

KAKKAR FAMILY 98 BUSINESS PARK DRIVE

PERRIS, CA



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PERRIS, CA

PROJECT
5TH PLANNING SUBMITTAL



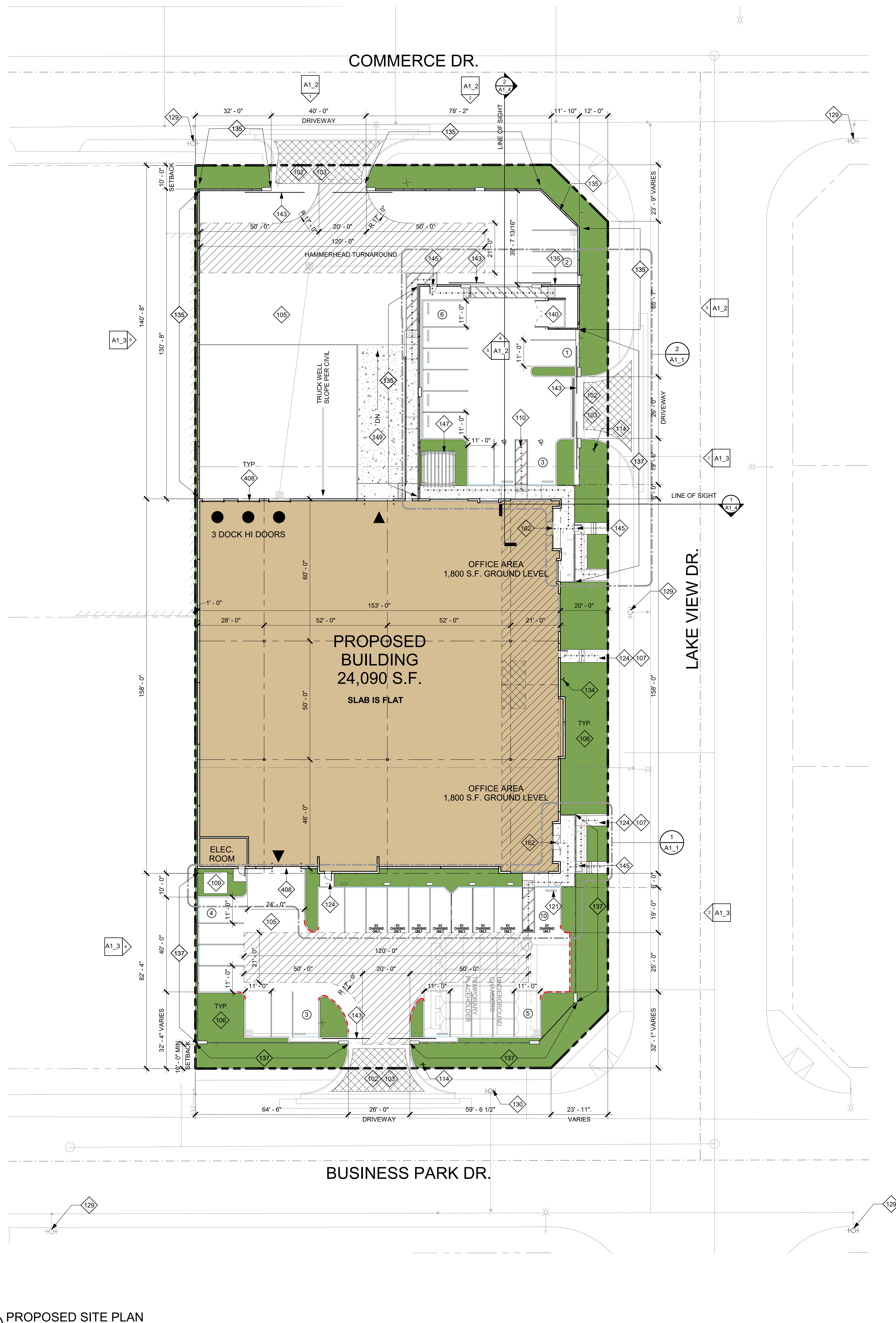
HERDMAN
ARCHITECTURE + DESIGN

A21-2109
10.31.2023

TITLE SHEET

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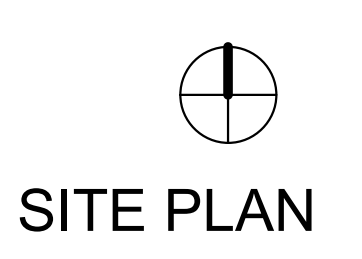
1 PROPOSED SITE PLAN
1" = 20'-0"

