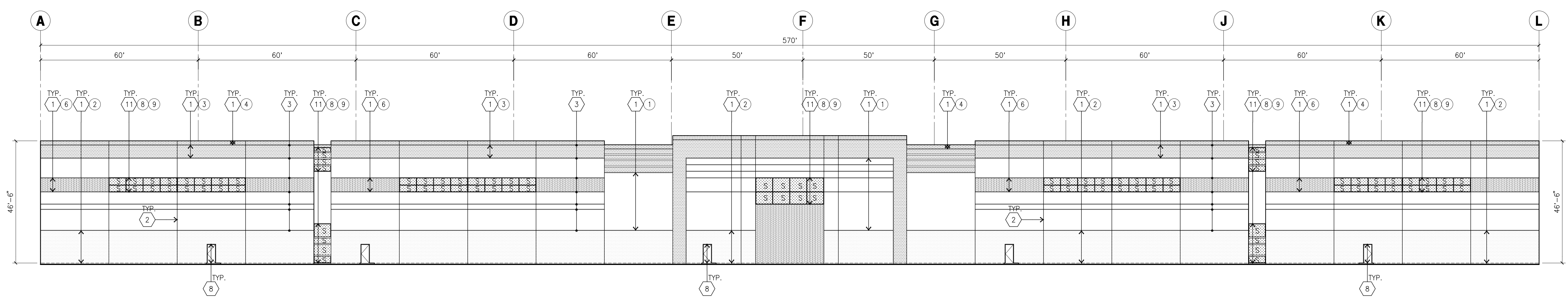
- 1 TEMPERED SPANDREL GLASS
- 2 TEMPERED VISION INSULATED GLASS FPG; VISTACOL (2) PACIFICA + SOLARBAN SOLARBAN 60 (3) CLEAR U VALUE: 0.27, SHGC: 0.21 AND VLT: 26% 1" INSULATED GLASS WITH 1/2" AIRSPACE AND (2) 1/4" LITES.
- 3 TEMPERED VISION GLASS

GENERAL NOTES - ELEVATIONS

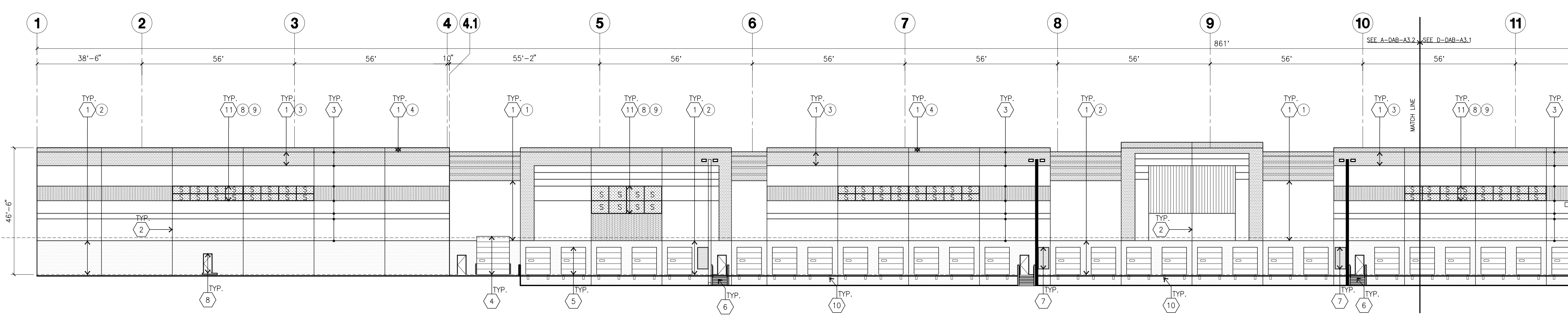
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- I. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON



NORTH ELEVATION (CONT.)
scale: 1" = 20'-0" **B**



WEST ELEVATION
scale: 1" = 20'-0" **C**



SOUTH ELEVATION
scale: 1" = 20'-0" **D**



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Project:

FIRST INDUSTRIAL SINCLAIR

100 W SINCLAIR STREET
PERRIS, CA

Consultants:

CIVIL	FMCVIL
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	SPLA
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: ELEVATIONS

Project Number: 21393
Drawn by: RC
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Project:

FIRST INDUSTRIAL
SINCLAIR

100 W SINCLAIR STREET
PERRIS, CA

Consultants:

CIVIL	FMCVIL
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	SPLA
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: ELEVATIONS

Project Number: 21393
Drawn by: RC
Date: 06/02/2023
Revision:

Sheet:

DAB-A3.2

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DATASIGHT TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 OVERHEAD DOOR & DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. PAINT COLOR TO MATCH FIELD COLOR.
- 5 OVERHEAD DOOR & DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. PAINT COLOR TO MATCH FIELD COLOR.
- 6 CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON SKID FINISH TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM. TREAD FOR ADA REQUIREMENTS.
- 7 METAL LOUVER. PAINT COLOR TO MATCH FIELD COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 ROOF LINE BEYOND.
- 10 DOCK BUMPER.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS, SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 12 PARAPET RETURN.
- 13 TUBE STEEL CANOPY.
- 14 EXTERIOR DOWNSPOUT.
- 15 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- 16 INTERIOR ROOF DRAIN WITH OVERFLOW DRAIN.

COLOR SCHED. - ELEVATIONS

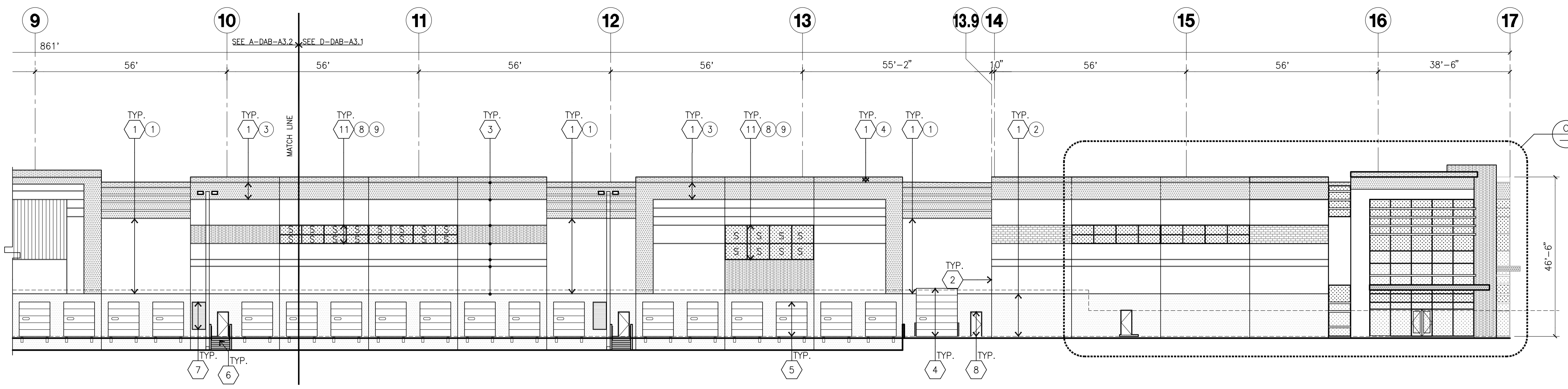
- | | | |
|----|------------------------------------------------------------------------------|---------------------------------------------------------------------|
| 1 | CONCRETE TILT-UP PANEL PAINT BRAND SHERWIN-WILLIAMS SW7005 PURE WHITE | |
| 2 | CONCRETE TILT-UP PANEL PAINT BRAND SHERWIN-WILLIAMS SW7021 GRAY SCREEN | |
| 3 | CONCRETE TILT-UP PANEL PAINT BRAND SHERWIN-WILLIAMS SW7023 NETWORK GRAY | |
| 4 | CONCRETE TILT-UP PANEL PAINT BRAND SHERWIN-WILLIAMS SW7025 WEB GRAY | |
| 5 | CONCRETE TILT-UP PANEL CORRUGATED METAL WITH DARK GRAY | |
| 6 | CONCRETE TILT-UP PANEL FORMLINER PAINTED IN SHERWIN-WILLIAMS SW7025 WEB GRAY | |
| 7 | SPLIT LIMESTONE - BLACK FOREST CORONADO STONE | |
| 8 | MULLIONS | COLOR: CLEAR ANODIZED |
| 9 | GLAZING | COLOR: BLUE REFLECTIVE GLAZING |
| 10 | METAL CANOPY | SW ACRYLIC LATEX SYSTEMS HIGH GLOSS /HIGH PERFORMANCE 7075 WEB GRAY |

GLAZING LEGEND

- | | | | |
|---|-------------------------|---|------------------------------------------------------------|
| 1 | TEMPERED SPANDREL GLASS | 2 | TEMPERED VISION INSULATED GLASS |
| 3 | TEMPERED VISION GLASS | 4 | PPG VISTACOL (2) PACIFICA + SOLARBAN SOLARBAN 60 (3) CLEAR |
- U VALUE: 0.27, SHGC: 0.21 AND VLT: 26%
1" INSULATED GLASS WITH 1/2" AIRSPACE AND (2) 1/4" LITES.

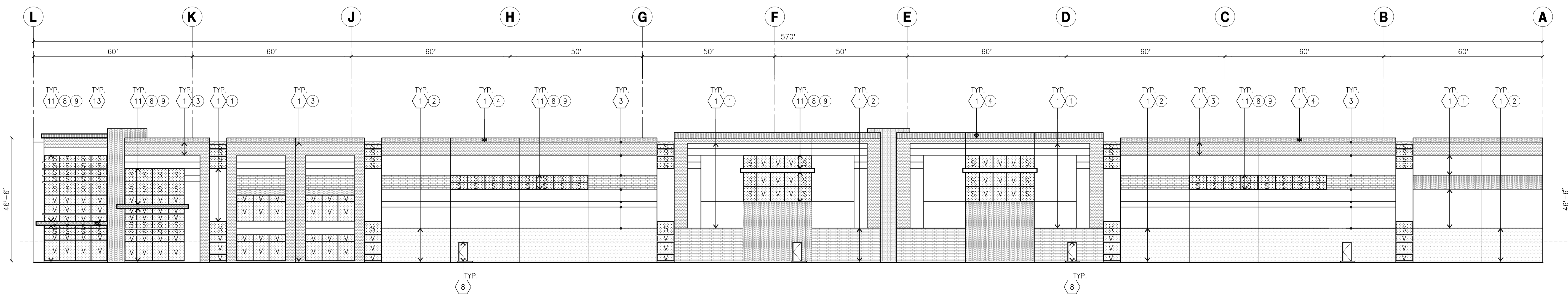
GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- I. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- J. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.



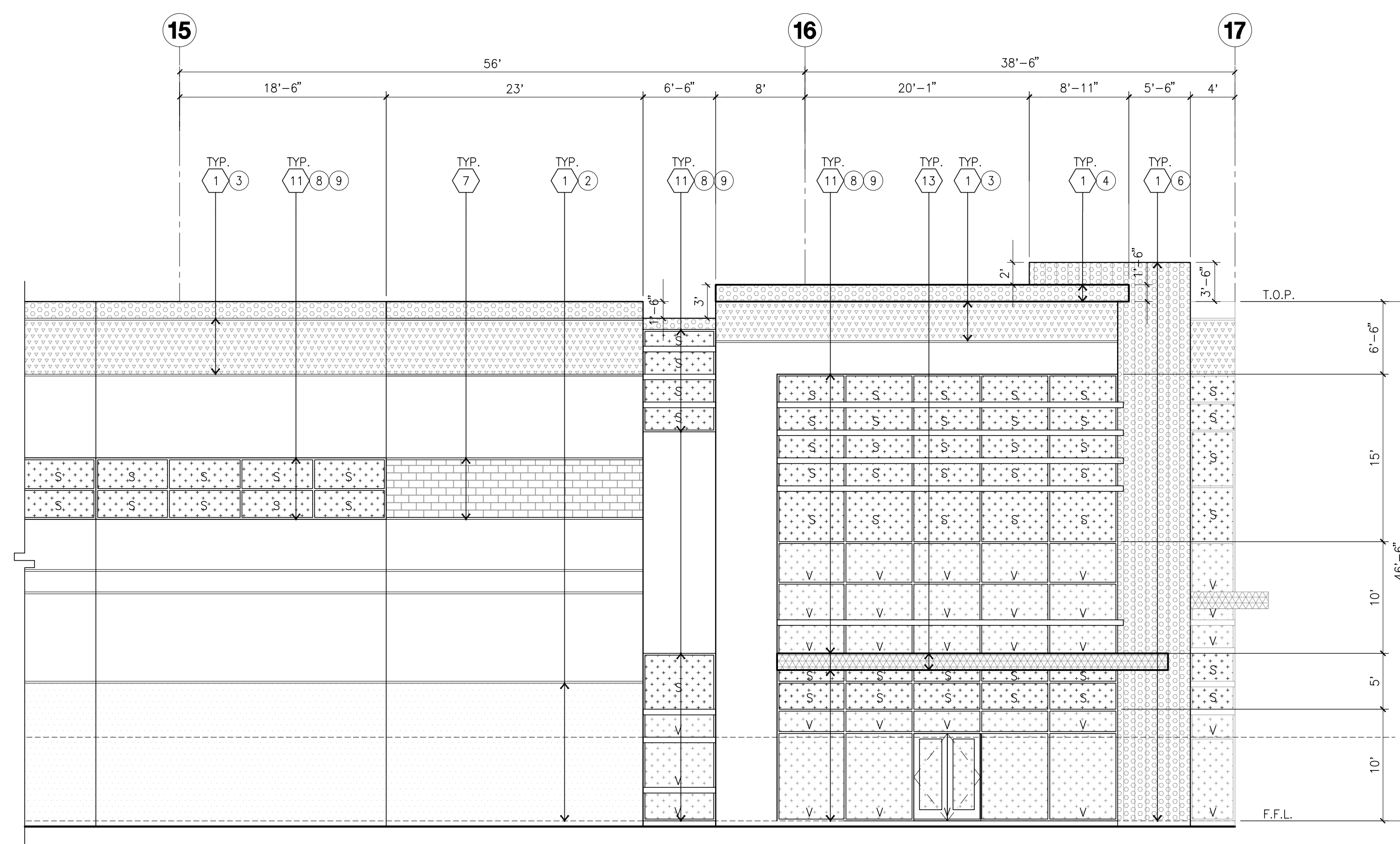
SOUTH ELEVATION (CONT.)

scale: 1" = 20'-0"



EAST ELEVATION

scale: 1" = 20'-0"

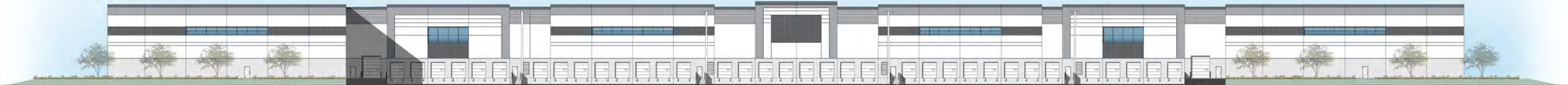


ENLARGED SOUTH ELEVATION

scale: 1/8" = 1'-0"



North Elevation



West Elevation



South Elevation



East Elevation



Conceptual Building Elevations - 40' Clear

100 W SINCLAIR STREET

Perris, CA

#21393 | 09.16.2022

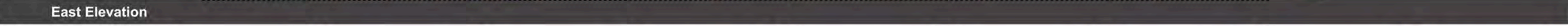




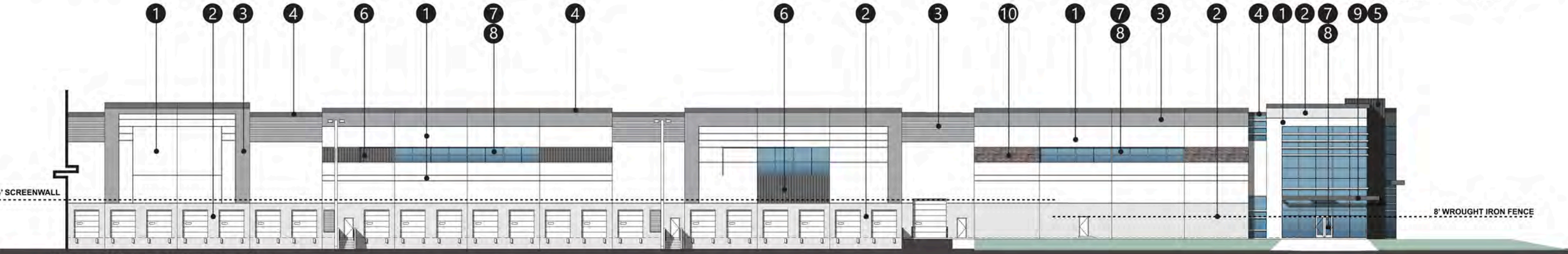
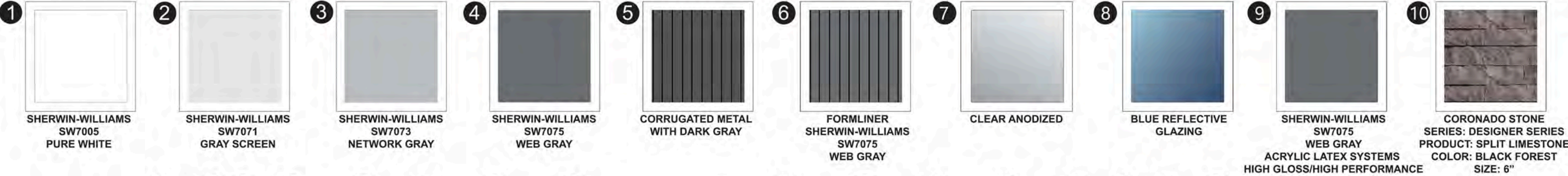
South Elevation