| FIRE DEPARTMENT GENERAL NOTES | DEVELOPER/OWNER | KEYNOTES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|--|--|------------------------|-------|----------|------|--------------------|--------------------|--------------|----------|-------|------|---------------|-----------|---------------|--------------|----------|----------|-----|-------|------|------|--------------|--|-----------|----------|--------|---------|---------------------|----------|--------------------------|--|-----------|----------|--------|---------|---------------------|----------|----------|------------------------|---------------------------|------------------------|----------|-----|----------|-------|--------------|---------------|--------------------|--------------|--------|---------|-----|----|-----------|----------|------|----|-------|----------|--|----|------------|-----------------|-----------------|----|----------------------------|---|-----------------------|---|-----------------------------|---|---------------------------------|---|---|---|--|---|-------|----|------------|-----------------|----------------|----|---------------------------|---|----------------------|---|-----------------------------|---|---------------------------------|---|---|---|--|---|-------|----|
| <p>1. ACCESS TO ALL PORTIONS OF THE BUILDING MUST BE WITHIN 150' OF THE AVAILABLE FIRE DEPARTMENT ACCESS.</p> <p>2. THE MAXIMUM LENGTH OF THE REQUIRED FIRE DEPARTMENT ACCESS ROADWAY WITHOUT AN APPROVED TURN AROUND MUST NOT EXCEED 150'.</p> <p>3. THE MINIMUM WIDTH OF THE FIRE ACCESS ROADWAY IS 20 FEET. IF A CENTER MEDIAN IS INCLUDED, THE REQUIRED WIDTH SHALL BE PROVIDED ON BOTH SIDES OF THE MEDIAN.</p> <p>4. FIRE ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13'-6".</p> <p>6. FIRE ACCESS ROADWAYS SHALL BE DESIGNED, CONSTRUCTED, AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF PERRIS FIRE APPARATUS WITH A TOTAL WEIGHT OF 75,000 POUNDS. APPARATUS WEIGHT IS DISTRIBUTED AS 50,000 POUNDS ON TANDEM REAR AXLES AND 25,000 POUNDS ON THE FRONT AXLE. THE SURFACE SHALL BE DESIGNED, CONSTRUCTED, AND MAINTAINED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. A LETTER OR STATEMENT, WET-STAMPED AND SIGNED BY A REGISTERED ENGINEER, SHALL BE PROVIDED ON THE PLANS CERTIFYING THAT ANY NEW ROADWAY MEETS THE 75,000-POUND, ALL-WEATHER REQUIREMENT. ROADWAYS WITHOUT AN APPROPRIATE TOPPING OR BINDING MATERIAL DOES NOT SATISFY THE ALL-WEATHER REQUIREMENT.</p> <p>7. THE MAXIMUM GRADE OF THE DRIVING SURFACE SHALL NOT EXCEED 10% OR 5.7 DEGREES. CROSS-SLOPE SHALL NOT BE GREATER THAN 2% FOR PAVED ACCESS ROADWAYS.</p> <p>8. THE ANGLE OF DEPARTURE AND APPROACH SHALL NOT EXCEED 9-DEGREES OR 20%.</p> <p>9. GATES STANDARDS: A. WHEN FULLY OPEN, THE MINIMUM WIDTH SHALL BE 20 FEET. B. GATES ON ACCESS ROADS DESIGNATED "EMERGENCY SERVICES USE ONLY" MAY BE MANUALLY OPERATED. C. GATES ON COMMERCIAL/INDUSTRIAL FACILITIES MAY BE MANUALLY OPERATED.</p> <p>10. KNOX BOXES ARE REQUIRED FOR ALL GATES AND SHALL BE APPROVED BY THE FIRE MARSHALL AND ISSUED BY THE BUILDING DIVISION. AT ELECTRICALLY OPERATED GATES AND BARRIERS THE GATE CONTROL FOR ELECTRONIC GATES SHALL BE OPERABLE BY A KNOX EMERGENCY OVERRIDE KEY SWITCH (WITH DUST COVER). THE KEY SWITCH SHALL BE PLACED BETWEEN 42" AND 48" ABOVE THE ROADWAY SURFACE AT THE RIGHT SIDE OF THE ACCESS GATE WITHIN TWO FEET OF THE EDGE OF THE ROADWAY. THE KEY SWITCH SHALL BE READILY VISIBLE AND UNOBSTRUCTED FROM THE FIRE LANE LEADING TO THE GATE. THE KEY SWITCH SHALL BE CLEARLY LABELED "FIRE DEPT."</p> <p>11. NO PARKING IS PERMITTED ON ROADWAYS THAT ARE NARROWER THAN 28 FEET IN WIDTH. PARKING ON ONE SIDE PERMITTED ON A ROADWAY THAT IS AT LEAST 28 FEET BUT LESS THAN 36 FEET IN WIDTH. PARKING ON TWO SIDES IS PERMITTED ON A ROADWAY 36 FEET OR MORE IN WIDTH. THESE RESTRICTIONS APPLY TO ALL ROADS SERVING AS FIRE LANES.</p> <p>12. AREAS DESIGNATED AS A FIRE LANE REQUIRE AN ACCEPTABLE METHOD OF MARKING THAT SHALL BE APPROVED PRIOR TO INSTALLATION. CHOOSE EITHER OPTION 1 OR OPTION 2 BELOW: 1. SPECIFIC AREAS DESIGNATED AS FIRE LANES MUST BE MARKED WITH RED CURBS MEETING THE SPECIFICATIONS IN ATTACHMENT 10. IN ADDITION, WHERE THE NUMBER OF ENTRANCES INTO THE AREA MARKED WITH FIRE LANES IS LIMITED, ALL SUCH VEHICLE ENTRANCES TO THE DESIGNATED AREA SHALL BE POSTED WITH APPROVED FIRE LANE ENTRANCE SIGNS MEETING THE SPECIFICATION IN ATTACHMENT 10. THIS OPTION IS PREFERRED BY THE OFM. 2. IF FIRE LANE NO PARKING SIGNS MEETING THE SPECIFICATIONS IN ATTACHMENT 11 SHALL BE POSTED IMMEDIATELY ADJACENT TO EACH DESIGNATED FIRE LANE AND AT INTERVALS NOT TO EXCEED 50 FEET. SEE ATTACHMENT 12. IN ADDITION, WHERE THE NUMBER OF ENTRANCES INTO THE AREA MARKED WITH FIRE LANES IS LIMITED, ALL SUCH VEHICLE ENTRANCES TO THE DESIGNATED AREA SHALL BE POSTED WITH APPROVED FIRE LANE ENTRANCE SIGNS.</p> <p>NOTE: ALL ALTERNATIVE SIGNS MUST BE APPROVED THROUGH THE OFFICE OF THE FIRE MARSHAL, CITY OF PERRIS AND BY THE CITY ENGINEER AND/OR POLICE AGENCY, AS APPLICABLE.</p> <p>13. ELECTRICAL GATE OPERATION EQUIPMENT SHALL COMPLY WITH UL 325, AND BE DESIGNED. 14. IN THE EVENT OF LOSS OF NORMAL POWER TO THE GATE OPERATING MECHANISM, IT SHALL BE AUTOMATICALLY TRANSFERRED TO A FALL-SAFE MODEL ALLOWING THE GATE TO BE PUSHED OPEN BY A SINGLE FIREFIGHTER WITHOUT ANY OTHER ACTIONS. KNOWLEDGE OR MANIPULATION OF THE OPERATING MECHANISM BEING NECESSARY AND WITHOUT THE USE OF BATTERY BACK-UP POWER. SHOULD THE GATE BE TOO LARGE OR HEAVY FOR A SINGLE FIREFIGHTER TO OPEN MANUALLY, A SECONDARY SOURCE OF POWER BY MEANS OF AN EMERGENCY GENERATOR OR A CAPACITOR WITH ENOUGH RESERVE TO AUTOMATICALLY AND IMMEDIATELY OPEN THE GATE UPON LOSS OF PRIMARY POWER SHALL BE PROVIDED.</p> <p>15. THE GATE CONTROL FOR ELECTRONIC GATES SHALL BE OPERABLE BY A KNOX EMERGENCY OVERRIDE KEY SWITCH (WITH DUST COVER). THE KEY SWITCH SHALL BE PLACED BETWEEN 42" AND 48" ABOVE THE ROADWAY SURFACE AT THE RIGHT SIDE OF THE ACCESS GATE WITHIN TWO FEET OF THE EDGE OF THE ROADWAY. THE KEY SWITCH SHALL BE READILY VISIBLE AND UNOBSTRUCTED FROM THE FIRE LANE LEADING TO THE GATE. THE KEY SWITCH SHALL BE CLEARLY LABELED "FIRE DEPT."</p> <p>16. UPON ACTIVATION OF THE KEY SWITCH, THE GATE SHALL OPEN AND REMAIN OPEN UNTIL RETURNED TO NORMAL OPERATION BY MEANS OF THE KEY SWITCH. WHERE A GATE CONSISTS OF TWO LEAVES, THE KEY SWITCH SHALL OPEN BOTH SIMULTANEOUSLY IF OPERATION OF A SINGLE LEAF ON THE INGRESS SIDE DOES NOT PROVIDE FOR THE WIDTH, TURN RADIUS, OR SETBACKS NECESSARY FOR FIRE APPARATUS TO NAVIGATE THE VEHICLE ENTRY POINT.</p> <p>17. THE KEY SWITCH SHALL BE LABELED WITH A PERMANENT RED SIGN WITH NOT LESS THAN 1/2" CONTRASTING LETTERS READING "FIRE DEPT OR WITH "KNOX" DECAL.</p> <p>18. FIRE HYDRANTS SHALL CONSIST OF A MINIMUM 6" BARREL WITH ONE 2-1/2" OUTLET AND A 4" OUTLET.</p> | <p>CONTACT: NIRMAL KAKKAR ADDRESS: 18 BENTLEY RD, COTO DE CAZA, CA 92679 PHONE: 510.468.5502 EMAIL: NKAKKAR@SANDATASYSTEM.COM</p> <p>APPLICANT'S REPRESENTATIVE/ARCHITECT HERDMAN ARCHITECTURE & DESIGN, INC. 100 BAYVIEW CIRCLE SUITE 100 NEWPORT BEACH, CA 92660 CONTACT: BRIDGET HERDMAN PHONE: 714.389.2800 EMAIL: BRIDGET@HERDMAN-AD.COM</p> <p>SCOPE OF WORK CONSTRUCT NEW ONE STORY + MEZZANINE CONCRETE TILT-UP WAREHOUSE/DISTRIBUTION FACILITY WITH ELECTRICAL AND PLUMBING SERVICES, EXTERIOR LIGHTING, LANDSCAPING & IRRIGATION, TRASH ENCLOSURES, CONCRETE SCREEN WALLS, AND SLIDING SWINGING METAL GATES. FIRE SPRINKLERS AND GRADING PLANS TO BE A SEPARATE SUBMITTAL AND PERMIT</p> <p>LEGAL DESCRIPTION ASSESSOR'S PARCEL NO: 303-292-009, -008, -007 SEE SHEET C1 FOR LEGAL DESCRIPTION</p> <p>PROJECT INFORMATION & AREA ANALYSIS BUILDING ADDRESS: XXXX CONSTRUCTION TYPE: III-B OCCUPANCY: B / S-1 FIRE SPRINKLER: YES (ESFR NFPA 72, NFPA 13 & NFPA 24) MAX. HEIGHT: 50' ZONING: LI (LIGHT INDUSTRIAL) GENERAL PLAN: PUCV FEMA FLOOD ZONE: NO FLOOD ZONE BUILDING SETBACKS: FRONT SETBACK: 20' (SETBACK INCREASED 5' FOR EACH 10' OF BUILDING HEIGHT EXCEEDING 20' @ SETBACK) SIDE SETBACK: N/A (NON-RESIDENTIAL) STREET SETBACK: 20' (SETBACK INCREASED 5' FOR EACH 10' OF BUILDING HEIGHT EXCEEDING 20' @ SETBACK) REAR SETBACK: 30' (LOADING/UNLOADING ACTIVITIES) ALLOWABLE AREA: UNLIMITED AREA PER CBC 507 OR X SF PER TABLE 506.2</p> <p>SHEET INDEX A0 TITLE SHEET A1 SITE PLAN A1.1 SITE DETAILS A1.2 SITE DETAILS A1.3 SITE DETAILS A1.4 SITE DETAILS A1.5 FIRE ACCESS PLAN A2 GROUND LEVEL FLOOR PLANS A2.1 ENLARGED OFFICE FLOOR PLANS A4 EXTERIOR ELEVATIONS A5 COLOR BOARD C1 PRELIMINARY GRADING PLAN C2 PRELIMINARY GRADING PLAN - SECTIONS C3 PRELIMINARY GRADING PLAN - TRUCK TURN EXHIBIT L1 CONCEPTUAL LANDSCAPE PLAN FC-1.0 PHOTOMETRIC LIGHTING SITE PLAN</p> <p>SITE PLAN GENERAL NOTES 1. THE SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS. 2. GENERAL CONTRACTOR TO REVIEW THE SOILS REPORT AND ALL AMENDMENTS LISTED ON THE TITLE SHEET AND FOLLOW ALL RECOMMENDATIONS. 3. U.O.N.: ALL DIMENSIONS TO CONCRETE WALLS AND CURBS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL OR CURB. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER LINE OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR THE FACE OF THE WALL FINISH. 4. REFER TO CIVIL, AND MEP PLANS TO CONFIRM UTILITY INFORMATION SHOWN ON THE ARCHITECT'S SITE PLAN AND FOR ADDITIONAL UTILITY INFORMATION. GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION. 5. REFER TO CIVIL DRAWINGS FOR ALL FINISHED GRADES AND SLOPES. ALL FINISHED GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING. GENERAL CONTRACTOR TO FIELD VERIFY. 