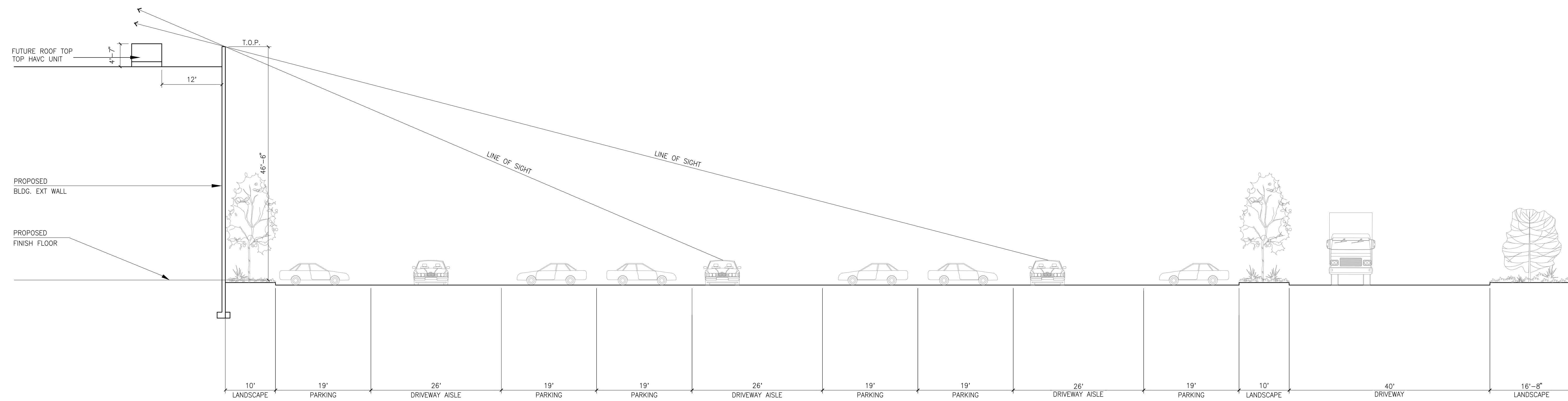
8' WROUGHT IRON FENCE



East Elevation

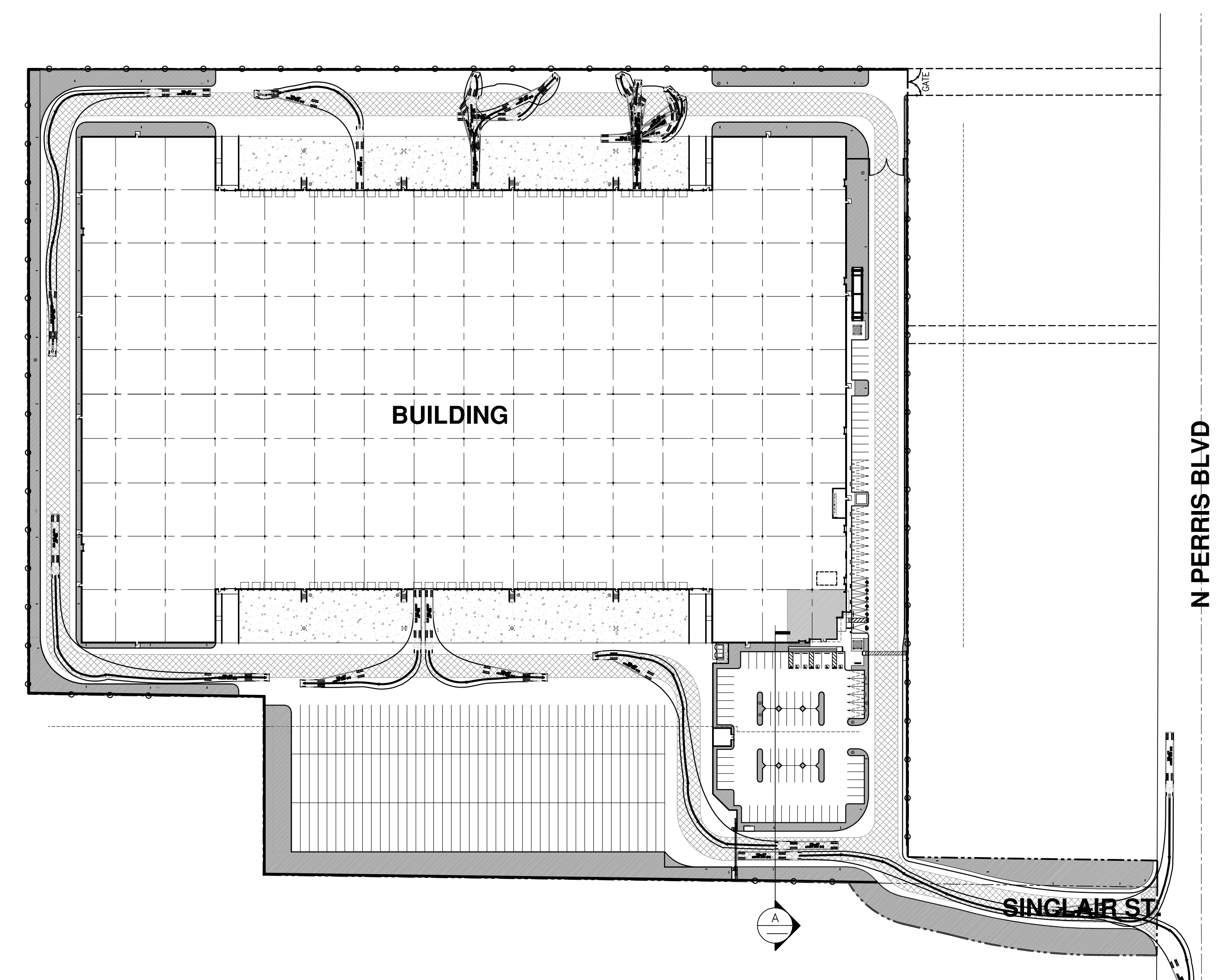


Enlarged View of South Elevation

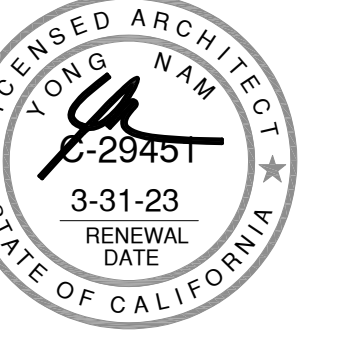


SITE SECTION STUDY A
scale: 1/10" = 1'-0"

SITE PLAN LEGEND



hpa, inc.
18831 bardeen avenue, - ste. #100
irvine, ca
92612
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com



Owner:



989 N Sepulveda Blvd, Suite 750
El Segundo, CA 90245
tel: 310-414-5400

Project:

**FIRST INDUSTRIAL
SINCLAIR**

100 W SINCLAIR STREET
PERRIS, CA

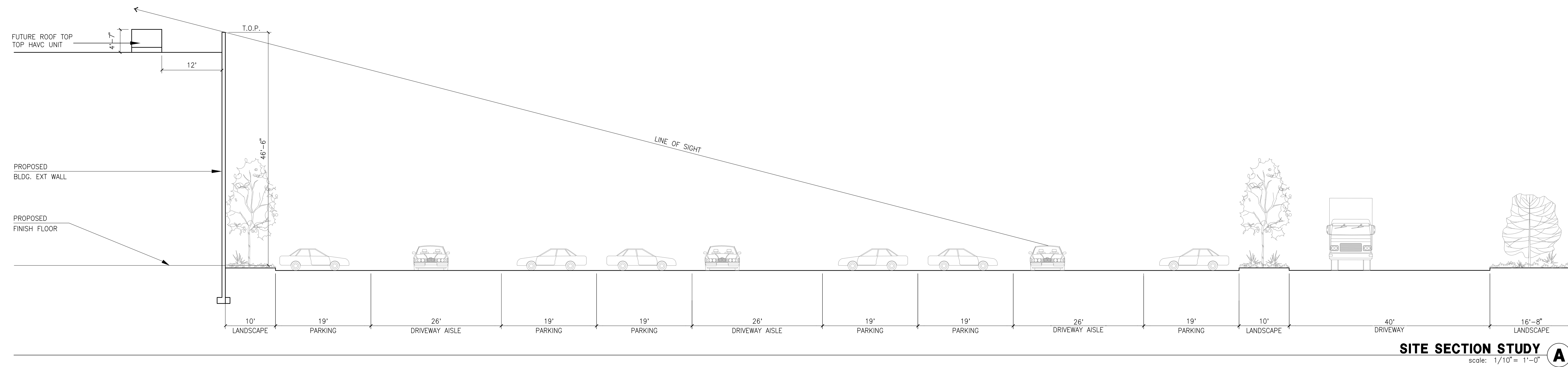
Consultants:

CIVIL	FMCVIL
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	SPLA
FIRE PROTECTION	-
SOILS ENGINEER	-

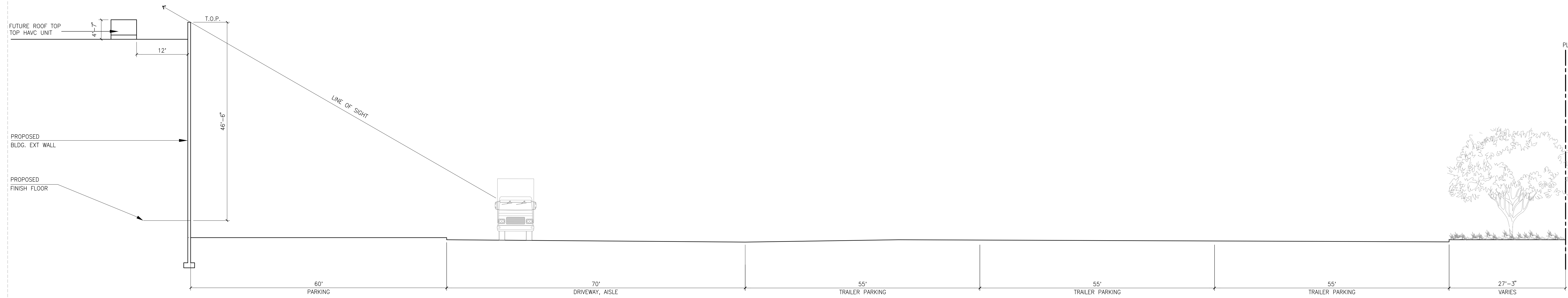
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Project Number: 21393
Drawn by: RC
Date: 06/02/2023
Revision:

Sheet:
DAB-A4.1

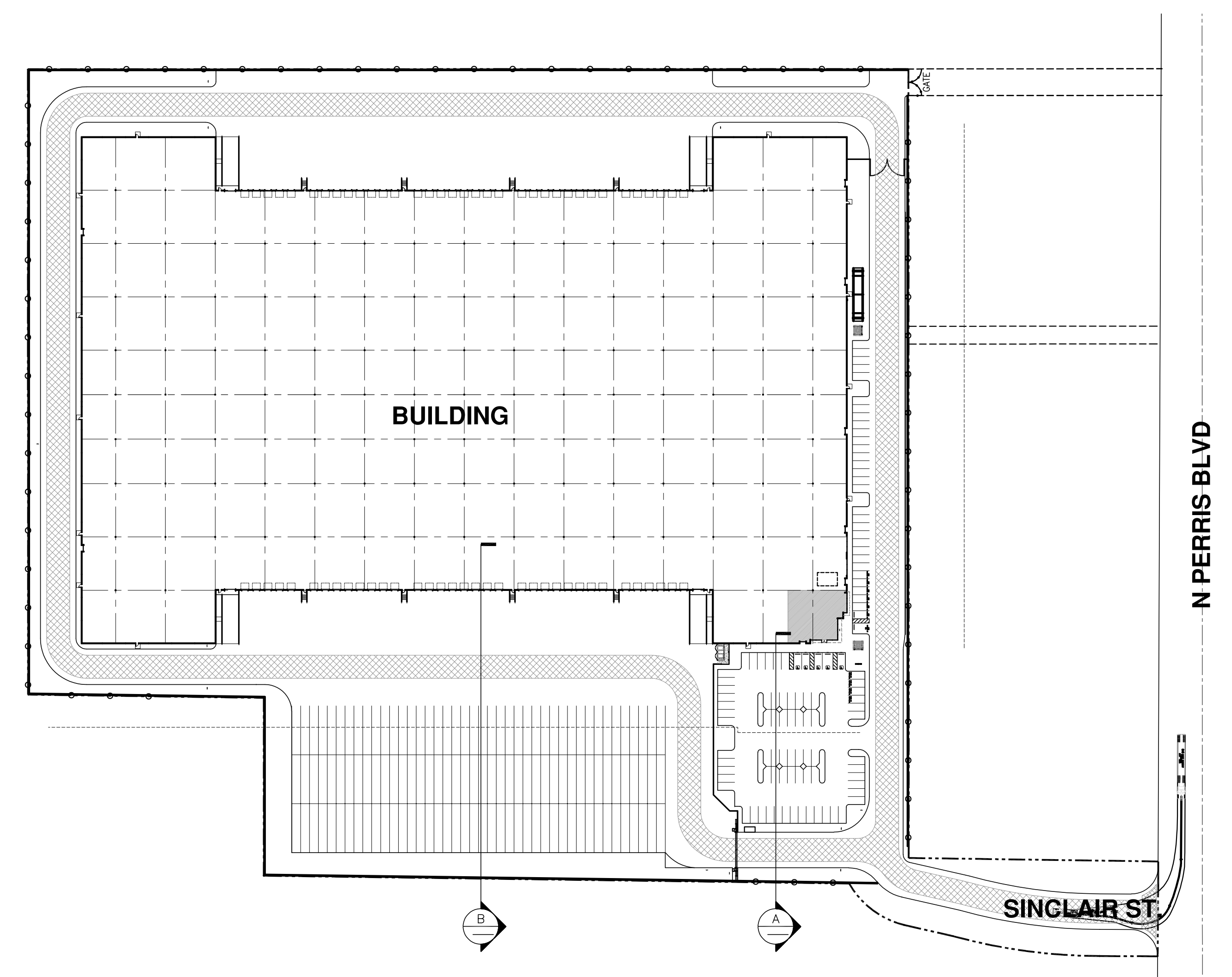


SITE SECTION STUDY A
scale: 1/10" = 1'-0"



SITE SECTION STUDY B
scale: 1/10" = 1'-0"

SITE PLAN LEGEND



hpa, inc.
18831 bardeen avenue, - ste. #100
irvine, ca
92612
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com



Owner:



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El Segundo, CA 90245

tel: 310-414-5400

Project:

**FIRST INDUSTRIAL
SINCLAIR**

100 W SINCLAIR STREET
PERRIS, CA

Consultants:

CIVIL	FMCVIL
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	SPLA
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: **SITE SECTION**

Project Number: 21393
Drawn by: RC
Date: 03/30/2023
Revision:

Sheet:

DAB-A4.1A



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Owner:



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 El Segundo, CA 90245
 tel: 310-414-5400

Project:

**FIRST INDUSTRIAL
 SINCLAIR**
 100 W SINCLAIR STREET
 PERRIS, CA

Consultants:

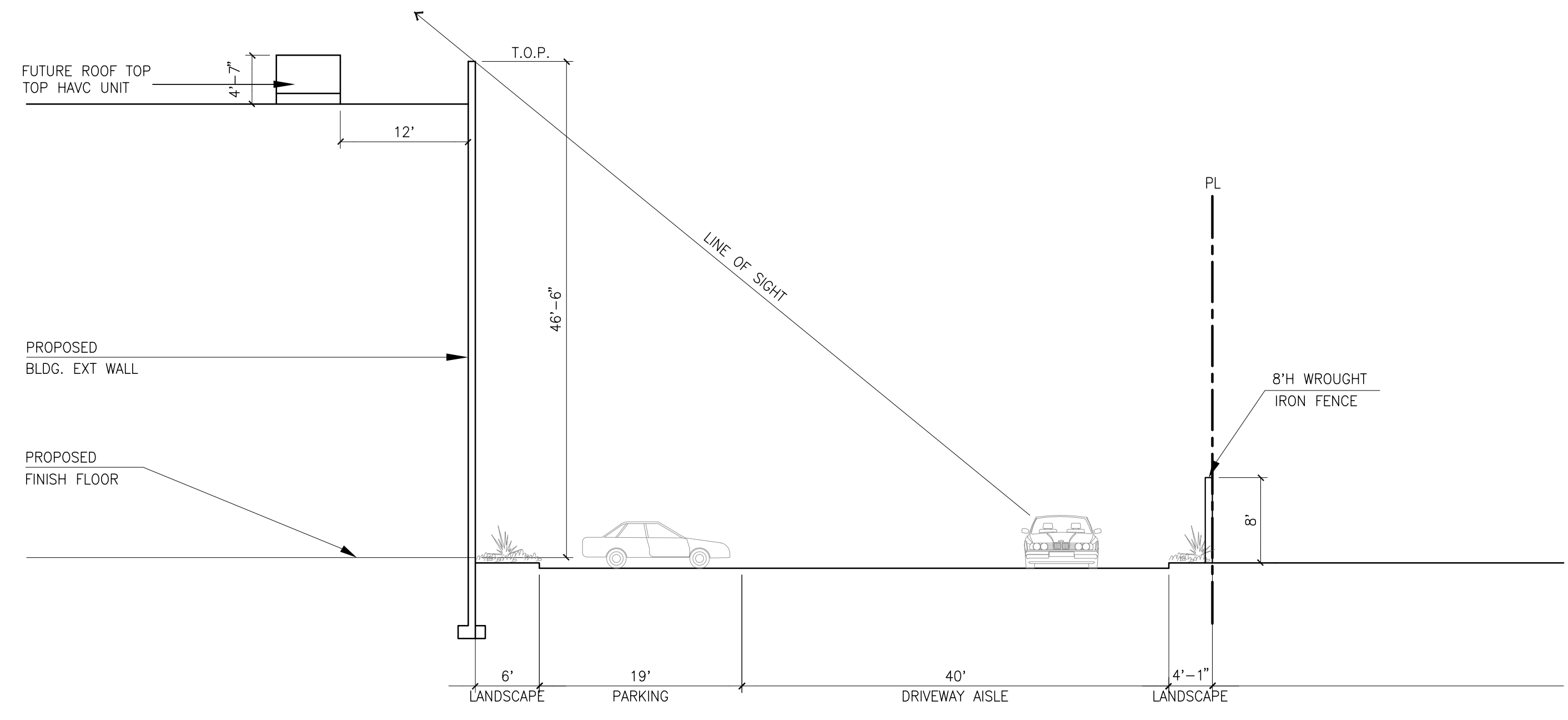
CIVIL	FMCVIL
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	SPLA
FIRE PROTECTION	-
SOILS ENGINEER	-