6. ALL ACCESSIBLE ROUTES IDENTIFIED ON THE SITE PLAN DRAWINGS SHALL CONFORM TO THE FOLLOWING: a) SLOPES IN THE DIRECTION OF TRAVEL DO NOT EXCEED 5%. CROSS SLOPES DO NOT EXCEED 2%. b) THE CLEAR WIDTH OF ALL WALKWAYS IS 4'-0" MIN. c) CHANGES IN LEVEL UP TO 1/2" COMPLY W/ 11/A0 2.1. CHANGES IN LEVEL GREATER THAN 1/2" IF THEY OCCUR ARE RAMPED. SEE PLANS. d) THE VERTICAL CLEARANCE ALONG THE ACCESSIBLE ROUTE IS 80" MIN. 7. ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY A MIN. 6" HIGH, 12" WIDE CONCRETE CURB U.O.N. 8. A CONCRETE MOW STRIP EXTENDING 12" BEYOND EACH END OF THE OPENING SHALL BE PROVIDED @ ALL EXTERIOR GLAZING WHERE THE SILL IS WITHIN 9" VERTICAL OF THE FINISHED GRADE. SEE 2/A01.1 9. PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY UTILITY COMPANIES AND OR FIRE AUTHORITIES AT ALL EXTERIOR ELECTRICAL EQUIPMENT AND FIRE PREVENTION DEVICES. IF PIPE BOLLARD PROTECTION POSTS ARE NOT PROVIDED BY UTILITY COMPANIES AND OR FIRE AUTHORITY SEE DETAIL 3/A01.1 10. ALL EXPOSED BIOTENSION DEVICE COVERINGS SHALL BE PAINTED FOREST GREEN. 11. WHERE OCCURS, GENERAL CONTRACTOR TO PROVIDE FLUID APPLIED DAMP PROOFING AT ALL RETAINING AND PLANTER WALLS WHERE THE SIDE OF THE WALL OPPOSITE THE SOIL SIDE IS EXPOSED TO VIEW AND ALL EXTERIOR WALLS WHERE THE ADJACENT FLOOR SLAB IS BELOW GRADE. SEE 0/A01.2 12. PROVIDE A HOSE BIB NEAR THE MAIN ENTRANCE AND IN THE TRASH ENCLOSURE. SEE PLAN FOR LOCATION.</p> | <p>102 PROPOSED DRIVEWAY, PER JURISDICTIONAL STANDARDS. 103 DECORATIVE PAVING, SEE LANDSCAPING DRAWINGS FOR ADDITIONAL INFORMATION. 105 CONCRETE PAVING. 106 @ SHADING, PROPOSED LANDSCAPING. SEE LANDSCAPE PLANS. 107 (N) SIDEWALK. 109 (N) TRANSFORMER LOCATION. 110 ACCESS AISLE FOR ACCESSIBLE PARKING STALL 5'-0" WIDE. 114 ACCESSIBLE PARKING SITE ENTRANCE SIGN. 121 PRECAST CONCRETE WHEEL STOP. 124 EXTERIOR CONCRETE LANDING. 129 (E) FIRE HYDRANT. 130 (N) FIRE HYDRANT. 134 FIRE DEPARTMENT CONNECTION (FDC). 135 CONCRETE TILT-UP SCREEN WALL, MIN HEIGHT 14'-0" ABOVE HIGHEST ADJACENT FINISHED GRADE. PAINT BOTH SIDES AND TOP OF WALL. SEE PLANS FOR COLOR SCHEDULE. 137 TUBE STEEL FENCE, MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE. 140 TRASH ENCLOSURE W/ ROOF COVERING. 143 PAINTED STEEL ROLLING GATE(S), MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE OR AS SHOWN ON EXTERIOR ELEVATIONS. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY. 145 PAINTED STEEL SWINGING PEDESTRIAN GATE. WHEN OCCURS IN TUBE STEEL FENCE, ALIGN TOP W/ FENCE HEIGHT. WHEN OCCURS IN CONCRETE SCREEN WALL, U.O.N. ALIGN TOP W/ SCREEN WALL. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY. 147 EMPLOYEE BREAK AREA. 149 CONCRETE TRUCK RAMP W/ 42" HIGH CONCRETE TILT-UP GUARD ON OPEN SIDE(S). PAINT ALL SIDES OF GUARD WALLS AND HANDRAILS. SEE ARCHITECTURAL DRAWINGS FOR COLOR SCHEDULE. 162 ACCESSIBLE BUILDING ENTRANCE. 168 STEEL SECTIONAL OVERHEAD DOOR.</p> <p>LOT AREA</p> <table border="1"> <thead> <tr> <th>SQUARE FOOTAGE</th> <th>ACRES</th> </tr> </thead> <tbody> <tr> <td>65721 SF</td> <td>1.51</td> </tr> </tbody> </table> <p>LOT COVERAGE</p> <table border="1"> <thead> <tr> <th>LOT SQUARE FOOTAGE</th> <th>BUILDING FOOTPRINT</th> <th>LOT COVERAGE</th> </tr> </thead> <tbody> <tr> <td>65721 SF</td> <td>24090</td> <td>33.7</td> </tr> </tbody> </table> <p>FLOOR AREA RATIO</p> <table border="1"> <thead> <tr> <th>BUILDING AREA</th> <th>SITE AREA</th> <th>FAR ALLOWABLE</th> <th>FAR PROVIDED</th> </tr> </thead> <tbody> <tr> <td>24090 SF</td> <td>65721 SF</td> <td>75%</td> <td>36.7%</td> </tr> </tbody> </table> <p>BUILDING AREA SUMMARY</p> <table border="1"> <thead> <tr> <th>NAME</th> <th>AREA</th> </tr> </thead> <tbody> <tr> <td>GROUND FLOOR</td> <td></td> </tr> <tr> <td>WAREHOUSE</td> <td>20490 SF</td> </tr> <tr> <td>OFFICE</td> <td>3600 SF</td> </tr> <tr> <td>EMPLOYEE BREAK AREA</td> <td>24090 SF</td> </tr> <tr> <td>GROUND LEVEL + MEZZANINE</td> <td></td> </tr> <tr> <td>WAREHOUSE</td> <td>20490 SF</td> </tr> <tr> <td>OFFICE</td> <td>3600 SF</td> </tr> <tr> <td>TOTAL BUILDING AREA</td> <td>24090 SF</td> </tr> </tbody> </table> <p>LANDSCAPE AREA SUMMARY</p> <table border="1"> <thead> <tr> <th>LOT AREA</th> <th>% LANDSCAPING REQUIRED</th> <th>AREA LANDSCAPING PROVIDED</th> <th>% LANDSCAPING PROVIDED</th> </tr> </thead> <tbody> <tr> <td>65721 SF</td> <td>12%</td> <td>12100 SF</td> <td>18.4%</td> </tr> </tbody> </table> <p>TOTAL PARKING REQUIRED</p> <table border="1"> <thead> <tr> <th>BUILDING USE</th> <th>BUILDING AREA</th> <th>PARKING RATIO 1(X)</th> <th>REQ. 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SEE CIVIL DRAWINGS FOR PAVING SECTIONS FIRE HYDRANT. PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED. SEE 3/A01.1 STREET LIGHT INDICATES AN ACCESSIBLE ROUTE. MUST COMPLY W/ SITE PLAN GENERAL NOTE #6 PROPERTY LINE FIRE LANE RED CURBS DOCK HIGH DOOR DRIVE THRU. DOOR | SQUARE FOOTAGE | ACRES | 65721 SF | 1.51 | LOT SQUARE FOOTAGE | BUILDING FOOTPRINT | LOT COVERAGE | 65721 SF | 24090 | 33.7 | BUILDING AREA | SITE AREA | FAR ALLOWABLE | FAR PROVIDED | 24090 SF | 65721 SF | 75% | 36.7% | NAME | AREA | GROUND FLOOR | | WAREHOUSE | 20490 SF | OFFICE | 3600 SF | EMPLOYEE BREAK AREA | 24090 SF | GROUND LEVEL + MEZZANINE | | WAREHOUSE | 20490 SF | OFFICE | 3600 SF | TOTAL BUILDING AREA | 24090 SF | LOT AREA | % LANDSCAPING REQUIRED | AREA LANDSCAPING PROVIDED | % LANDSCAPING PROVIDED | 65721 SF | 12% | 12100 SF | 18.4% | BUILDING USE | BUILDING AREA | PARKING RATIO 1(X) | REQ. PARKING | OFFICE | 3600 SF | 300 | 12 | WAREHOUSE | 20490 SF | 1000 | 21 | TOTAL | 24090 SF | | 33 | SPACE TYPE | SPACES REQUIRED | STANDARD STALLS | 21 | STANDARD ACCESSIBLE STALLS | 1 | VAN ACCESSIBLE STALLS | 1 | EV CAPABLE STALL (w/o EVSE) | 2 | EVCS (EV CAPABLE STALL w/ EVSE) | 6 | STANDARD ACCESSIBLE EVCS (EV CAPABLE STALL w/ EVSE) | 1 | VAN ACCESSIBLE EVCS (EV CAPABLE STALL w/ EVSE) | 1 | TOTAL | 33 | SPACE TYPE | SPACES PROVIDED | STANDARD STALL | 21 | STANDARD ACCESSIBLE STALL | 1 | VAN ACCESSIBLE STALL | 1 | EV CAPABLE STALL (w/o EVSE) | 2 | EVCS (EV CAPABLE STALL w/ EVSE) | 6 | STANDARD ACCESSIBLE EVCS (EV CAPABLE STALL w/ EVSE) | 1 | VAN ACCESSIBLE EVCS (EV CAPABLE STALL w/ EVSE) | 1 | TOTAL | 33 |
| SQUARE FOOTAGE | ACRES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 65721 SF | 1.51 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LOT SQUARE FOOTAGE | BUILDING FOOTPRINT | LOT COVERAGE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 65721 SF | 24090 | 33.7 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BUILDING AREA | SITE AREA | FAR ALLOWABLE | FAR PROVIDED | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 24090 SF | 65721 SF | 75% | 36.7% | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| NAME | AREA | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| GROUND FLOOR | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| WAREHOUSE | 20490 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OFFICE | 3600 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| EMPLOYEE BREAK AREA | 24090 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| GROUND LEVEL + MEZZANINE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| WAREHOUSE | 20490 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OFFICE | 3600 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL BUILDING AREA | 24090 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LOT AREA | % LANDSCAPING REQUIRED | AREA LANDSCAPING PROVIDED | % LANDSCAPING PROVIDED | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 65721 SF | 12% | 12100 SF | 18.4% | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BUILDING USE | BUILDING AREA | PARKING RATIO 1(X) | REQ. PARKING | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OFFICE | 3600 SF | 300 | 12 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| WAREHOUSE | 20490 SF | 1000 | 21 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL | 24090 SF | | 33 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SPACE TYPE | SPACES REQUIRED | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| STANDARD STALLS | 21 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| STANDARD ACCESSIBLE STALLS | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| VAN ACCESSIBLE STALLS | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| EV CAPABLE STALL (w/o EVSE) | 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| EVCS (EV CAPABLE STALL w/ EVSE) | 6 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| STANDARD ACCESSIBLE EVCS (EV CAPABLE STALL w/ EVSE) | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| VAN ACCESSIBLE EVCS (EV CAPABLE STALL w/ EVSE) | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL | 33 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SPACE TYPE | SPACES PROVIDED | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| STANDARD STALL | 21 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| STANDARD ACCESSIBLE STALL | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| VAN ACCESSIBLE STALL | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| EV CAPABLE STALL (w/o EVSE) | 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| EVCS (EV CAPABLE STALL w/ EVSE) | 6 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| STANDARD ACCESSIBLE EVCS (EV CAPABLE STALL w/ EVSE) | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| VAN ACCESSIBLE EVCS (EV CAPABLE STALL w/ EVSE) | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL | 33 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>FIRE DEPT. FIRE LANE AND HAMMERHEAD TURNAROUND</p> | <p>VICINITY MAP</p> | <p>SITE PLAN</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