Title: SITE SECTION

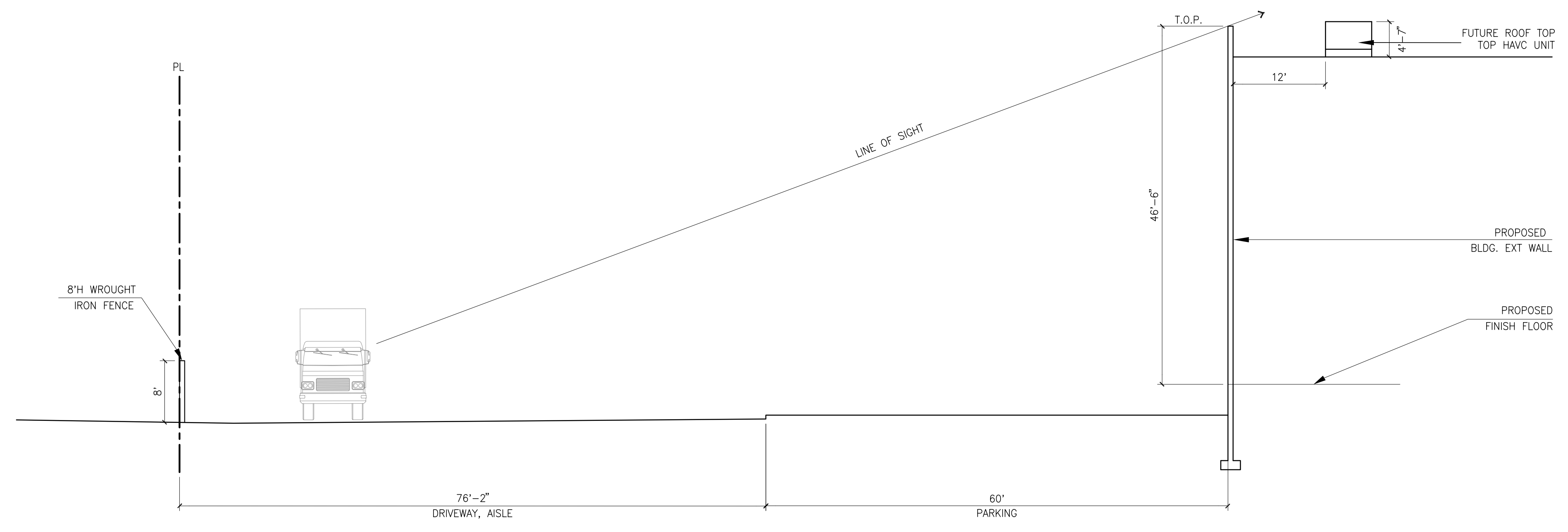
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 Drawn by: RC
 Date: 03/30/2023
 Revision:

Sheet:

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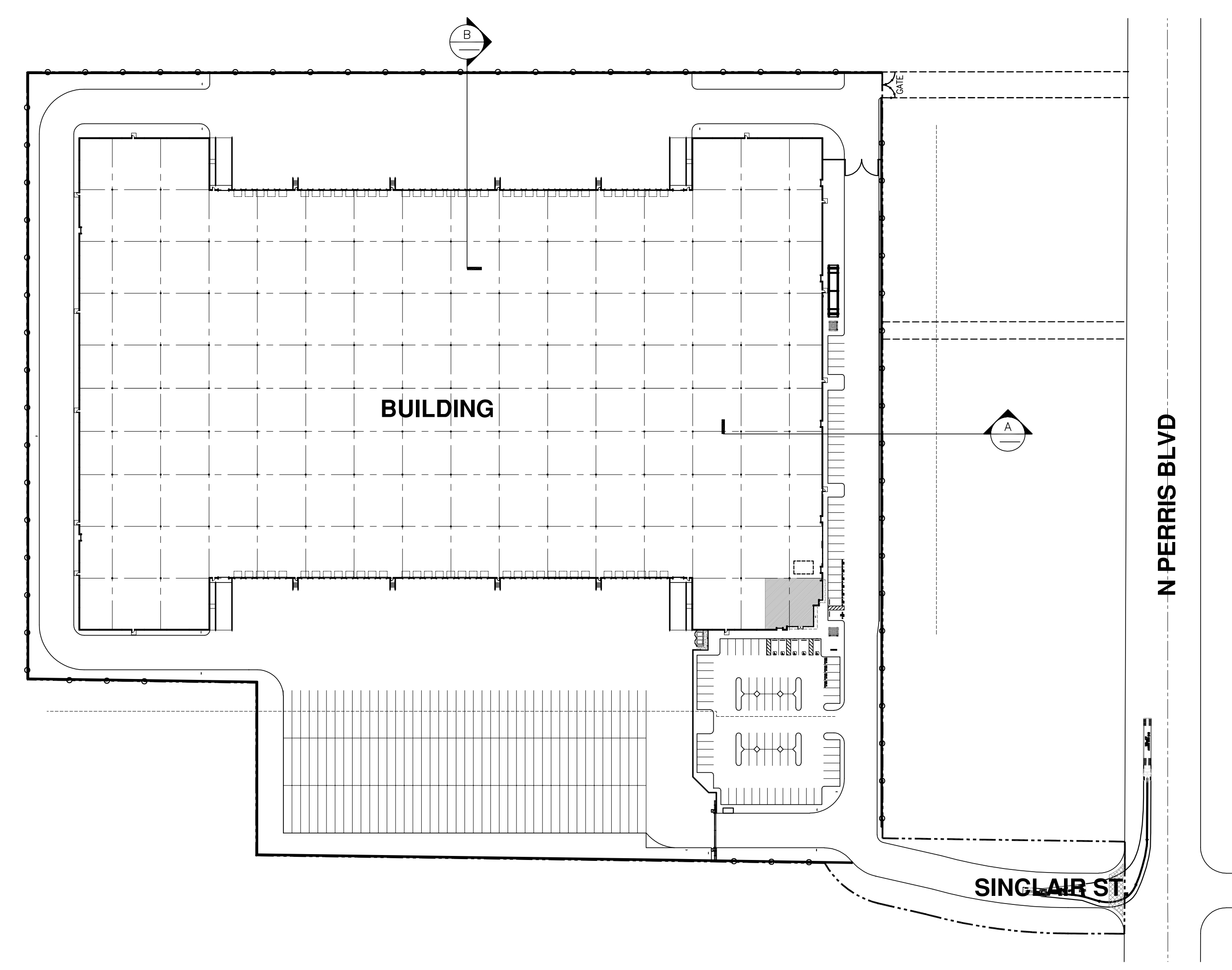


SITE SECTION STUDY A
 scale: 1/10" = 1'-0"



SITE SECTION STUDY B
 scale: 1/10" = 1'-0"

SITE PLAN LEGEND



Owner:



989 N Sepulveda Blvd. Suite 750
El Segundo, CA 90245

tel: 310-414-5400

Project:

**FIRST INDUSTRIAL
SINCLAIR**

100 W SINCLAIR STREET
PERRIS, CA

Consultants:

CIVIL	FMCVIL
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	-
LANDSCAPE	SPLA
FIRE PROTECTION	-
SOILS ENGINEER	-

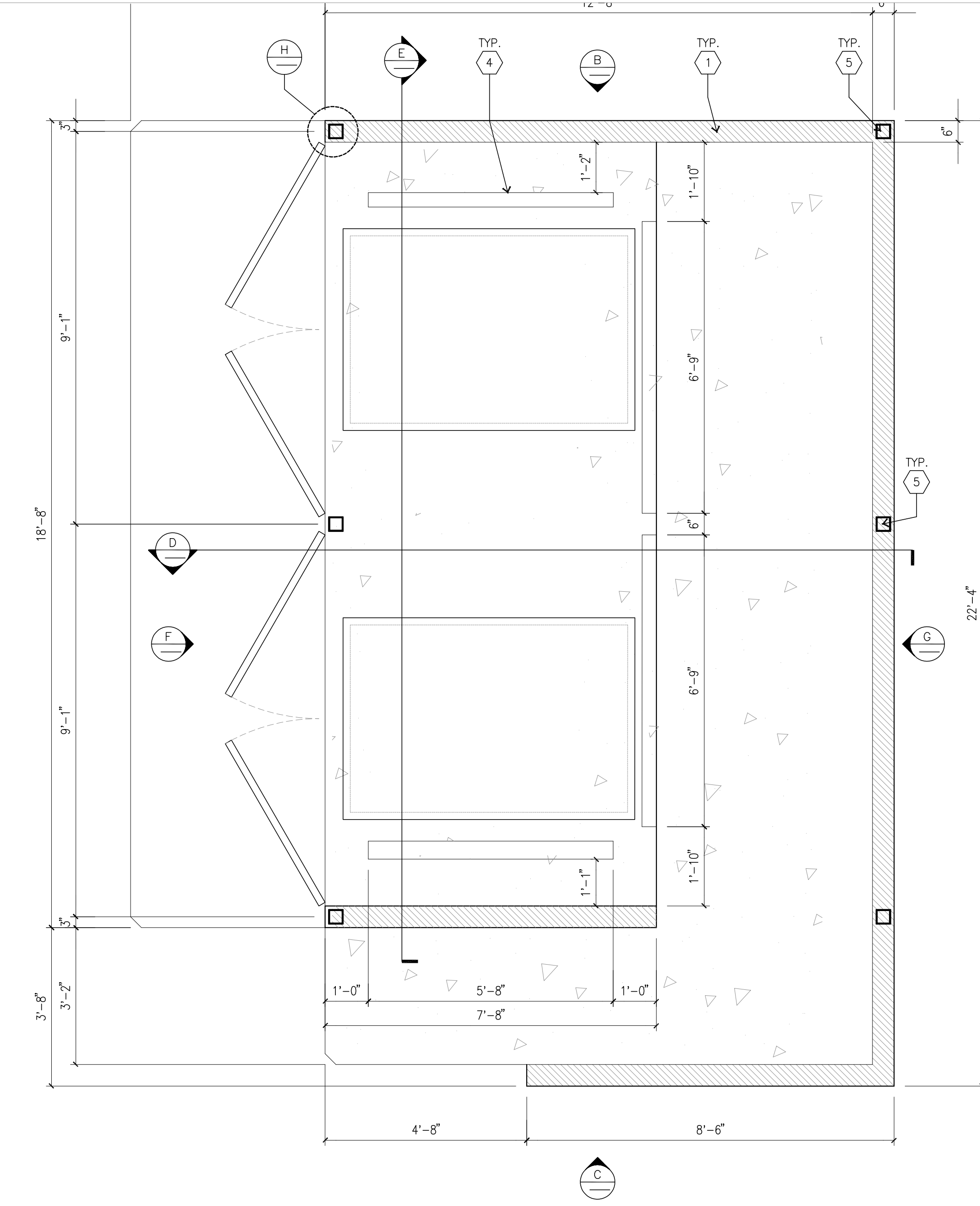
Title: **TRASH ENCLOSURE**

Project Number: 21393
Drawn by: RC
Date: 03/30/2023

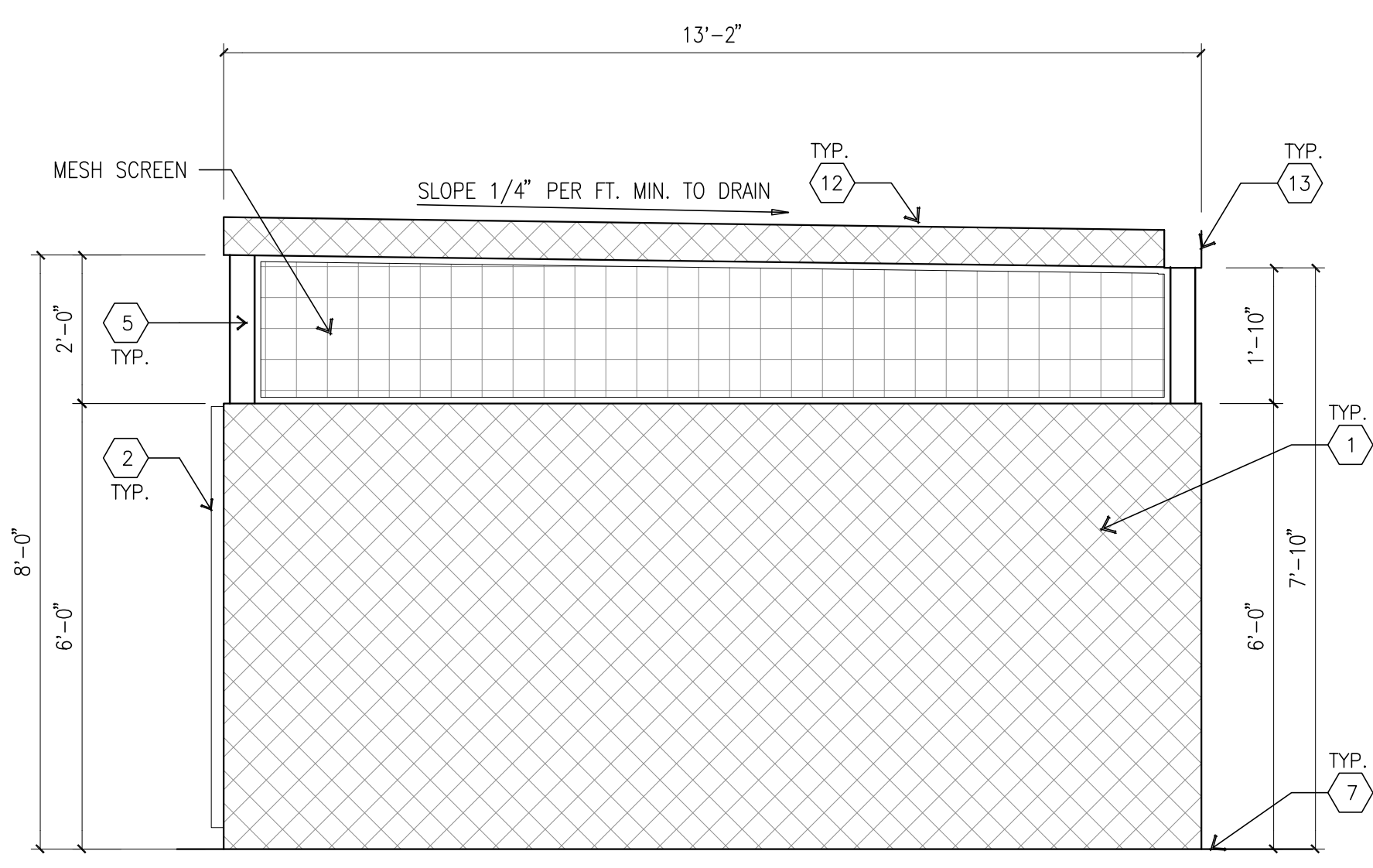
Revision:

Sheet:

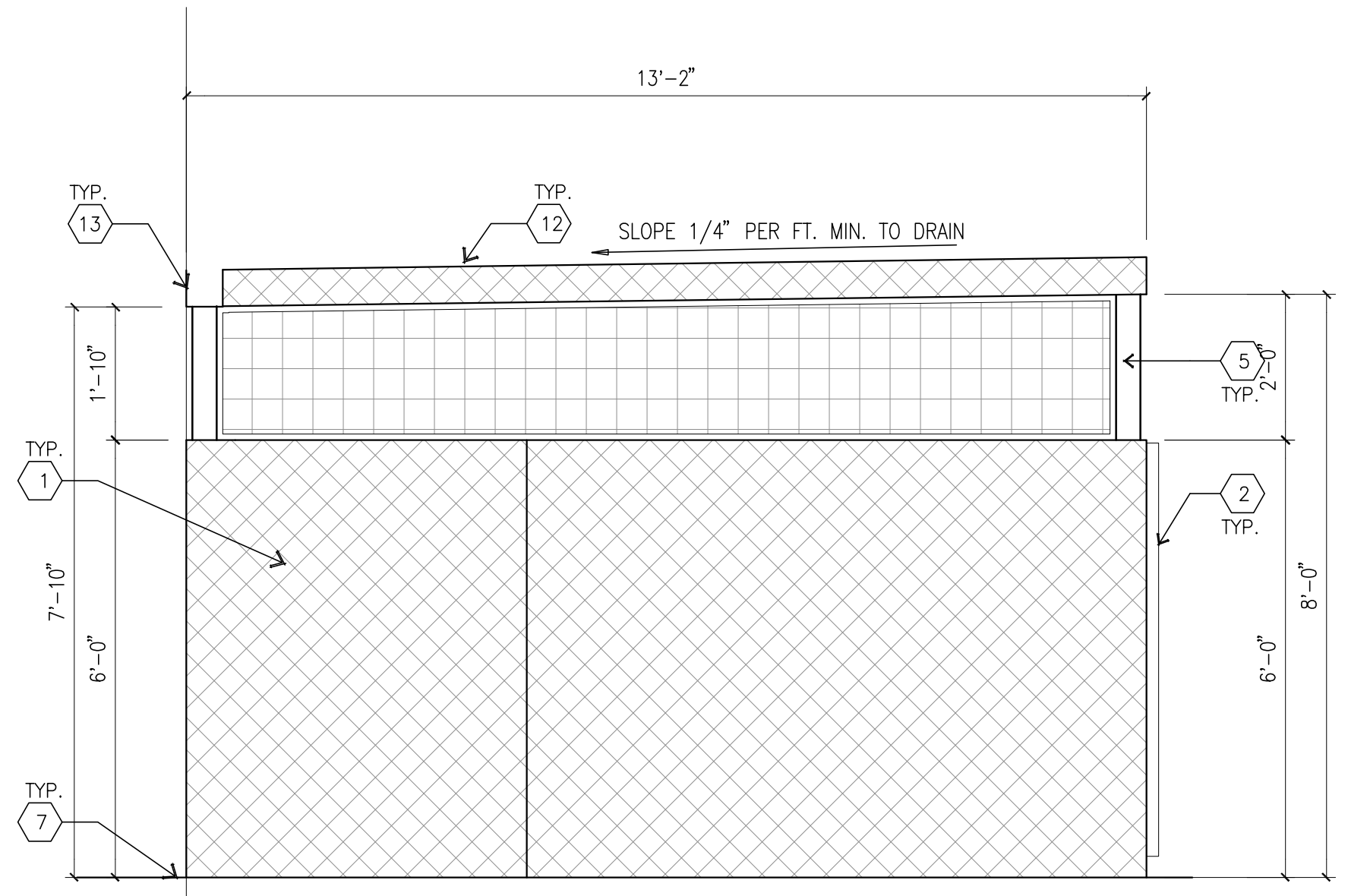
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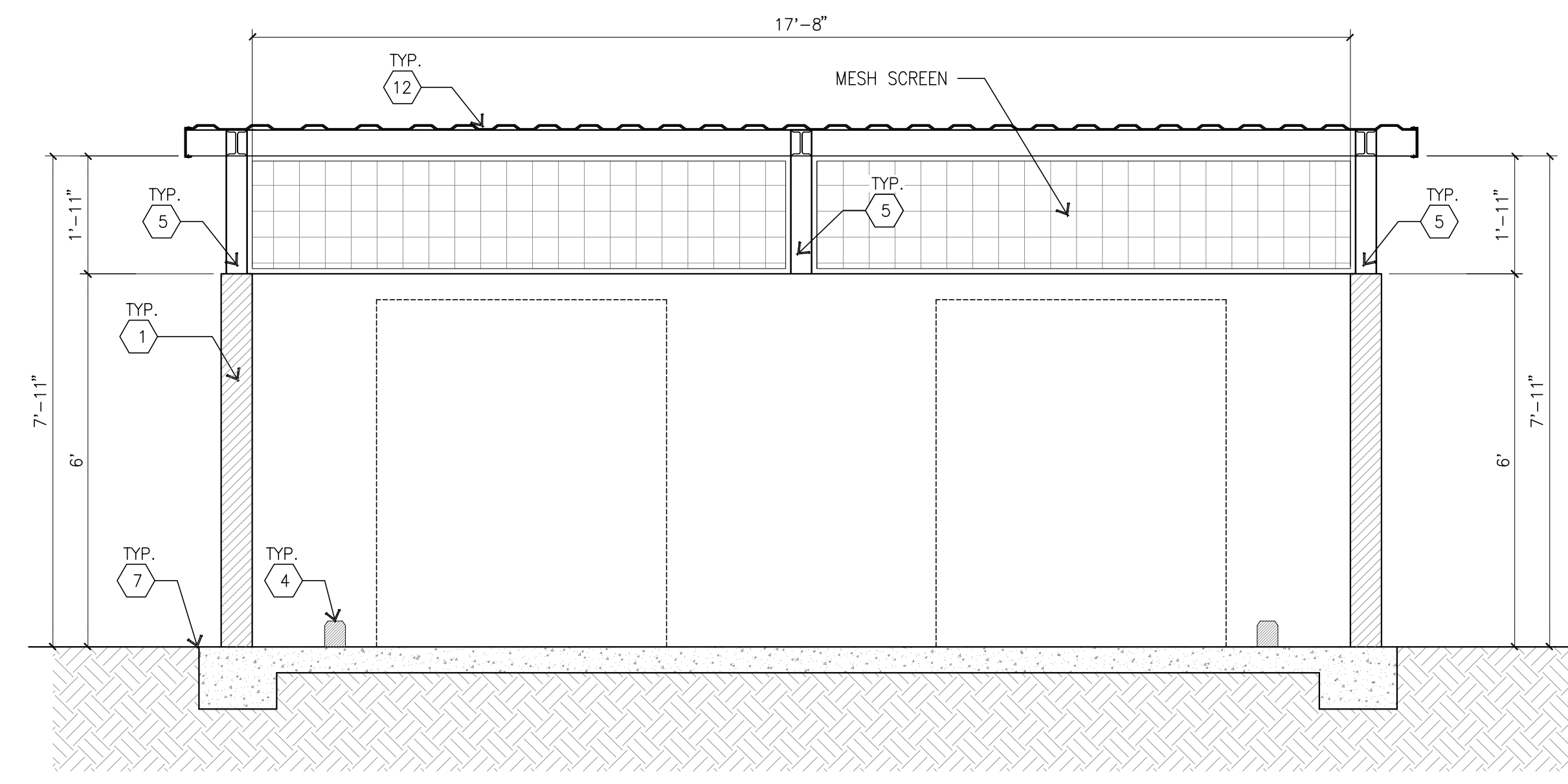
ENLARGED TRASH ENCLOSURE PLAN (A)
scale: 1/2" = 1'-0" TRUE NORTH



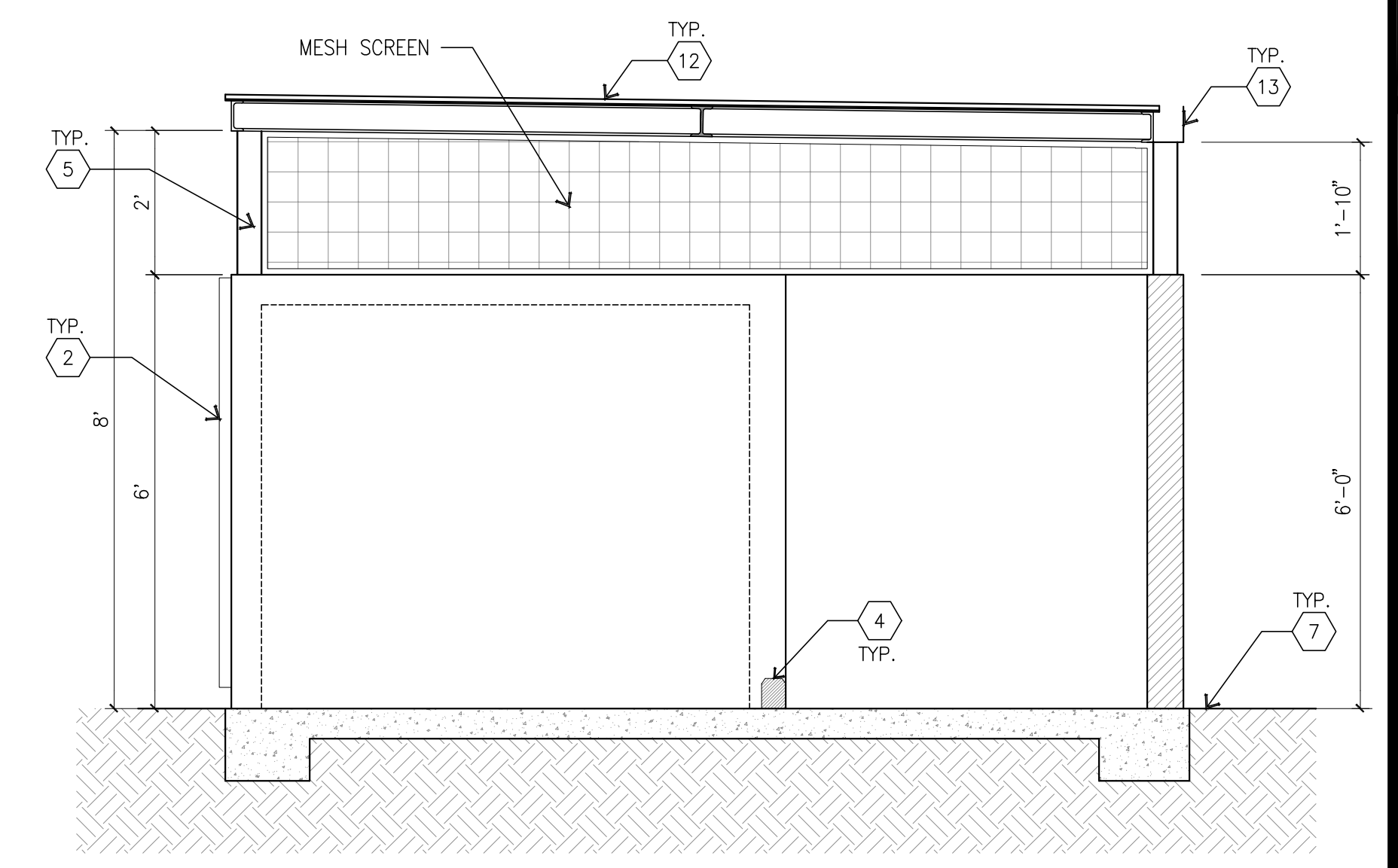
TRASH ENCLOSURE ELEVATION (B)
scale: 1/2" = 1'-0"



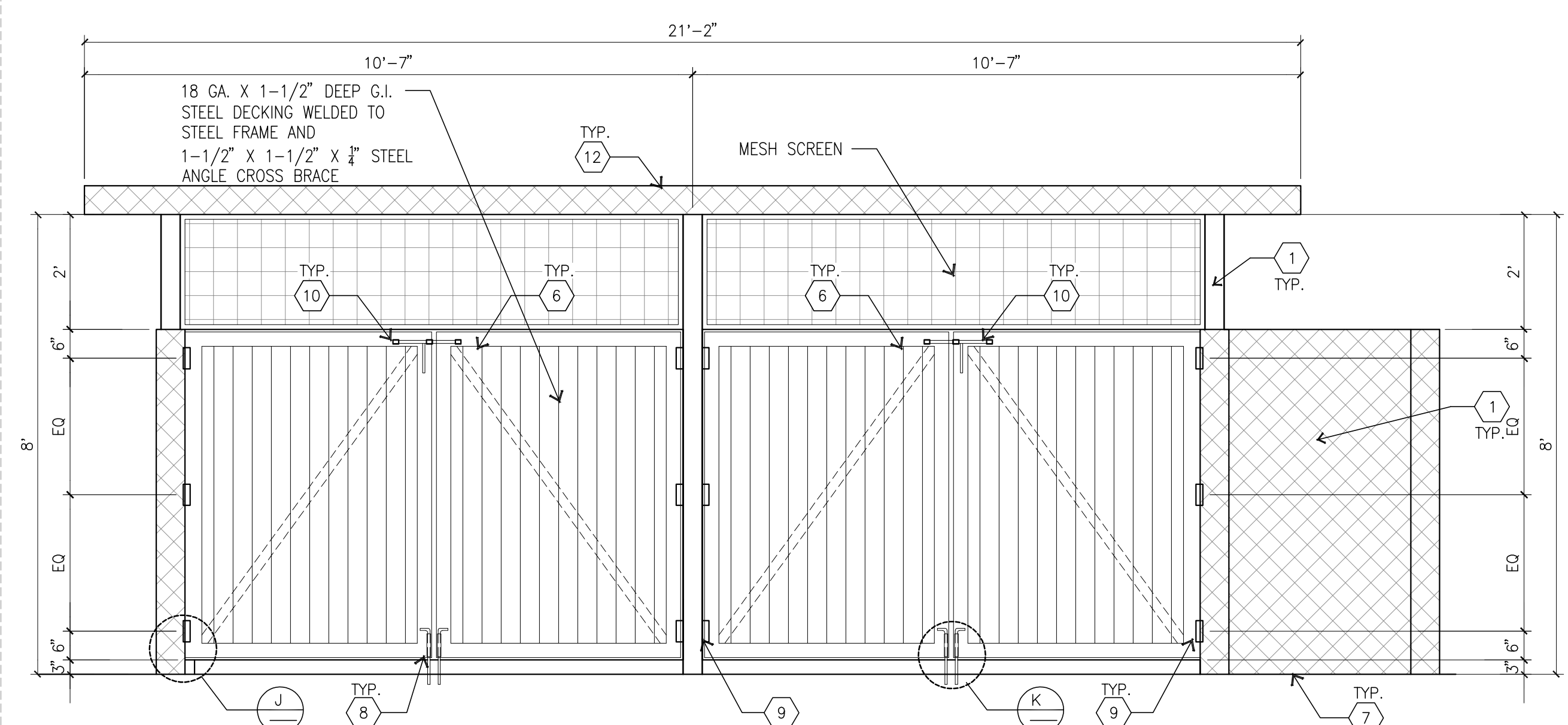
TRASH ENCLOSURE ELEVATION (C)
scale: 1/2" = 1'-0"



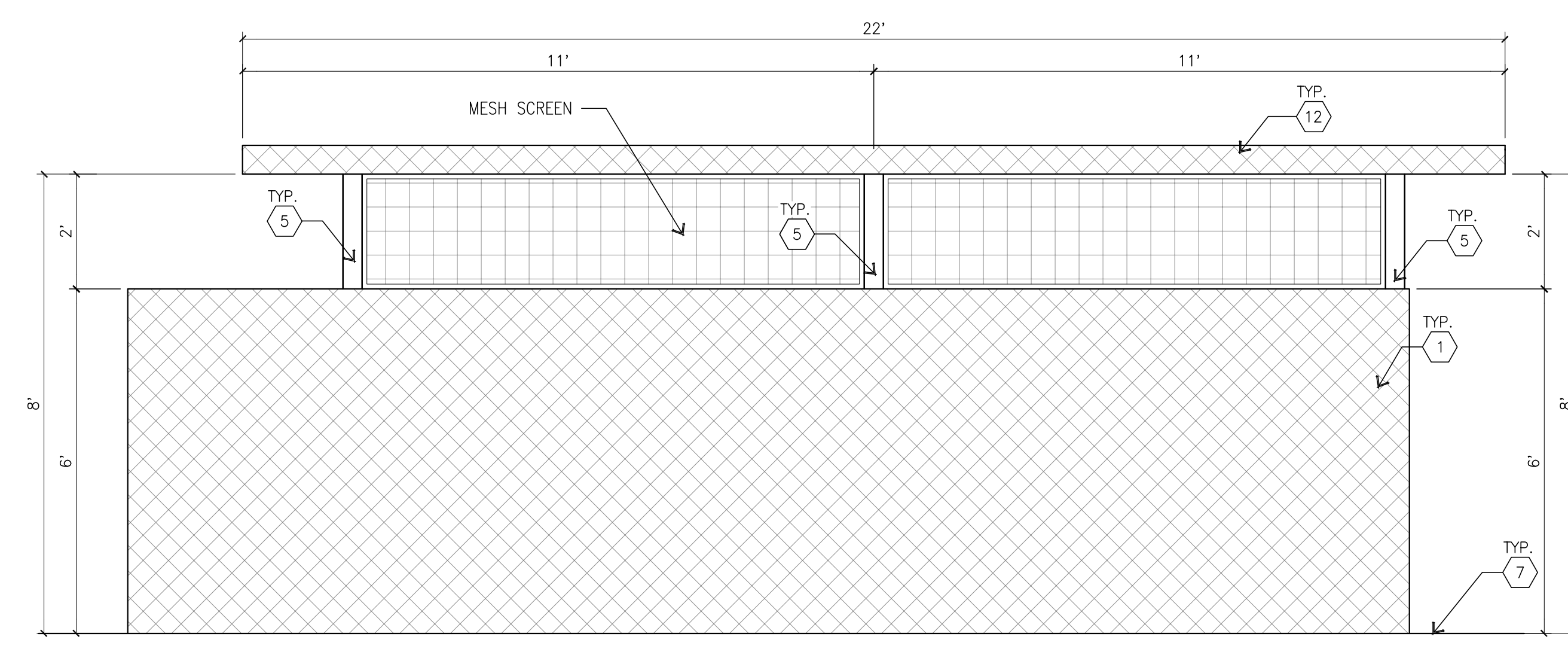
TRASH ENCLOSURE SECTION (E)
scale: 1/2" = 1'-0"



TRASH ENCLOSURE SECTION (D)
scale: 1/2" = 1'-0"



TRASH ENCLOSURE ELEVATION (F)
scale: 1/2" = 1'-0"



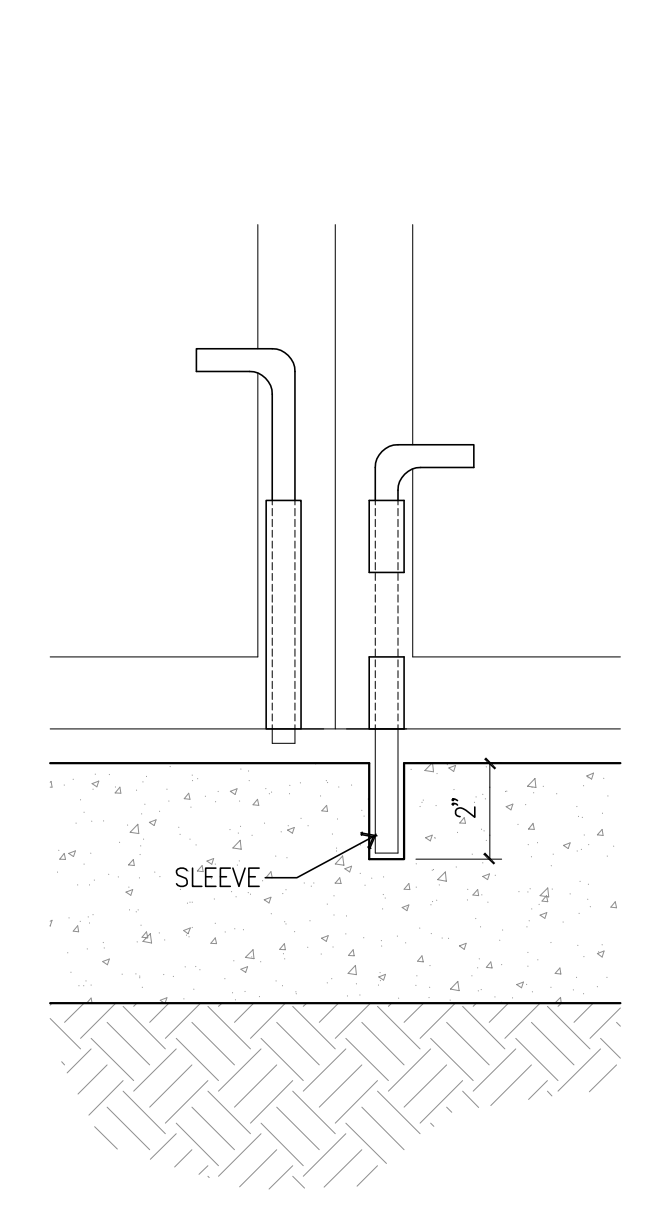
TRASH ENCLOSURE ELEVATION (G)
scale: 1/2" = 1'-0"

KEYNOTES

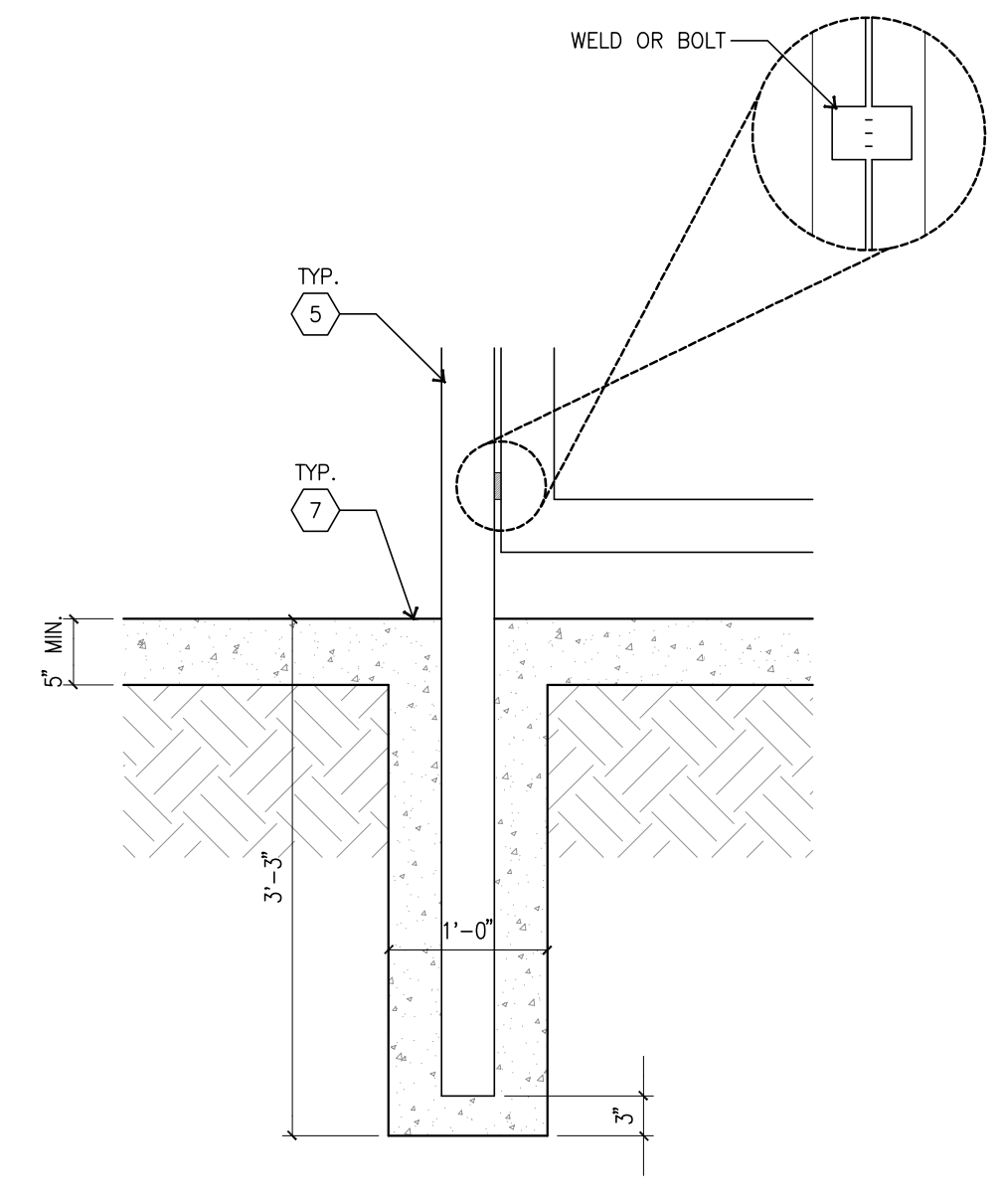
- 1 CONCRETE TILT-UP WALL.
- 2 DOUBLE SWING METAL GATES.
- 3 CONCRETE APRON 5" MIN.
- 4 4"W X 4"H WHEEL STOPS WITH 1" BEVEL TOP CUTS, SHALL BE FROM RECYCLED MATERIALS. SECURED TO SLAB W/ 1/2" DIA. ANCHOR BOLTS @ 36" O.C. MIN. TYPICAL.
- 5 STEEL TUBE FRAME PER "S" DRAWINGS.
- 6 18 GA. X 1 1/2" DEEP G.I. STEEL DECKING WELDED TO STEEL FRAME AND 1 1/2" X 1 1/2" X 1/4" STEEL ANGLE CROSS BRACE.
- 7 FINISH SURFACE.
- 8 STEEL CANE BOLT W/ SLEEVE, LOCATED ON OUTSIDE OF ONE GATE. (TYPICAL EA. SIDE) SEE DETAIL 6/AD.6
- 9 HEAVY DUTY STEEL HINGE. (TYPICAL EA. GATE)
- 10 HEAVY DUTY SLIDE BOLT. (TYPICAL EA. GATE)
- 11 NOT USED
- 12 GALVANIZED CORRUGATED METAL DECK.
- 13 20 GA. G.I. GUTTER PAINTED.

COLOR LEGEND

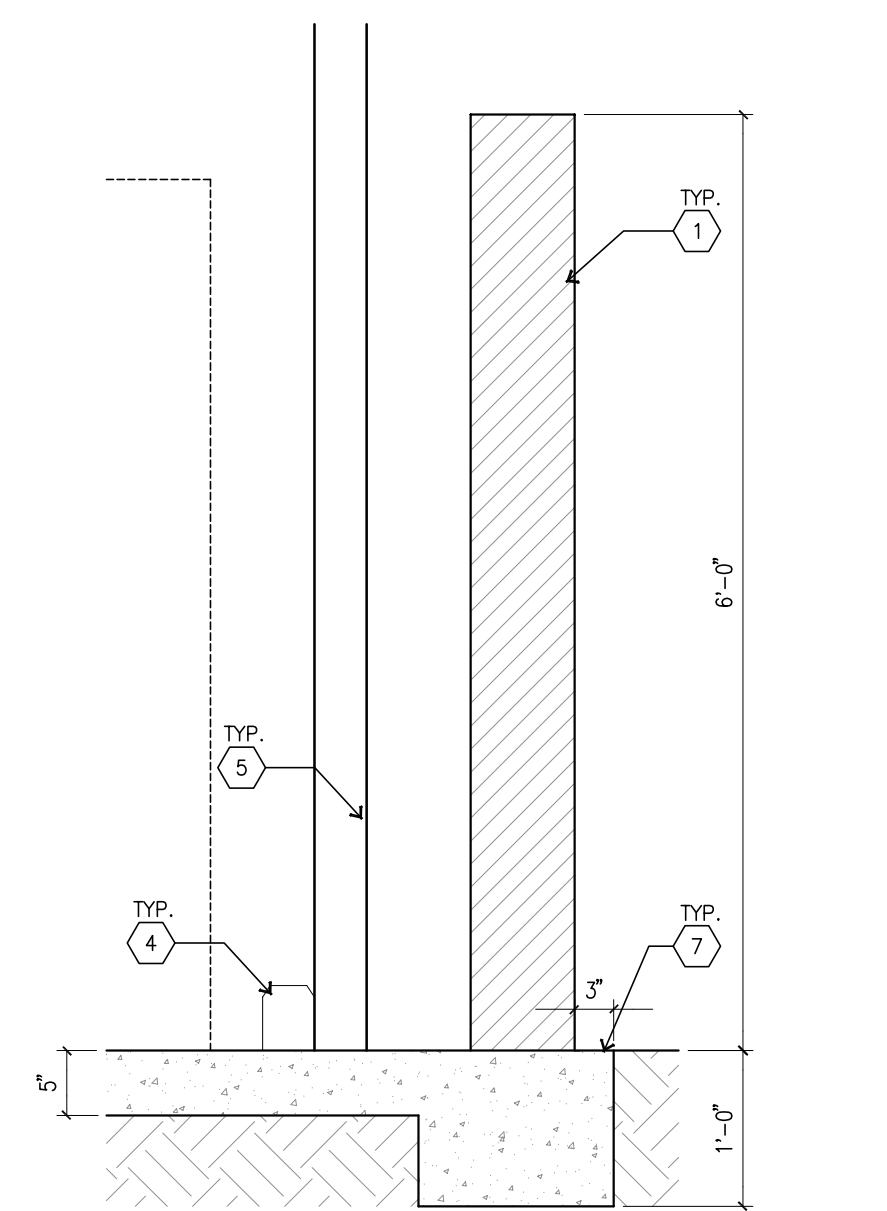
- 1 CONC. TILT-UP PANEL PAINT BRAND SHERWIN WILLIAMS SW7064 PASSIVE



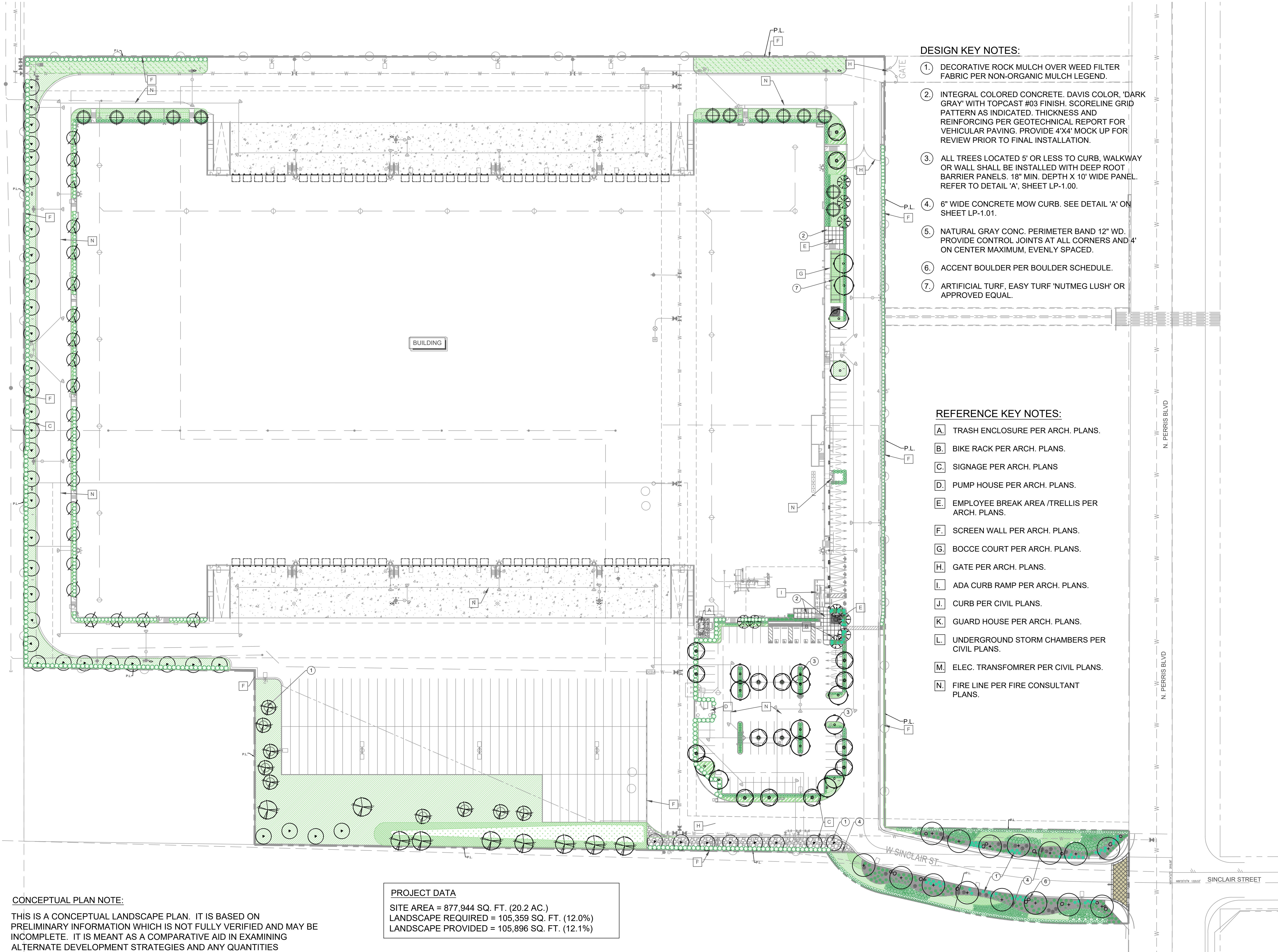
SLEEVE DETAIL (K)
scale: N.T.S.



STEEL COL. FOOTING (J)
scale: N.T.S.



WALL FOOTING DETAIL (H)
scale: N.T.S.



- DESIGN KEY NOTES:**
- DECORATIVE ROCK MULCH OVER WEED FILTER FABRIC PER NON-ORGANIC MULCH LEGEND.
 - INTEGRAL COLORED CONCRETE, DAVIS COLOR, 'DARK GRAY' WITH TOPCAST #03 FINISH. SCORELINE GRID PATTERN AS INDICATED. THICKNESS AND REINFORCING PER GEOTECHNICAL REPORT FOR VEHICULAR PAVING. PROVIDE 4'X4' MOCK UP FOR REVIEW PRIOR TO FINAL INSTALLATION.
 - ALL TREES LOCATED 5' OR LESS TO CURB, WALKWAY OR WALL SHALL BE INSTALLED WITH DEEP ROOT BARRIER PANELS. 18" MIN. DEPTH X 10" WIDE PANEL. REFER TO DETAIL 'A', SHEET LP-1.00.
 - 6" WIDE CONCRETE MOW CURB. SEE DETAIL 'A' ON SHEET LP-1.01.
 - NATURAL GRAY CONC. PERIMETER BAND 12" WD. PROVIDE CONTROL JOINTS AT ALL CORNERS AND 4' ON CENTER MAXIMUM, EVENLY SPACED.
 - ACCENT BOULDER PER BOULDER SCHEDULE.
 - ARTIFICIAL TURF, EASY TURF 'NUTMEG LUSH' OR APPROVED EQUAL.

- REFERENCE KEY NOTES:**
- A. TRASH ENCLOSURE PER ARCH. PLANS.
 - B. BIKE RACK PER ARCH. PLANS.
 - C. SIGNAGE PER ARCH. PLANS.
 - D. PUMP HOUSE PER ARCH. PLANS.
 - E. EMPLOYEE BREAK AREA /TRELLIS PER ARCH. PLANS.
 - F. SCREEN WALL PER ARCH. PLANS.
 - G. BOCCO COURT PER ARCH. PLANS.
 - H. GATE PER ARCH. PLANS.
 - I. ADA CURB RAMP PER ARCH. PLANS.
 - J. CURB PER CIVIL PLANS.
 - K. GUARD HOUSE PER ARCH. PLANS.
 - L. UNDERGROUND STORM CHAMBERS PER CIVIL PLANS.
 - M. ELEC. TRANSFORMER PER CIVIL PLANS.
 - N. FIRE LINE PER FIRE CONSULTANT PLANS.

PROJECT DATA
 SITE AREA = 877,944 SQ. FT. (20.2 AC.)
 LANDSCAPE REQUIRED = 105,359 SQ. FT. (12.0%)
 LANDSCAPE PROVIDED = 105,896 SQ. FT. (12.1%)

CONCEPTUAL PLAN NOTE:
 THIS IS A CONCEPTUAL LANDSCAPE PLAN. IT IS BASED ON PRELIMINARY INFORMATION WHICH IS NOT FULLY VERIFIED AND MAY BE INCOMPLETE. IT IS MEANT AS A COMPARATIVE AID IN EXAMINING ALTERNATE DEVELOPMENT STRATEGIES AND ANY QUANTITIES INDICATED ARE SUBJECT TO REVISION AS MORE RELIABLE INFORMATION BECOMES AVAILABLE.

IRRIGATION NOTE:
 THE PROJECT WILL BE EQUIPPED WITH A LOW FLOW IRRIGATION SYSTEM CONSISTING OF ET WEATHER BASED SMART CONTROLLER, LOW FLOW ROTORS, BUBBLER AND/ OR DRIP SYSTEMS USED THROUGHOUT. THE IRRIGATION WATER EFFICIENCY WILL MEET OR SURPASS THE CURRENT STATED MANDATED AB-1881 WATER ORDINANCE.