KAKKAR FAMILY 98 BUSINESS PARK DRIVE
PERRIS, CA
PROJECT
5TH PLANNING SUBMITTAL

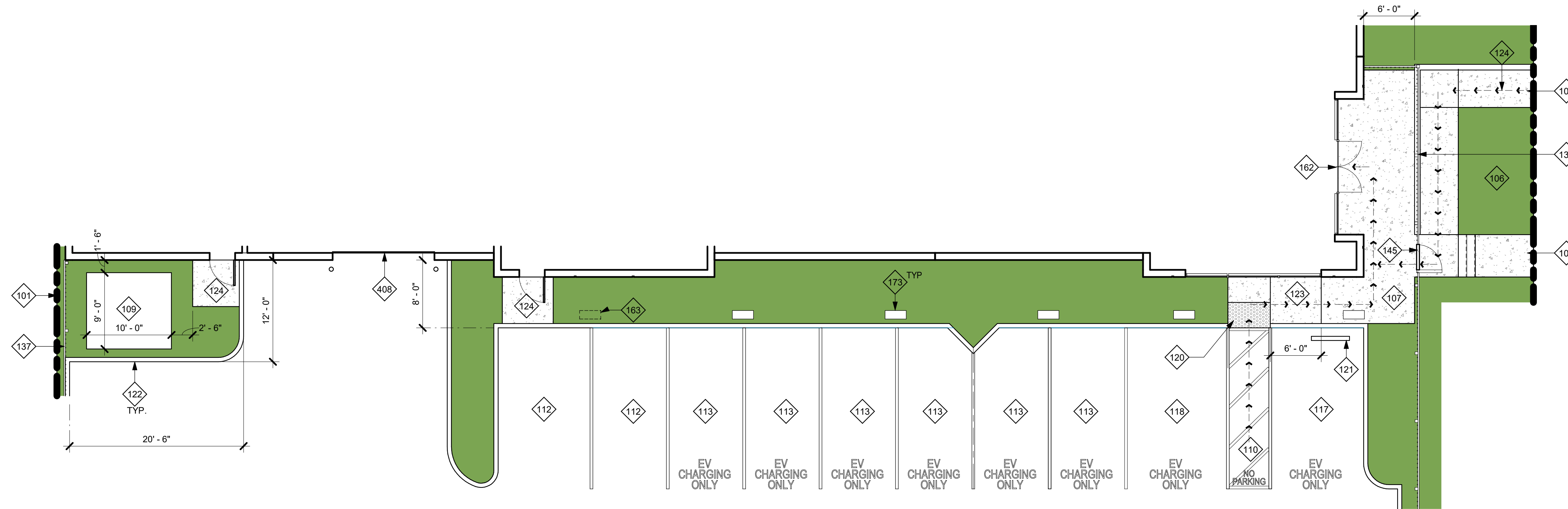


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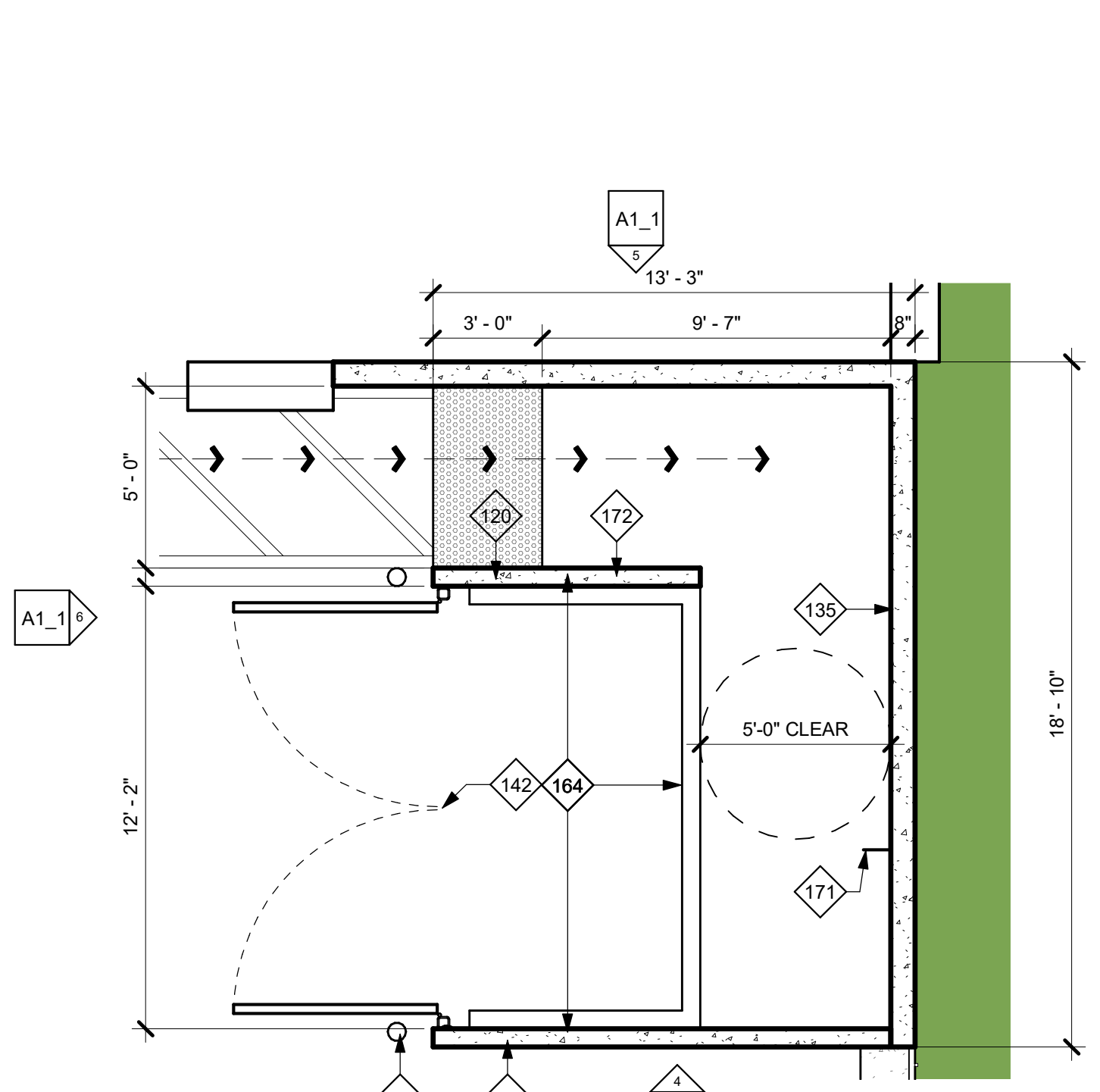


SITE PLAN

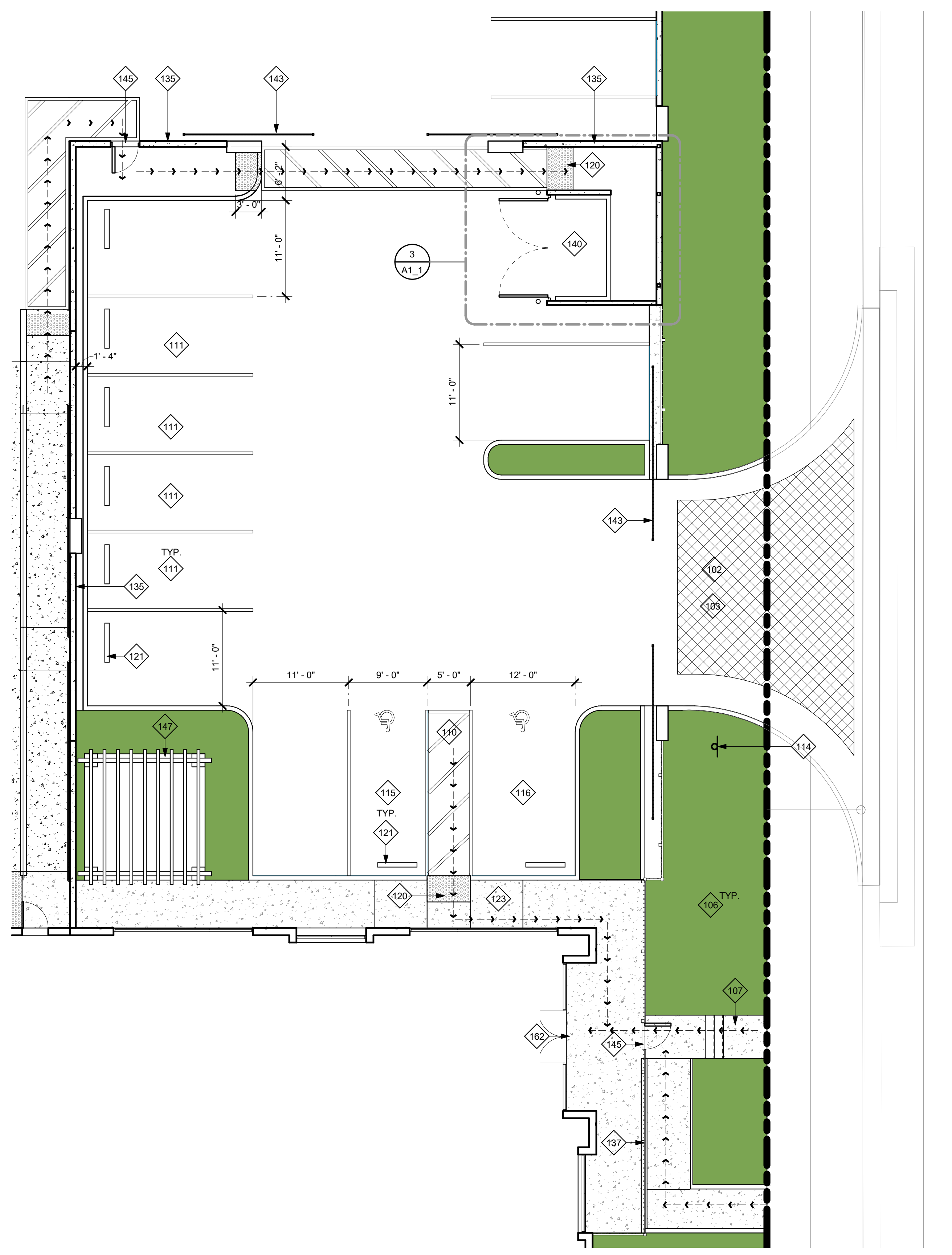
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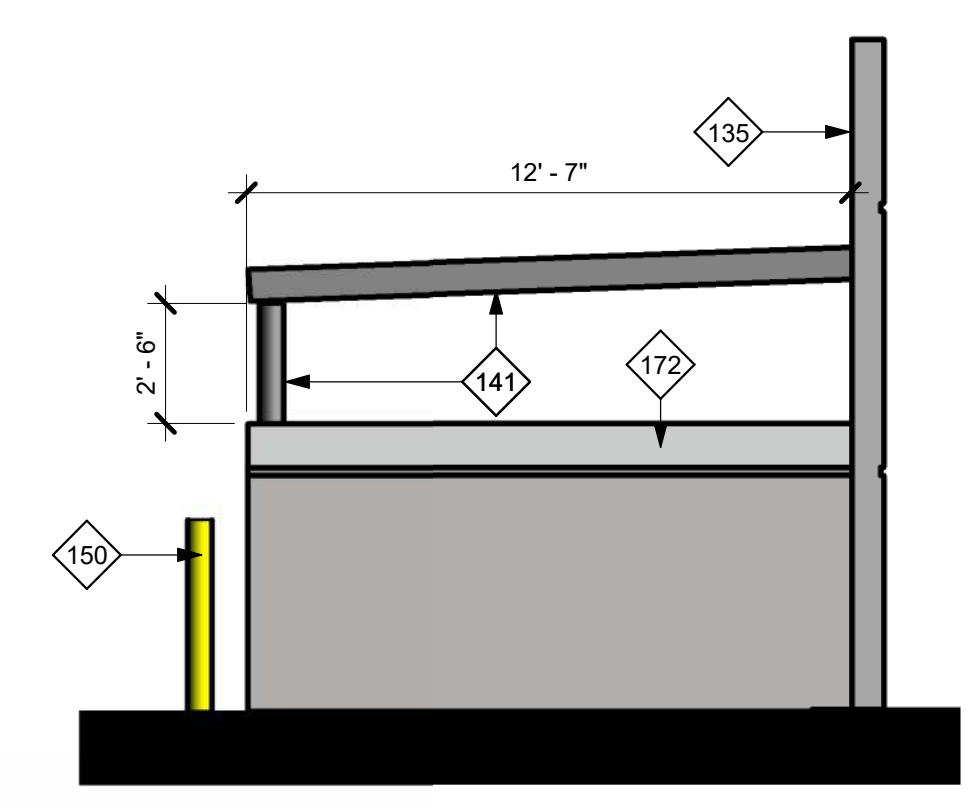
1 ENLARGED SITE PLAN SOUTHEAST CORNER
1/8" = 1'-0"