GENERAL NOTES:

- SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL GROUND COVER PER LEGEND, AND MULCH MATERIAL WITH 'BINDER' MATERIAL SHALL BE APPLIED FOR EROSION CONTROL.
- ROCK RIP-RAP MATERIAL SHALL BE INSTALLED WHERE DRAIN LINES CONNECT TO INFILTRATION AREAS.
- ALL UTILITY EQUIPMENT SUCH AS BACKFLOW UNITS, FIRE DETECTOR CHECKS AND FIRE CHECK VALVES WILL BE SCREENED WITH EVERGREEN PLANT MATERIAL ONCE FINAL LOCATIONS HAVE BEEN DETERMINED.

GROUND COVER AND SHRUB MASSES		
SYMBOL	GROUND COVER/SHRUB MASS NAME	WUCOLS
	ACACIA R. 'LOWBOY', PROSTRATE ACACIA 1 GAL. SIZE @ 48" O.C.	L
	LONICERA JAPONICA, JAPANESE HONEYSUCKLE 1 GAL. SIZE @ 30" O.C.	L
	SALVIA LEUCANTHA, MEXICAN BUSH SAGE 5 GAL. SIZE @ 36" O.C.	L
	BACCHARIS P. 'PIGEON POINT', DWARF COYOTE BRUSH 1 GAL. SIZE @ 36" O.C.	L
	BACCHARIS 'STARN', STARN COYOTE BRUSH 1 GAL. SIZE @ 42" O.C.	L
	CHONDROPETALUM TECTORUM, SMALL CAPE RUSH 1 GAL. SIZE @ 42" O.C.	M

	ROSMARINUS O. 'PROSTRATUS', CREEPING ROSEMARY 1 GAL. SIZE @ 30" O.C.	L
	DIETS BICOLOR, FORTNIGHT LILY 1 GAL. SIZE @ 36" O.C.	M
	MUHLENBERGIA C. 'REGAL MIST', PINK MUHLY 1 GAL. SIZE @ 36" O.C.	L
	DETENTION BASIN BOTTOM MUHLENBERGIA RIGENS, DEER GRASS 1 GAL. SIZE @ 42" O.C.	M
	BACCHARIS P. 'PIGEON POINT', DWARF COYOTE BRUSH 1 GAL. SIZE @ 36" O.C.	L

NOTE: ALL SHRUB PLANTING AREAS WITHIN LIMIT OF WORK SHALL RECEIVE A 3" LAYER OF SHREDDED WOOD MULCH. PROVIDE SUBMITTAL FOR REVIEW PRIOR TO INSTALLATION. MULCH SHALL BE FREE OF RECYCLED PALM MATERIAL.

PLANTING LEGEND

TREES			
SYMBOL	TREE NAME	QTY.	WUCOLS
	CERCIDIUM X 'BLUE PALO VERDE', BLUE PALO VERDE 36" BOX SIZE. STANDARD TRUNK. DOUBLE STAKE.	15	L
	CHILOPSIS LINEARIS, DESERT WILLOW 36" BOX SIZE. STANDARD TRUNK. DOUBLE STAKE.	9	L
	OLEA E. 'WILSONII', FRUITLESS OLIVE TREE 24" BOX SIZE. STANDARD TRUNK. DOUBLE STAKE. INSTALL WITH DEEP ROOT BARRIER PANELS.	14	L
	PINUS ELДАРICA, MONDELL PINE 24" BOX SIZE. STANDARD TRUNK. DOUBLE STAKE.	43	L
	TRISTANIA CONFERTA, BRISBANE BOX 15 GAL. SIZE. STANDARD TRUNK. DOUBLE STAKE.	13	M
	ACACIA STENOPHYLLA, SHOE STRING ACACIA 15 GAL. SIZE. STANDARD TRUNK. DOUBLE STAKE.	22	L
	GEJNERA PARVIFLORA, AUSTRALIAN WILLOW 15 GAL. SIZE. STANDARD TRUNK. DOUBLE STAKE.	17	M
	QUERCUS AGRIFOLIA, COAST LIVE OAK 24" BOX SIZE. STANDARD TRUNK. DOUBLE STAKE. INSTALL WITH STAND PIPE.	9	L
	CHILOPSIS LINEARIS, DESERT WILLOW 24" BOX SIZE. STANDARD TRUNK. DOUBLE STAKE.	9	L

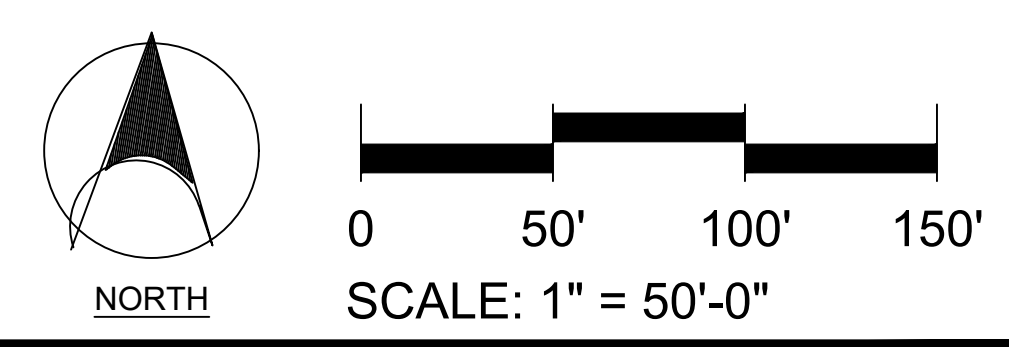
SHRUBS - SHRUBS SHALL BE CHOSEN FROM THE FOLLOWING:

SYMBOL	SHRUB NAME	QTY	WUCOLS
	PRUNUS CAROLINIANA, CAROLINA LAUREL CHERRY 5 GAL. SIZE	324	M
	LEUCOPHYLLUM F. 'GREEN CLOUD', GREEN CLOUD SAGE 5 GAL. SIZE	309	L
	LIGUSTRUM J. 'TEXZANUM', JAPANESE PRIVET 5 GAL. SIZE	110	M
	WESTRINGIA F. 'WYNYABBIE GEM', WYNYABBIE GEM 5 GAL. SIZE	56	L
	OLEA E. 'LITTLE OLLIE', DWARF FRUITLESS OLIVE 5 GAL. SIZE	168	L
	LEUCOPHYLLUM F. 'COMPACTA', COMPACT TEXAS RANGER 5 GAL. SIZE	87	L
	SENNA ARTIMISOIDEA, FEATHERY CASSIA 5 GAL. SIZE	248	L
	HETEROMELES ARBUTIFOLIA, TOYON 5 GAL. SIZE	151	L

ACCENT SUCCULENTS

SYMBOL	SHRUB NAME	QTY	WUCOLS
	HESPERALOE P. 'YELLOW', YELLOW YUCCA 5 GAL. SIZE	71	L
	ALOE S. 'GHOST ALOE', GHOST ALOE HYBRID 5 GAL. SIZE	54	L
	AGAVE WEBERI, SMOOTH AGAVE 15 GAL. SIZE	64	VL
	BOUGAINVILLEA 'TORCH GLOW', TORCH GLOW BOUGAINVILLEA 15 GAL. SIZE	22	L
	HESPERALOE PARVIFLORA, PINK YUCCA 5 GAL. SIZE	70	L
	HESPEROYUCCA WHIPPLEI, CHAPARRAL YUCCA 15 GAL. SIZE	21	VL

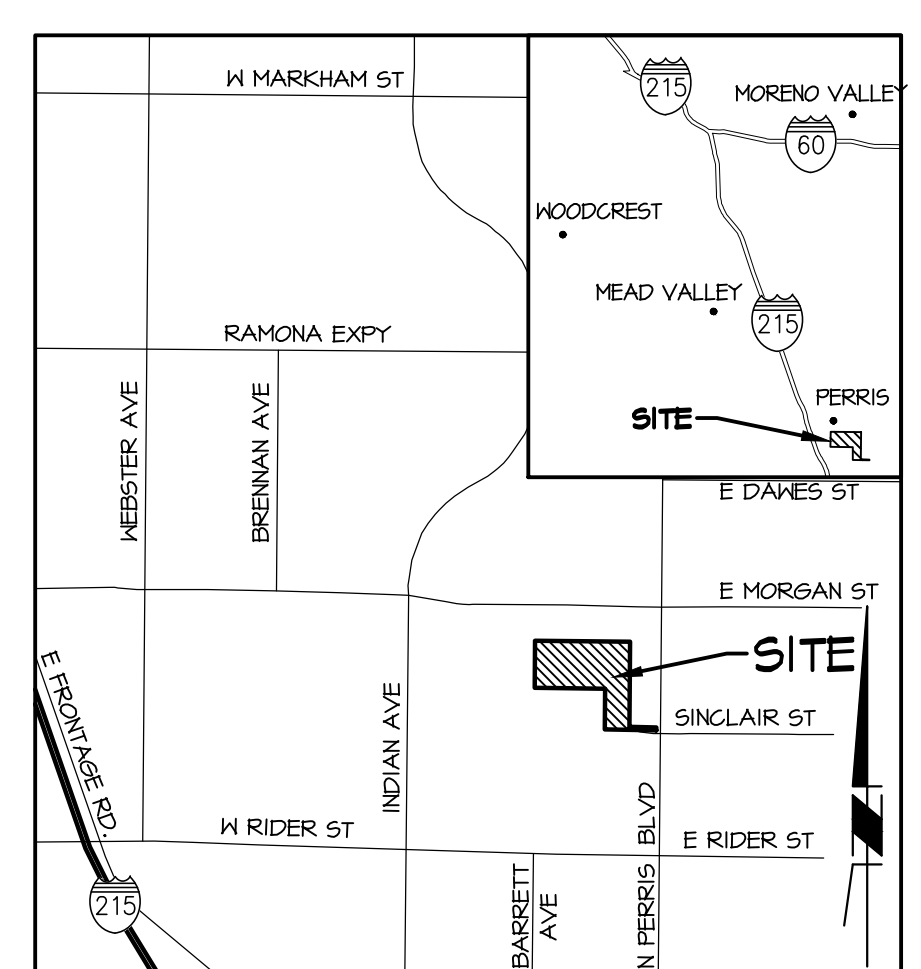
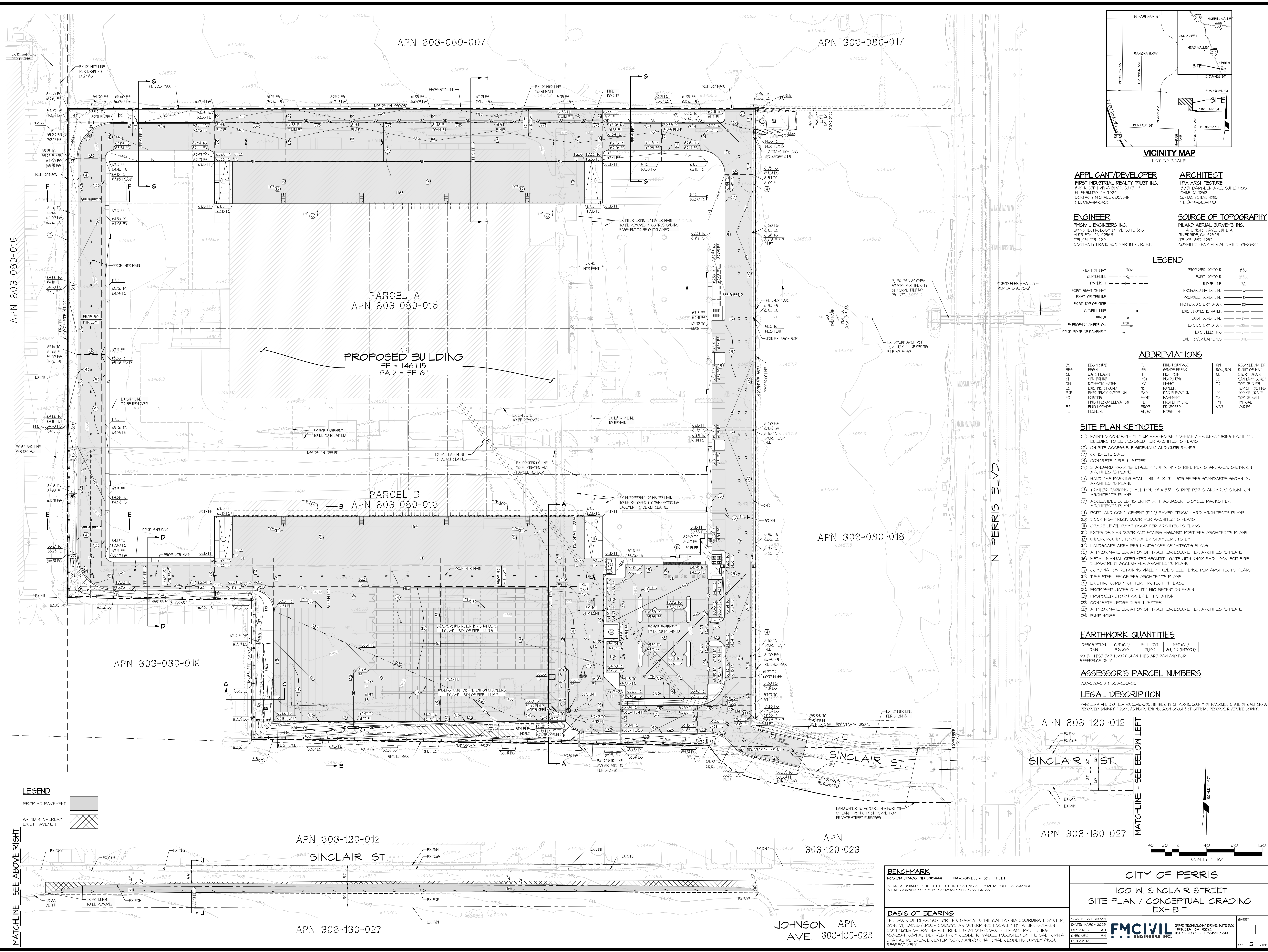
WUCOLS PLANT FACTOR
 THIS PROJECT IS LOCATED IN 'WUCOLS' REGION '4-SOUTH INLAND VALLEY'.
 H = HIGH WATER NEEDS
 M = MODERATE WATER NEEDS
 L = LOW WATER NEEDS
 VL = VERY LOW WATER NEEDS



**CONCEPTUAL LANDSCAPE PLAN
 100 W SINCLAIR STREET**

PERRIS, CA

DATE: 01-08-25



APPLICANT/DEVELOPER
 FIRST INDUSTRIAL REALTY TRUST INC.
 840 N. SEPULVEDA BLVD, SUITE 175
 EL SEBINO, CA 92545
 CONTACT: MICHAEL GOODWIN
 (TEL) 951-414-5400

ARCHITECT
 HPA ARCHITECTURE
 10431 BARDEEN AVE, SUITE #100
 IRVINE, CA 92618
 CONTACT: STEVE HONG
 (TEL) 949-663-1170

ENGINEER
 FMCIVIL ENGINEERS INC.
 2485 TECHNOLOGY DRIVE, SUITE 306
 MURRIETA, CA 92563
 (TEL) 951-473-0201
 CONTACT: FRANCISCO MARTINEZ JR., P.E.

SOURCE OF TOPOGRAPHY
 INLAND AERIAL SURVEYS, INC.
 1111 ARLINGTON AVE., SUITE A
 RIVERSIDE, CA 92503
 (TEL) 951-681-4252
 COMPILED FROM AERIAL DATED: 01-21-22

LEGEND

RIGHT OF WAY	--- 40' ---	PROPOSED CONTOUR	--- 0.50 ---
CENTERLINE	--- 4" ---	EXIST. CONTOUR	--- 0.50 ---
DATUM	--- 4" ---	PROPOSED RIDGE LINE	--- 0.50 ---
EXIST. RIGHT OF WAY	--- 4" ---	PROPOSED WATER LINE	--- 0.50 ---
EXIST. CENTERLINE	--- 4" ---	PROPOSED SEWER LINE	--- 0.50 ---
EXIST. TOP OF CURB	--- 4" ---	PROPOSED STORM DRAIN	--- 0.50 ---
CUT/FILL LINE	--- 4" ---	EXIST. DOMESTIC WATER	--- 0.50 ---
FENCE	--- 4" ---	EXIST. SEWER LINE	--- 0.50 ---
EMERGENCY OVERFLOW	--- 4" ---	EXIST. STORM DRAIN	--- 0.50 ---
PROP. EDGE OF PAVEMENT	--- 4" ---	EXIST. ELECTRIC	--- 0.50 ---
		EXIST. OVERHEAD LINES	--- 0.50 ---

ABBREVIATIONS

BC	BEGIN CURB	FS	FINISH SURFACE	DM	RECYCLE WATER
BEG	BEGIN	GB	GRADE BREAK	ROK RM	RIGHT-OF-WAY
CB	CATCH BASIN	HP	HIGH POINT	SD	STORM DRAIN
CL	CENTERLINE	INS	INSTRUMENT	SS	SANITARY SEWER
DN	DOMESTIC WATER	INV	INVERT	TC	TOP OF CURB
EG	EXISTING GROUND	NUM	NUMBER	TF	TOP OF FOOTING
EF	EMERGENCY OVERFLOW	PAD	PAD ELEVATION	TG	TOP OF GRADE
EX	EXISTING	PMT	PAVEMENT	TH	TOP OF WALL
FF	FINISH FLOOR ELEVATION	PL	PROPERTY LINE	TYP	TYPICAL
FG	FINISH GRADE	RL	RIDGE LINE	VAR	VARIABLE
FL	FLOWLINE				

- SITE PLAN KEYNOTES**
- PAINTED CONCRETE TILT-UP WAREHOUSE / OFFICE / MANUFACTURING FACILITY. BUILDING TO BE DESIGNED PER ARCHITECT'S PLANS
 - ON SITE ACCESSIBLE SIDEWALK AND CURB RAMPS
 - CONCRETE CURB
 - CONCRETE CURB & GUTTER
 - STANDARD PARKING STALL MIN. 9' X 18' - STRIPE PER STANDARDS SHOWN ON ARCHITECT'S PLANS
 - HANDICAP PARKING STALL MIN. 9' X 18' - STRIPE PER STANDARDS SHOWN ON ARCHITECT'S PLANS
 - TRAILER PARKING STALL MIN. 10' X 53' - STRIPE PER STANDARDS SHOWN ON ARCHITECT'S PLANS
 - ACCESSIBLE BUILDING ENTRY WITH ADJACENT BICYCLE RACKS PER ARCHITECT'S PLANS
 - PORTLAND CONC. CEMENT (PCG) PAVED TRUCK YARD ARCHITECT'S PLANS
 - DOCK HIGH TRUCK DOOR PER ARCHITECT'S PLANS
 - GRADE LEVEL RAMP DOOR PER ARCHITECT'S PLANS
 - EXTERIOR MAN DOOR AND STAIRS W/ GUARD POST PER ARCHITECT'S PLANS
 - UNDERGROUND STORM WATER CHAMBER SYSTEM
 - LANDSCAPE AREA PER LANDSCAPE ARCHITECT'S PLANS
 - APPROXIMATE LOCATION OF TRASH ENCLOSURE PER ARCHITECT'S PLANS
 - METAL MANUAL OPERATED SECURITY GATE WITH KNOX-PAD LOCK FOR FIRE DEPARTMENT ACCESS PER ARCHITECT'S PLANS
 - COMBINATION RETAINING WALL & TUBE STEEL FENCE PER ARCHITECT'S PLANS
 - EXISTING CURB & GUTTER, PROTECT IN PLACE
 - PROPOSED WATER QUALITY BIO-RETENTION BASIN
 - PROPOSED STORM WATER LIFT STATION
 - CONCRETE HEDGE CURB & GUTTER
 - APPROXIMATE LOCATION OF TRASH ENCLOSURE PER ARCHITECT'S PLANS
 - PUMP HOUSE

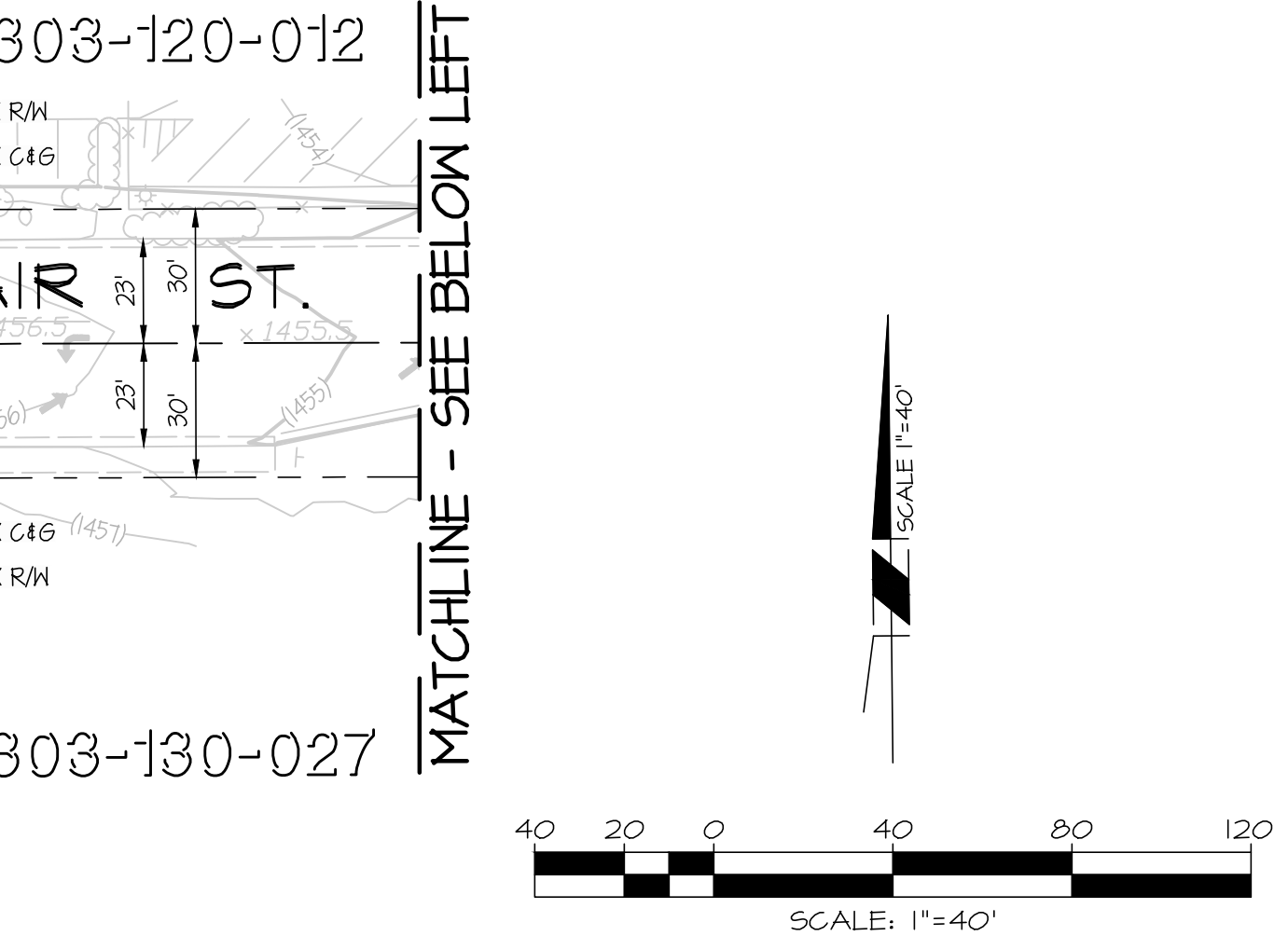
EARTHWORK QUANTITIES

DESCRIPTION	CUT (CY)	FILL (CY)	NET (CY)
RAW	52,000	121,000	69,000 (IMPORT)

NOTE: THESE EARTHWORK QUANTITIES ARE RAW AND FOR REFERENCE ONLY.

ASSESSOR'S PARCEL NUMBERS
 303-080-018 & 303-080-015

LEGAL DESCRIPTION
 PARCELS A AND B OF LLA NO. 08-10-000 IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED JANUARY 1, 2004, AS INSTRUMENT NO. 2004-000613 OF OFFICIAL RECORDS, RIVERSIDE COUNTY.



LEGEND

PROP AC PAVEMENT	[Pattern]
GRIND & OVERLAY EXIST PAVEMENT	[Pattern]

MATCHLINE - SEE ABOVE RIGHT

BENCHMARK
 N65 BM 4436 PPD D3444 NAVD83 EL. = 1551.11 FEET
 3-1/4" ALUMINUM DISK SET FLUSH IN FOOTING OF POWER POLE TOWER 705640201 AT NE CORNER OF CAJALCO ROAD AND SEATON AVE.

BASIS OF BEARING
 THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, ZONE 10, NAD83 (BROUGHT 2010.00) AS DETERMINED LOCALLY BY A LINE BETWEEN CONTINUOUS OPERATING REFERENCE STATIONS (CORS) MURP AND PRSB, BEING NS3-20-17639 AS DERIVED FROM GEODETIC VALUES PUBLISHED BY THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC) AND/OR NATIONAL GEODETIC SURVEY (NGS), RESPECTIVELY.

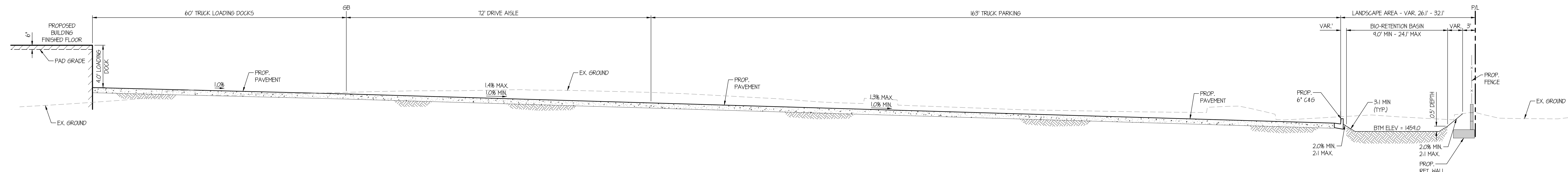
SCALE: AS SHOWN
 DATE: MAR 2022
 DESIGNED: [Name]
 CHECKED: [Name]
 P.L.N. C.K. REF.

CITY OF PERRIS
 100 W. SINCLAIR STREET
 SITE PLAN / CONCEPTUAL GRADING EXHIBIT

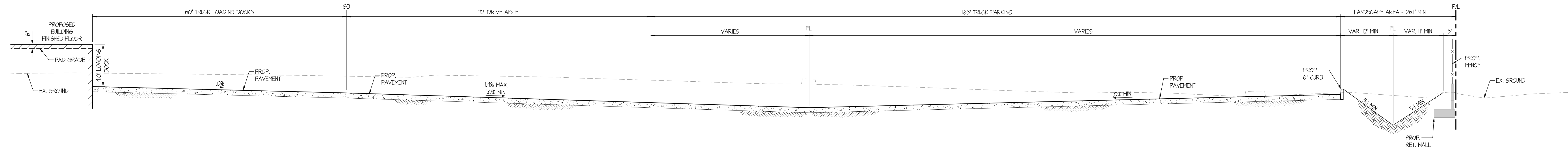
FMCIVIL ENGINEERS INC.
 2485 TECHNOLOGY DRIVE, SUITE 306
 MURRIETA, CA 92563
 (TEL) 951-473-0201

JOHNSON APN 303-130-028 AVE. 303-130-028

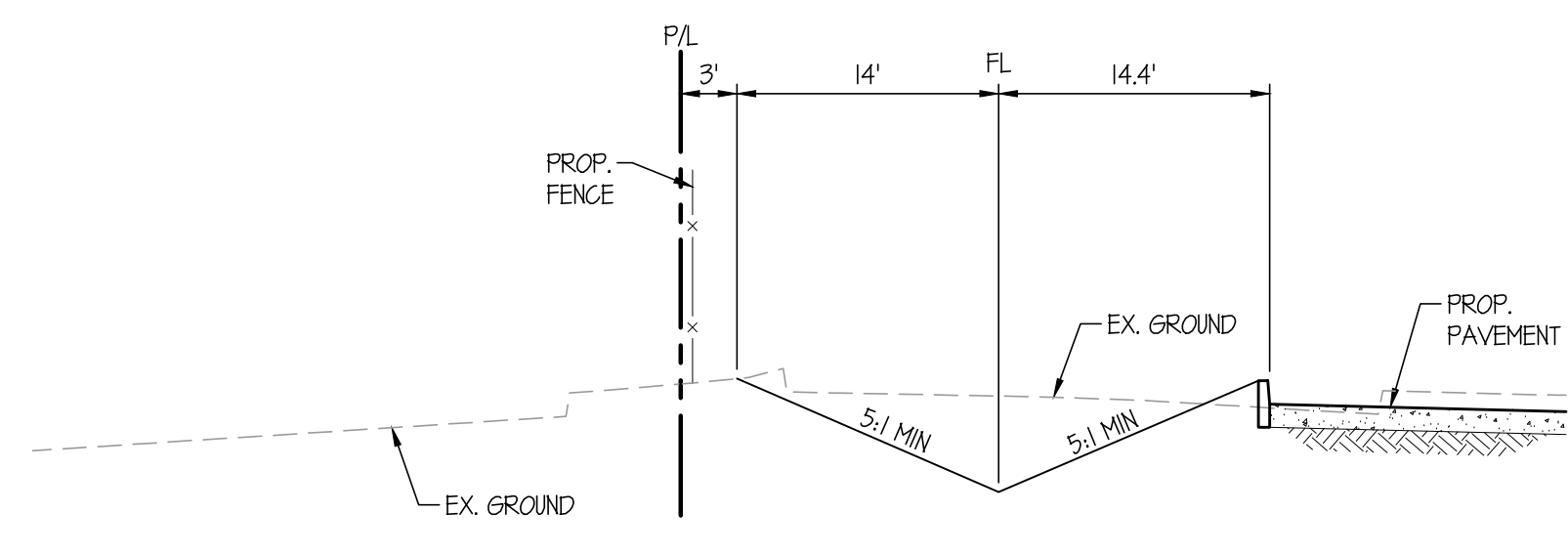
SHEET 1 OF 2 SHEETS



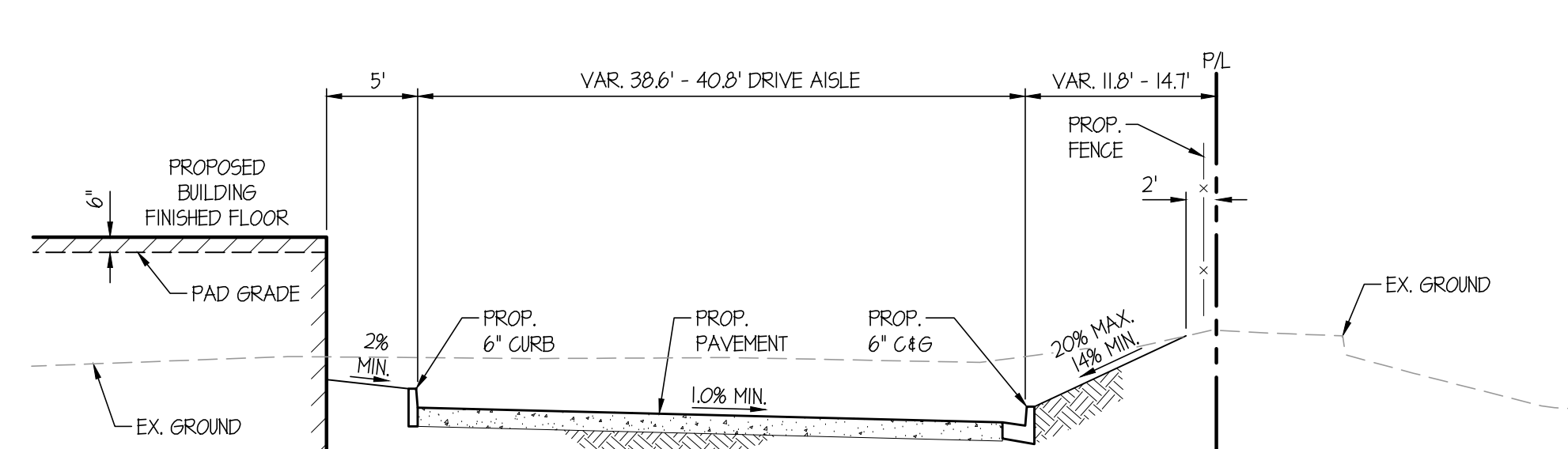
SECTION A-A
N.T.S.



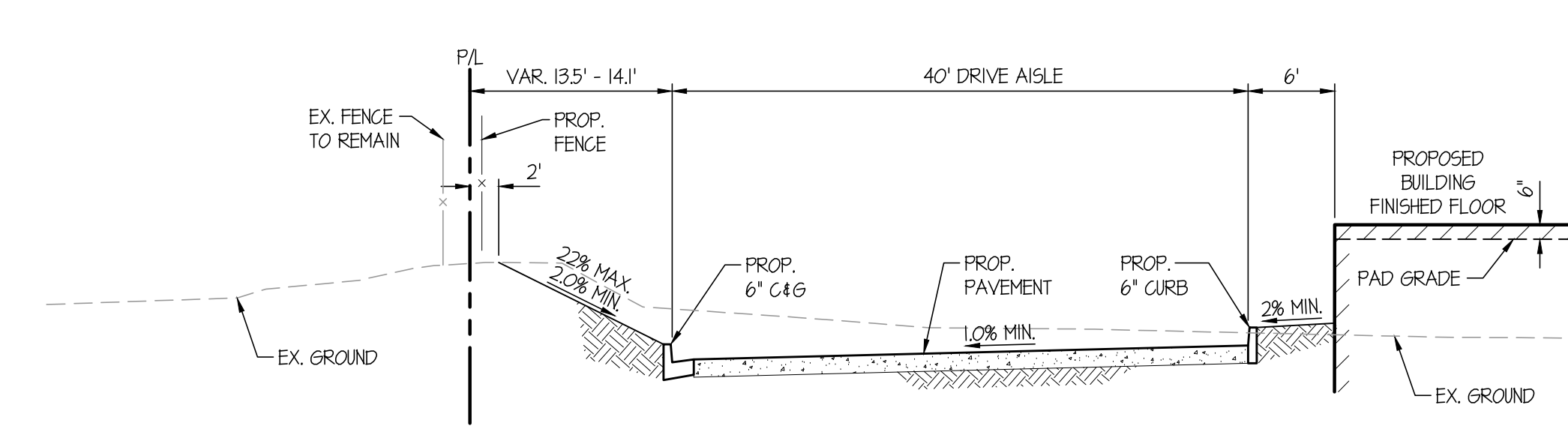
SECTION B-B
N.T.S.