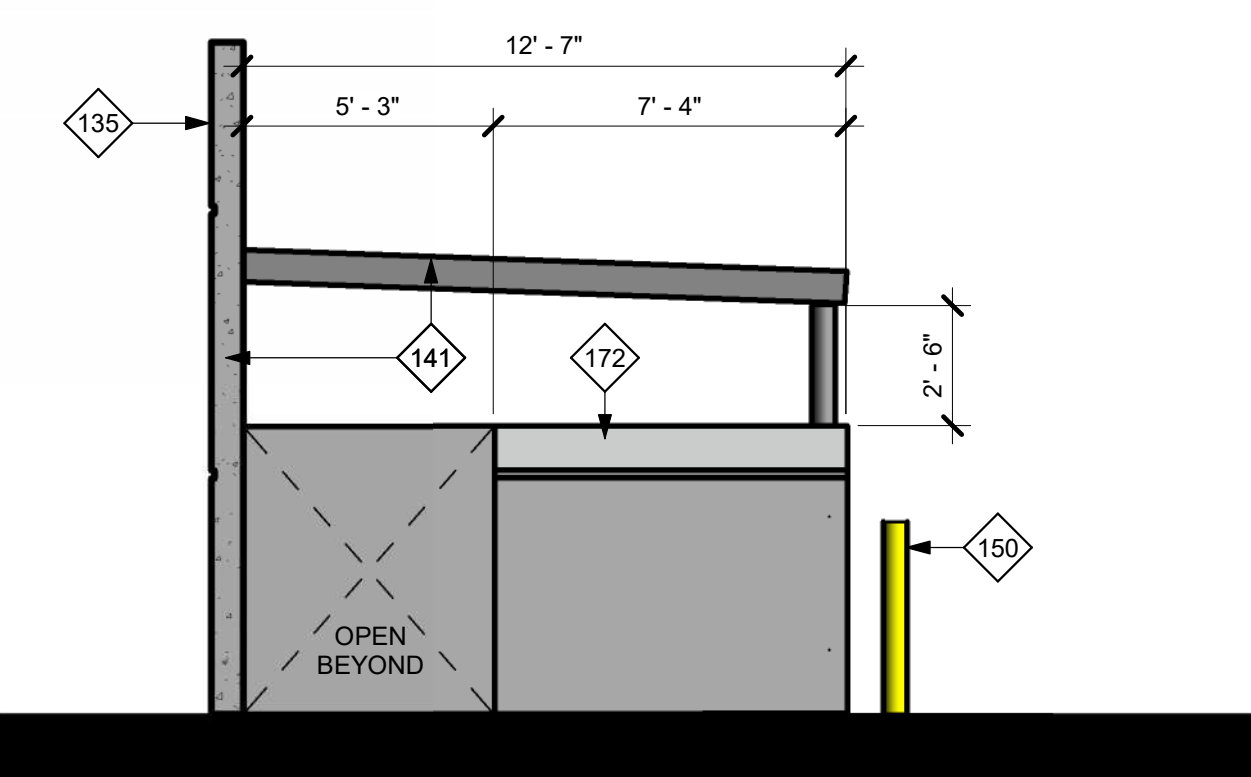
3 TRASH ENCLOSURE PLAN
1/4" = 1'-0"



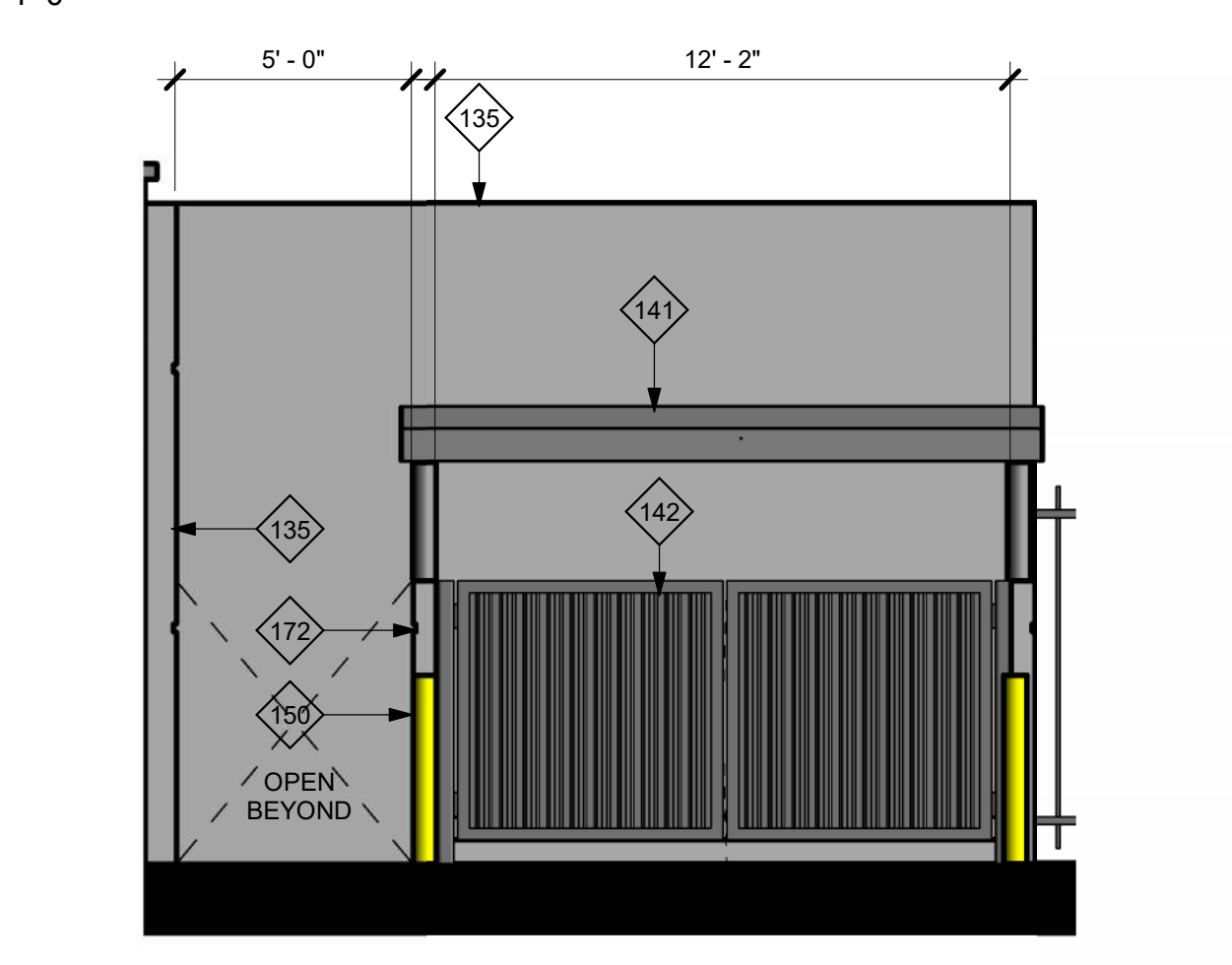
2 ENLARGED SITE PLAN NORTHEAST CORNER
1/8" = 1'-0"