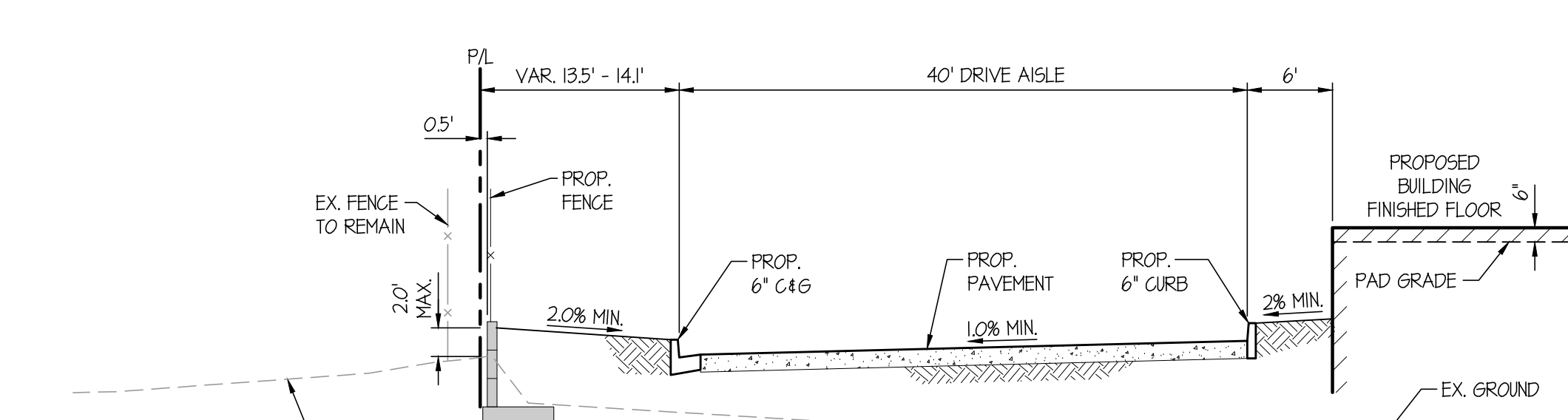
SECTION C-C
N.T.S.



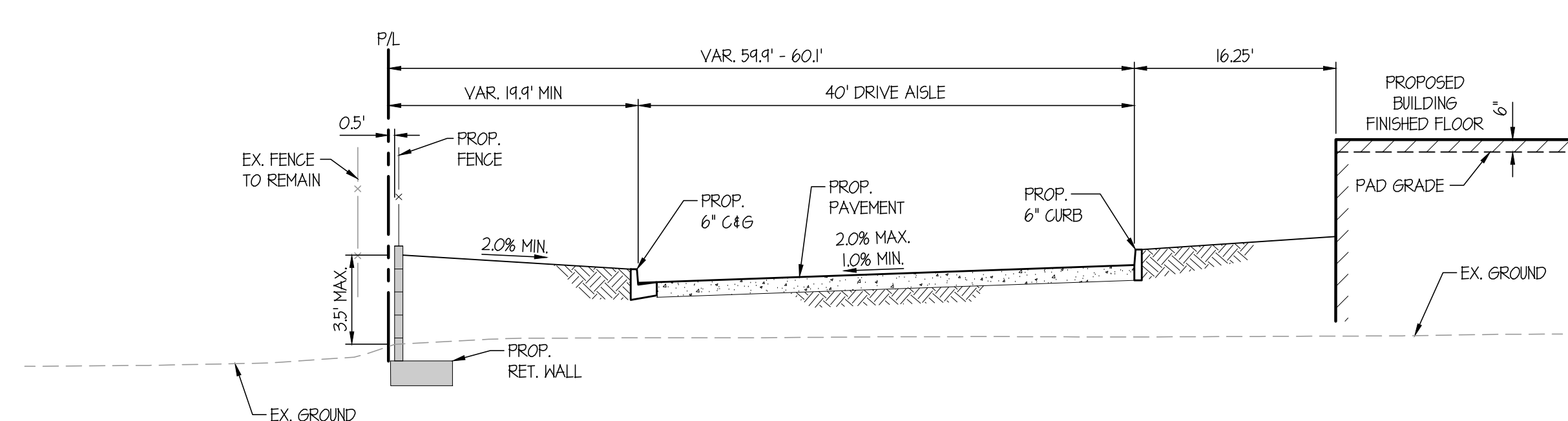
SECTION D-D
N.T.S.



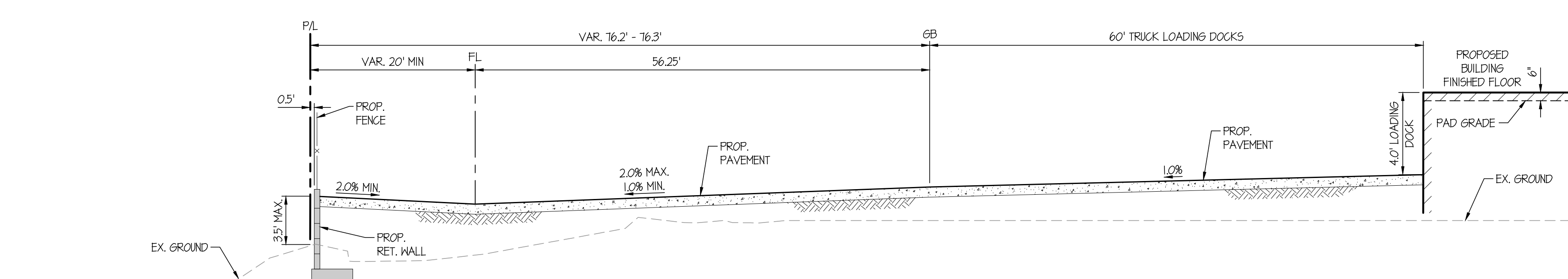
SECTION E-E
N.T.S.



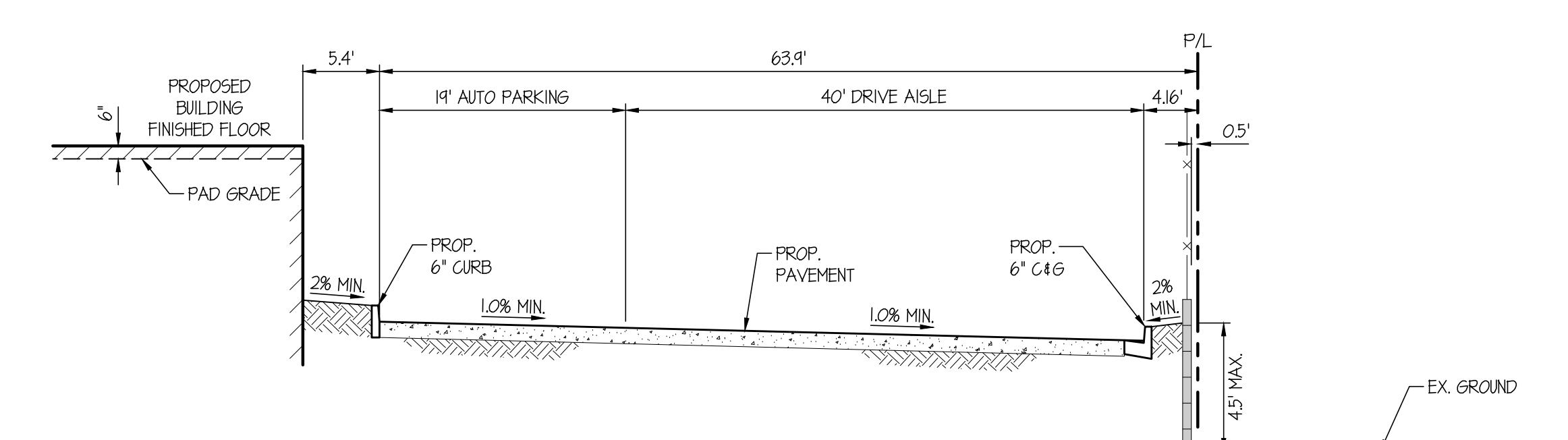
SECTION F-F
N.T.S.



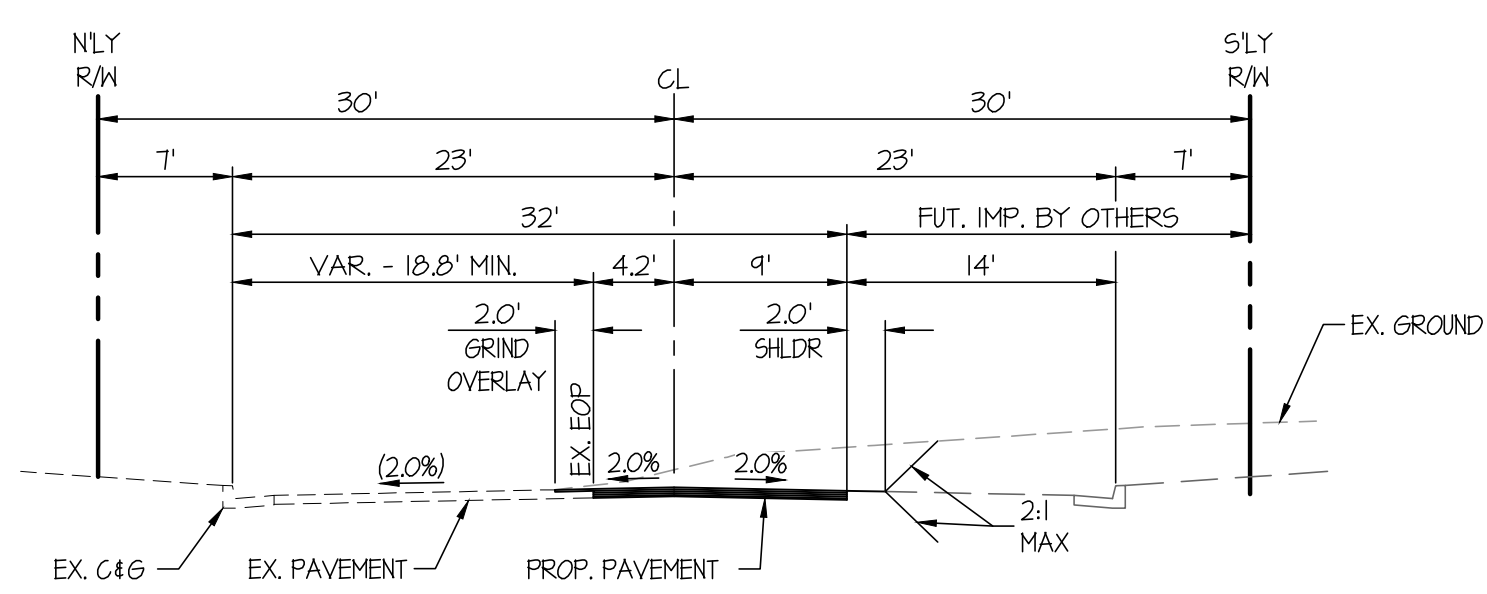
SECTION G-G
N.T.S.



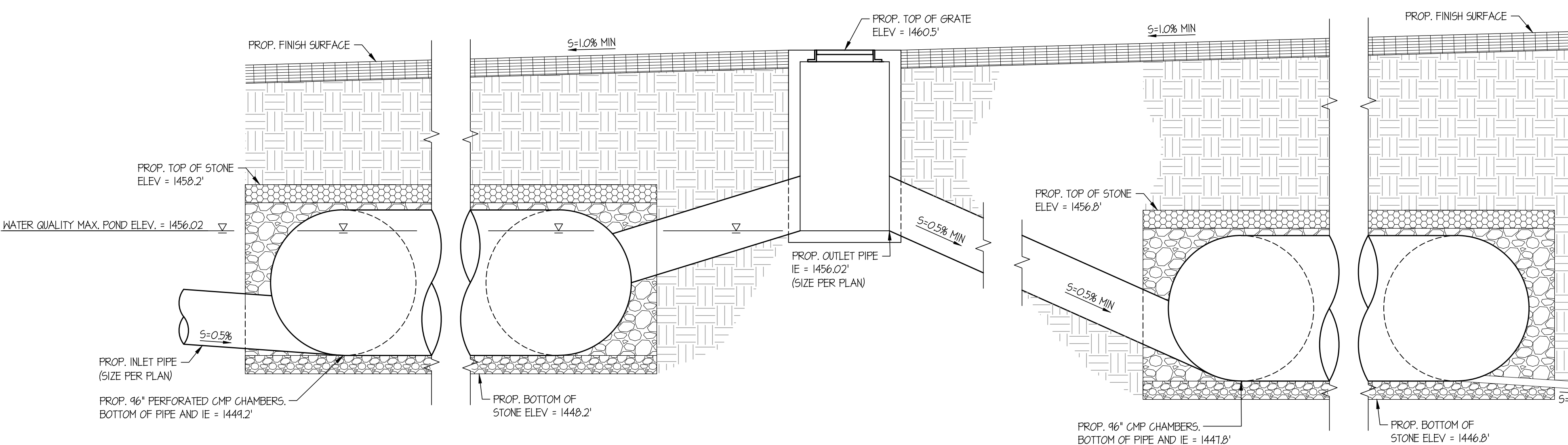
SECTION H-H
N.T.S.



SECTION I-I
N.T.S.



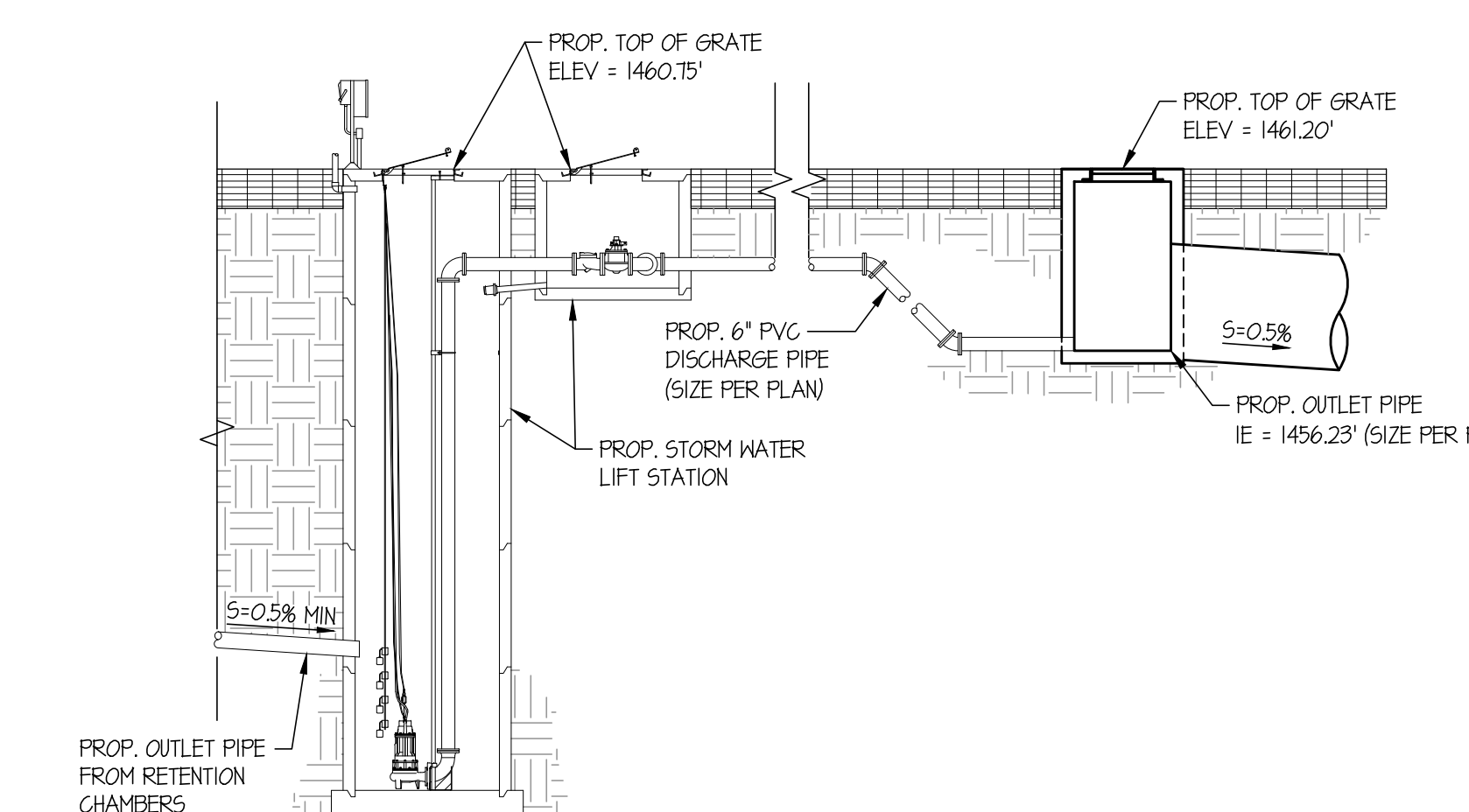
SECTION J-J - SINCLAIR STREET
HOR. SCALE: 1"=10'



BIO-RETENTION CHAMBERS

RETENTION CHAMBERS

UNDERGROUND CHAMBERS DETAIL
N.T.S.



STORM WATER LIFT STATION OUTLET DETAIL
N.T.S.

BENCHMARK
N65 BM 4436 PVD D35444 NAVD83 EL. = 1571.17 FEET
3-1/4" ALUMINUM DISK SET FLUSH IN FOOTING OF POWER POLE T05640/01 AT NE CORNER OF CAJALCO ROAD AND SEATON AVE.

BASIS OF BEARING
THE BASIS OF BEARING FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, ZONE 10, NAD83 (BPOD 2010.00) AS DETERMINED LOCALLY BY A LINE BETWEEN CONTIGUOUS OPERATING REFERENCE STATIONS (CORS) MLEP1 AND PRRF1 BEING N53-20-17.63N AS DERIVED FROM GEODETIC VALUES PUBLISHED BY THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC) AND/OR NATIONAL GEODETIC SURVEY (NGS), RESPECTIVELY.

CITY OF PERRIS
100 W. SINCLAIR STREET
SITE PLAN / CONCEPTUAL GRADING
TYPICAL SECTIONS

SCALE: AS SHOWN
DATE: MAR 2022
DESIGNED: AJ
CHECKED: PM
PLN CK REF.

FM CIVIL ENGINEERS INC.
2885 TECHNOLOGY DRIVE, SUITE 306
HARRIETT, CA 92563
951.351.4619 - FMCIVIL.COM

SHEET **2**
OF 2 SHEETS