4 TRASH ENCLOSURE SOUTH ELEVATION
1/4" = 1'-0"



5 TRASH ENCLOSURE NORTH ELEVATION
1/4" = 1'-0"



6 TRASH ENCLOSURE WEST ELEVATION
1/4" = 1'-0"

EXTERIOR COLOR SCHEDULE

| | |
|--|--|
| | A WHITE EXTERIOR PAINT COLOR: SW 6995 SUPERWHITE |
| | B LIGHT GRAY EXTERIOR PAINT COLOR: SW 7667 ZIRCON |
| | C MEDIUM GRAY EXTERIOR PAINT COLOR: SW 7674 PEPPERCORN |
| | E STACKED STONE |
| | F ACM PANEL COLOR: MATCH STOREFRONT FRAMING |

NOTES:

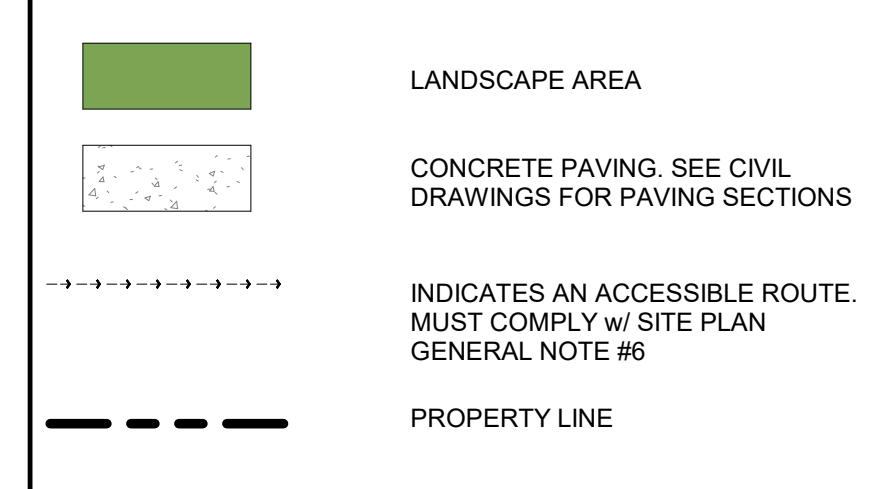
- PAINT MAN DOORS, STAIR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS, LOUVERS, & ROOF LEVEL WALL PANEL RETURNS TO MATCH ADJACENT BUILDING WALL COLOR. U.O.N.
- U.O.N., EXTERIOR SIDE OF TRUCK DOORS TO BE X INTERIOR SIDE TO BE PRE-FINISHED WITH MANUFACTURER'S LIGHT GRAY.
- POWER WASH EXTERIOR CONCRETE WALLS PRIOR TO PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDE THE PRIMER COAT FROM ADHERING TO THE WALLS.
- PAINT EXTERIOR WALLS w/ 1-COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2-COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. FINISHED JOB SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS OF THE COLOR.
- EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CALKED PER DETAIL 1/AD4.1.
- PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE COLOR OF THE TRELLIS.
- 8" SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW. PAINT THE EXPOSED WALL CHAMFER JUST ABOVE OR BELOW THE BROW TO MATCH THE BROW COLOR.
- PAINT ALL WALL REVEALS THE COLOR OF THE ADJACENT WALL. WHEN THERE IS A COLOR CHANGE AT THE REVEAL, SEE 2/AD4.1.
- U.O.N., PAINT THE SIDE OPPOSITE THE SIDE SHOWN OF SCREEN WALLS THE SAME COLOR AS THE SIDE SHOWN. IF THERE ARE TWO COLORS SHOWN, USE THE BASE COLOR.
- ALL PAINTS USED SHALL BE AS SPECIFIED BY THE MANUFACTURER FOR THE PROPOSED USE.

- KEYNOTES**
- PROPERTY LINE.
 - PROPOSED DRIVEWAY, PER JURISDICTIONAL STANDARDS.
 - DECORATIVE PAVING. SEE LANDSCAPING DRAWINGS FOR ADDITIONAL INFORMATION.
 - @ SHADING, PROPOSED LANDSCAPING. SEE LANDSCAPE PLANS.
 - (N) SIDEWALK.
 - (N) TRANSFORMER LOCATION.
 - ACCESS AISLE FOR ACCESSIBLE PARKING STALL. 5'-0" WIDE.
 - TYP U.O.N., STANDARD PARKING STALL. 9'-0" WIDE x 19'-0" DEEP.
 - EV (ELECTRIC VEHICLE) CAPABLE PARKING STALL. PROVIDE FOR FUTURE EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT). MATCH STANDARD STALL SIZE.
 - EVCS (ELECTRIC VEHICLE CHARGING STATION). PROVIDE EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT). MATCH STANDARD STALL SIZE.
 - ACCESSIBLE PARKING SITE ENTRANCE SIGN.
 - STANDARD ACCESSIBLE PARKING STALL. 9'-0" WIDE x DEPTH OF STANDARD STALL.
 - VAN ACCESSIBLE PARKING STALL. 12'-0" WIDE x DEPTH OF STANDARD STALL.
 - STANDARD ACCESSIBLE EVCS (ELECTRIC VEHICLE CHARGING STATION). 9'-0" WIDE x DEPTH OF STANDARD STALL. PROVIDE ELECTRIC VEHICLE SUPPLY EQUIPMENT.
 - VAN ACCESSIBLE EVCS (ELECTRIC VEHICLE CHARGING STATION). 12'-0" WIDE x DEPTH OF STANDARD STALL. PROVIDE ELECTRIC VEHICLE SUPPLY EQUIPMENT.
 - TRUNCATED DOME DETECTABLE WARNING SURFACE. MIN 3'-0" DEEP IN THE DIRECTION OF TRAVEL.
 - PRECAST CONCRETE WHEEL STOP.
 - ZERO CURB FACE.
 - CURB RAMP. 8.33% MAX SLOPE w/ 2% MAX CROSS SLOPE.
 - EXTERIOR CONCRETE LANDING.
 - CONCRETE TILT-UP SCREEN WALL. MIN HEIGHT 14'-0" ABOVE HIGHEST ADJACENT FINISHED GRADE. PAINT BOTH SIDES AND TOP OF WALL. SEE PLANS FOR COLOR SCHEDULE.
 - TUBE STEEL FENCE. MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE.
 - TRASH ENCLOSURE w/ ROOF COVERING.
 - PAINTED STEEL ROOF COVERING, HSS COLUMNS, HSS BEAMS, AND METAL DECK ROOFING.
 - PAINTED STEEL TRASH ENCLOSURE GATES. ALIGN TOP OF GATES WITH TOP OF ADJACENT ENCLOSURE WALL.
 - PAINTED STEEL ROLLING GATE(S). MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE OR AS SHOWN ON EXTERIOR ELEVATIONS. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY.
 - PAINTED STEEL SWINGING PEDESTRIAN GATE. WHEN OCCURS IN TUBE STEEL FENCE, ALIGN TOP w/ FENCE HEIGHT. WHEN OCCURS IN CONCRETE SCREEN WALL, U.O.N., ALIGN TOP w/ SCREEN WALL. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY.
 - EMPLOYEE BREAK AREA.
 - STEEL PIPE BOLLARD PROTECTION POST.
 - ACCESSIBLE BUILDING ENTRANCE.
 - FUTURE EVCS CHARGING EQUIPMENT.
 - 6" x 6" w CONCRETE CURB.
 - HOSE BIB.
 - CONCRETE TILT-UP TRASH ENCLOSURE WALL. MIN HEIGHT 6'-0" ABOVE HIGHEST ADJACENT FINISHED GRADE. PAINT BOTH SIDES AND TOP OF WALL. SEE PLANS FOR COLOR SCHEDULE.
 - LOCATION OF FUTURE MEDIUM AND HEAVY DUTY ZEV CHARGING CABINETS AND CHARGING DISPENSERS.
 - STEEL SECTIONAL OVERHEAD DOOR.

SITE PLAN GENERAL NOTES

- THE SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS.
- GENERAL CONTRACTOR TO REVIEW THE SOILS REPORT AND ALL AMENDMENTS LISTED ON THE TITLE SHEET AND FOLLOW ALL RECOMMENDATIONS.
- U.O.N., ALL DIMENSIONS TO CONCRETE WALLS AND CURBS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL OR CURB. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTERLINE OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR THE FACE OF THE WALL FINISH.
- REFER TO CIVIL AND MEP PLANS TO CONFIRM UTILITY INFORMATION SHOWN ON THE ARCHITECT'S SITE PLAN AND FOR ADDITIONAL UTILITY INFORMATION. GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION.
- REFER TO CIVIL DRAWINGS FOR ALL FINISHED GRADES AND SLOPES. ALL FINISHED GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING. GENERAL CONTRACTOR TO FIELD VERIFY.
- ALL ACCESSIBLE ROUTES IDENTIFIED ON THE SITE PLAN DRAWINGS SHALL CONFORM TO THE FOLLOWING:
 - SLOPES IN THE DIRECTION OF TRAVEL. DO NOT EXCEED 5%. CROSS SLOPES DO NOT EXCEED 2%.
 - THE CLEAR WIDTH OF ALL WALKWAYS IS 4'-0" MIN.
 - CHANGES IN LEVEL UP TO 1/2" COMPLY w/ 11/A02.1, CHANGES IN LEVEL GREATER THAN 1/2" IF THEY OCCUR ARE RAMPED. SEE PLANS.
 - THE VERTICAL CLEARANCE ALONG THE ACCESSIBLE ROUTE IS 8'0" MIN.
- ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY A MIN. 4" HIGH, 6" WIDE CONCRETE CURB U.O.N.
- A CONCRETE MOW STRIP EXTENDING 12" BEYOND EA END OF THE OPENING SHALL BE PROVIDED @ ALL EXTERIOR GLAZING WHERE THE SILL IS WITHIN 3' VERTICAL OF THE FINISHED GRADE. SEE 2/AD1.1.
- PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY UTILITY COMPANIES AND OR FIRE AUTHORITIES AT ALL EXTERIOR ELECTRICAL EQUIPMENT AND FIRE PREVENTION DEVICES. IF PIPE BOLLARD PROTECTION POST DETAILS ARE NOT PROVIDED BY UTILITY COMPANIES AND OR FIRE AUTHORITY SEE DETAIL 3/AD1.1.
- ALL EXPOSED BIOTENSION DEVICE COVERINGS SHALL BE PAINTED FOREST GREEN.
- WHERE OCCURS, GENERAL CONTRACTOR TO PROVIDE FLUID APPLIED DAMP PROOFING AT ALL RETAINING AND PLANTER WALLS WHERE THE SIDE OF THE WALL OPPOSITE THE SOIL SIDE IS EXPOSED TO VIEW AND ALL EXTERIOR WALLS WHERE THE ADJACENT FLOOR SLAB IS BELOW GRADE. SEE 8/AD1.2.
- PROVIDE A HOSE BIB NEAR THE MAIN ENTRANCE AND IN THE TRASH ENCLOSURE. SEE PLAN FOR LOCATION.

SITE LEGEND



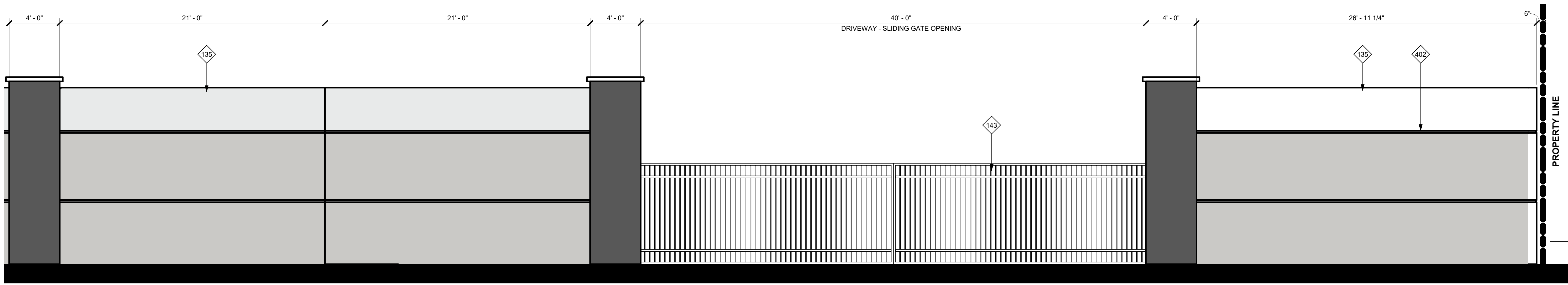
KAKKAR FAMILY 98 BUSINESS PARK DRIVE
 PERRIS, CA
 PROJECT
 5TH PLANNING SUBMITTAL



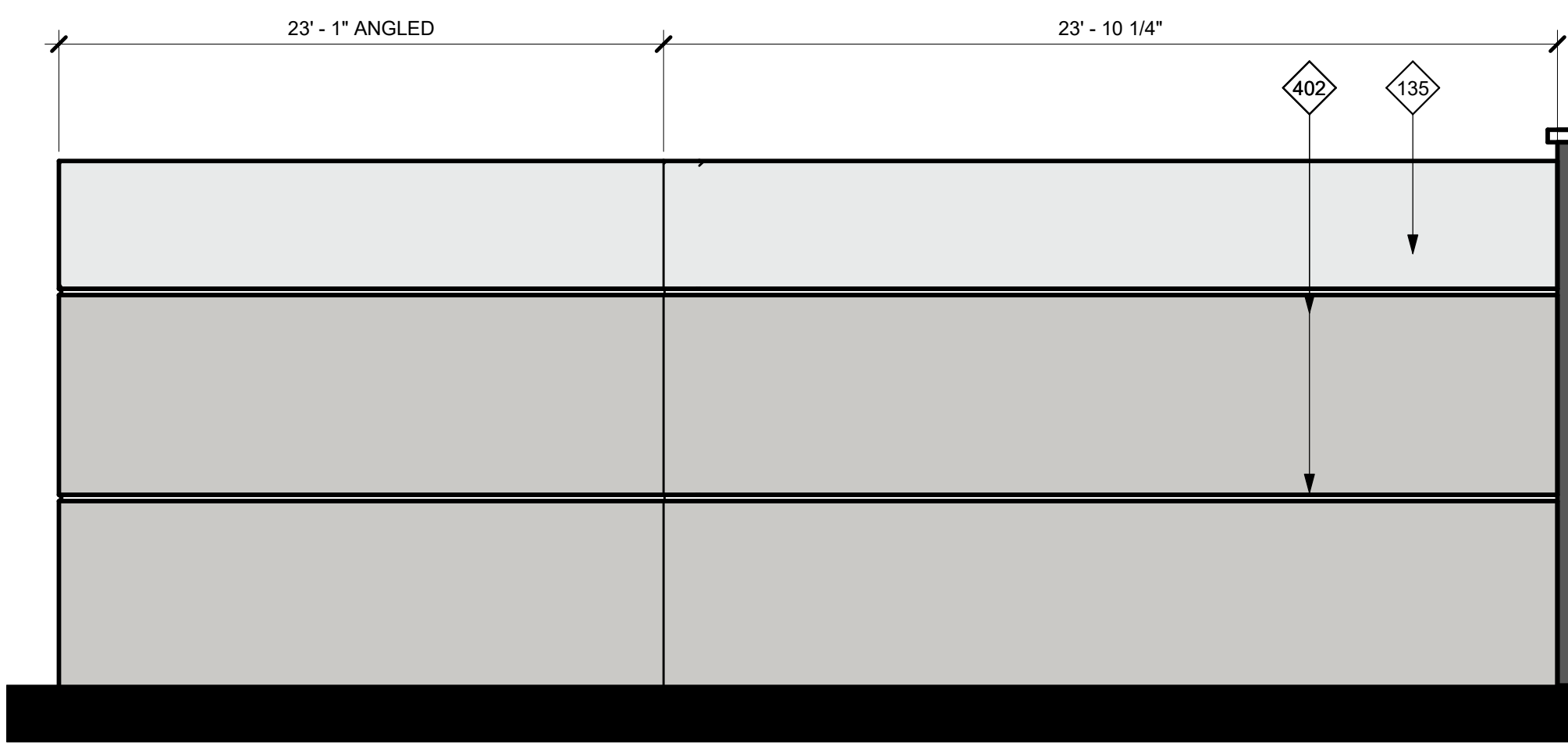
HERDMAN
ARCHITECTURE + DESIGN
A21-2109
10.31.2023

SITE DETAILS

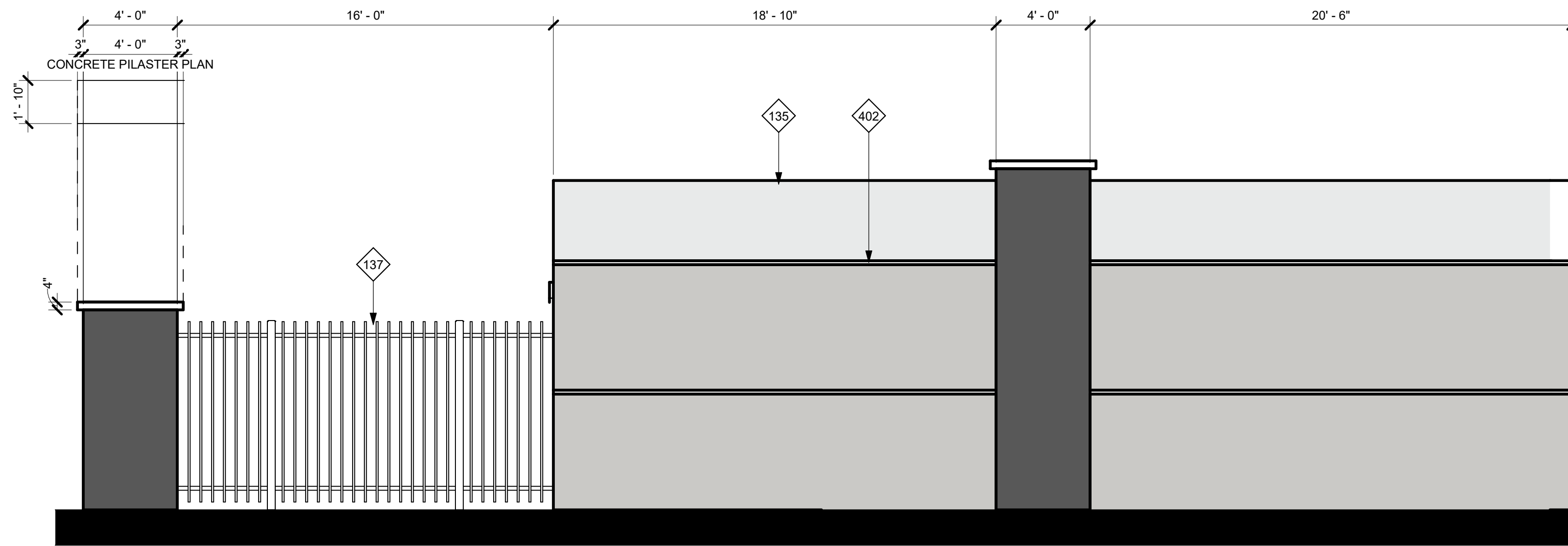
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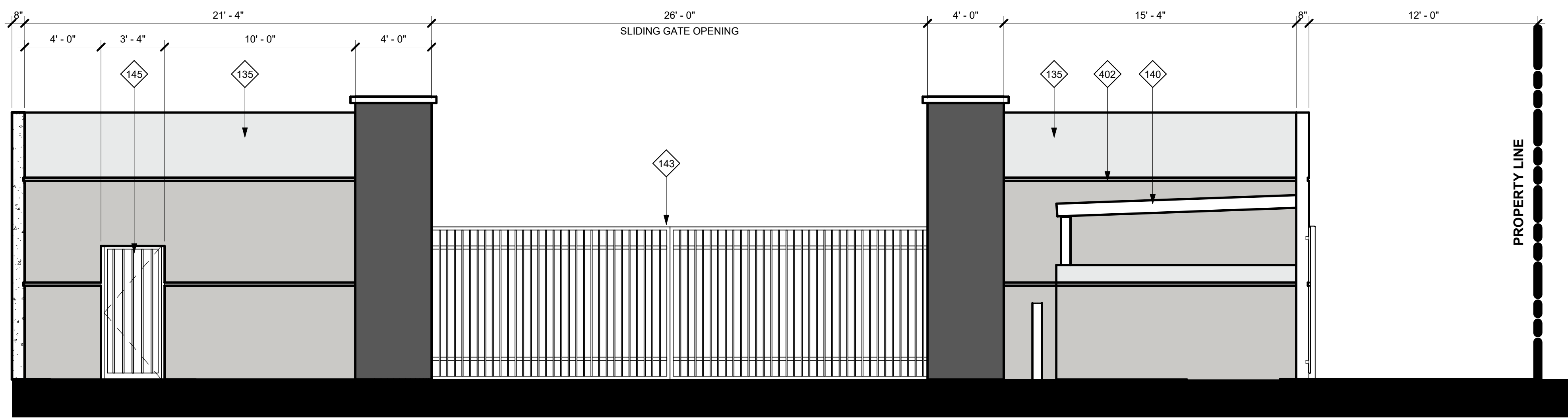
1 NORTH GATE ELEVATION
1/4" = 1'-0"



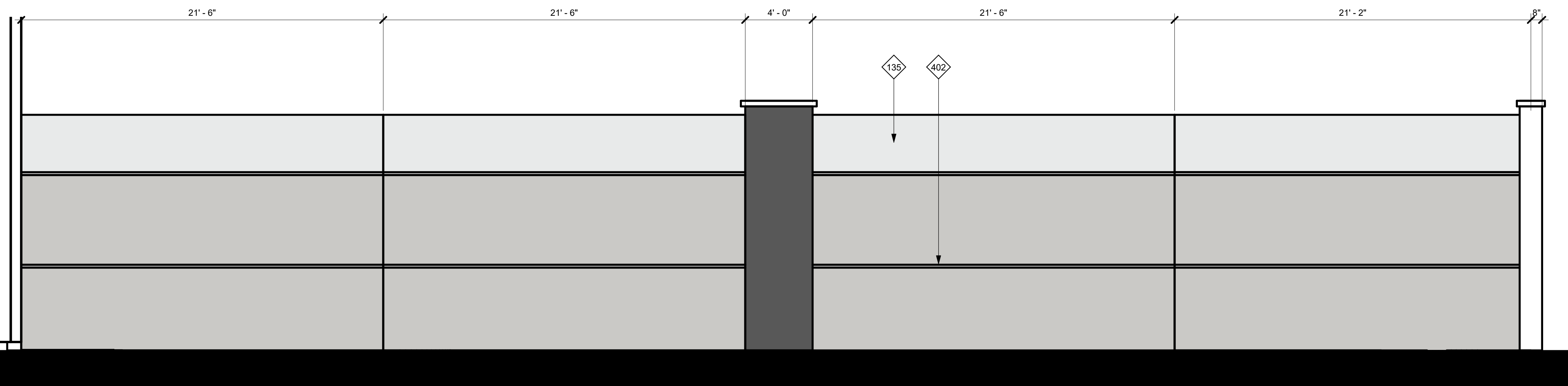
2 NORTH SCREEN WALL ELEVATION
1/4" = 1'-0"



3 NORTHEAST SCREEN WALL ELEVATION
1/4" = 1'-0"



4 EAST TRUCK COURT GATE ELEVATION
1/4" = 1'-0"



5 EAST SCREEN WALL ELEVATION
1/4" = 1'-0"

| KEYNOTES | |
|----------|--|
| 135 | CONCRETE TILT-UP SCREEN WALL, MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE. PAINT BOTH SIDES AND TOP OF WALL. SEE PLANS FOR COLOR SCHEDULE. |
| 137 | TUBE STEEL FENCE, MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE. |
| 140 | TRASH ENCLOSURE w/ ROOF COVERING. |
| 143 | PAINTED STEEL ROLLING GATE(S), MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE OR AS SHOWN ON EXTERIOR ELEVATIONS. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY. |
| 145 | PAINTED STEEL SWINGING PEDESTRIAN GATE, WHEN OCCURS IN TUBE STEEL FENCE, ALIGN TOP w/ FENCE HEIGHT. WHEN OCCURS IN CONCRETE SCREEN WALL, U.O.N., ALIGN TOP w/ SCREEN WALL. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY. |
| 402 | WALL REVEAL. |

- SITE PLAN GENERAL NOTES**
- THE SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS.
 - GENERAL CONTRACTOR TO REVIEW THE SOILS REPORT AND ALL AMENDMENTS LISTED ON THE TITLE SHEET AND FOLLOW ALL RECOMMENDATIONS.
 - U.O.N., ALL DIMENSIONS TO CONCRETE WALLS AND CURBS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL OR CURB. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER LINE OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR THE FACE OF THE WALL FINISH.
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 - SLOPES IN THE DIRECTION OF TRAVEL DO NOT EXCEED 5%. CROSS SLOPES DO NOT EXCEED 2%.
 - THE CLEAR WIDTH OF ALL WALKWAYS IS 4'-0" MIN.
 - CHANGES IN LEVEL UP TO 1/2" COMPLY w/ 1/100 2:1. CHANGES IN LEVEL GREATER THAN 1/2" IF THEY OCCUR ARE RAMPED. SEE PLANS.
 - THE VERTICAL CLEARANCE ALONG THE ACCESSIBLE ROUTE IS 8'0" MIN.
 - ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY A MIN. 6" HIGH, 6" WIDE CONCRETE CURB U.O.N.
 - A CONCRETE MOW STRIP EXTENDING 12" BEYOND EACH END OF THE OPENING SHALL BE PROVIDED @ ALL EXTERIOR GLAZING WHERE THE SILL IS WITHIN 3' VERTICAL OF THE FINISHED GRADE. SEE 2/A01.1.
 - PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY UTILITY COMPANIES AND OR FIRE AUTHORITIES AT ALL EXTERIOR ELECTRICAL EQUIPMENT AND FIRE PREVENTION DEVICES. IF PIPE BOLLARD PROTECTION POST DETAILS ARE NOT PROVIDED BY UTILITY COMPANIES AND OR FIRE AUTHORITY SEE DETAIL 9/A01.1.
 - ALL EXPOSED BIOTENSION DEVICE COVERINGS SHALL BE PAINTED FOREST GREEN.
 - WHERE OCCURS, GENERAL CONTRACTOR TO PROVIDE FLUID APPLIED DAMP PROOFING AT ALL RETAINING AND PLANTER WALLS WHERE THE SIDE OF THE WALL OPPOSITE THE SOIL SIDE IS EXPOSED TO VIEW AND ALL EXTERIOR WALLS WHERE THE ADJACENT FLOOR SLAB IS BELOW GRADE. SEE 8/A01.2.
 - PROVIDE A HOSE BIB NEAR THE MAIN ENTRANCE AND IN THE TRASH ENCLOSURE. SEE PLAN FOR LOCATION.

| EXTERIOR COLOR SCHEDULE | |
|-------------------------|---|
| | (A) WHITE EXTERIOR PAINT COLOR: SW 6995 SUPERWHITE |
| | (B) LIGHT GRAY EXTERIOR PAINT COLOR: SW 7667 ZIRCON |
| | (C) MEDIUM GRAY EXTERIOR PAINT COLOR: SW 7674 PEPPERCORN |
| | (E) STACKED STONE |
| | (F) ACM PANEL COLOR: MATCH STOREFRONT FRAMING. |
| | (G) EXPOSED STEEL BROW & CANOPY FRAMING, WALL BEHIND OPEN TRELLIS (KEY NOTE 428, OR 429) WHEN OCCURS & TRASH ENCLOSURE ROOF PAINT COLOR: MATCH STOREFRONT FRAMING. |
| | EXTERIOR STOREFRONT FRAMING COLOR: CLEAR ANODIZED ALUMINUM |
| | EXTERIOR GLASS COLOR FOR SINGLE GLAZING & EXTERIOR LAYER OF INSULATED GLASS: VISTACOOL PACIFICA |
| | EXTERIOR GLASS COLOR FOR THE INNER LAYER OF INSULATED GLASS: CLEAR GLASS |

- NOTES:**
- PAINT MAN DOORS, STAIR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS, LOUVERS, & ROOF LEVEL WALL PANEL RETURNS TO MATCH ADJACENT BUILDING WALL COLOR, U.O.N.
 - U.O.N., EXTERIOR SIDE OF TRUCK DOORS TO BE X INTERIOR SIDE TO BE PRE-FINISHED WITH MANUFACTURER'S LIGHT GRAY.
 - POWER WASH EXTERIOR CONCRETE WALLS PRIOR TO PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDE THE PRIMER COAT FROM ADHERING TO THE WALLS.
 - PAINT EXTERIOR WALLS w/ 1-COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2-COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. FINISHED JOB SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS OF THE COLOR.
 - EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CALKED PER DETAIL 1/A04.1.
 - PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE COLOR OF THE TRELLIS.
 - @ SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW, PAINT THE EXPOSED WALL CHAMFER JUST ABOVE OR BELOW THE BROW TO MATCH THE BROW COLOR.
 - PAINT ALL WALL REVEALS THE COLOR OF THE ADJACENT WALL, WHEN THERE IS A COLOR CHANGE AT THE REVEAL, SEE 2/A04.1.
 - U.O.N., PAINT THE SIDE OPPOSITE THE SIDE SHOWN OF SCREEN WALLS THE SAME COLOR AS THE SIDE SHOWN. IF THERE ARE TWO COLORS SHOWN, USE THE BASE COLOR.
 - ALL PAINTS USED SHALL BE AS SPECIFIED BY THE MANUFACTURER FOR THE PROPOSED USE.

| SITE LEGEND | |
|-------------|---|
| | LANDSCAPE AREA |
| | CONCRETE PAVING. SEE CIVIL DRAWINGS FOR PAVING SECTIONS |
| | INDICATES AN ACCESSIBLE ROUTE. MUST COMPLY w/ SITE PLAN GENERAL NOTE #6 |
| | PROPERTY LINE |

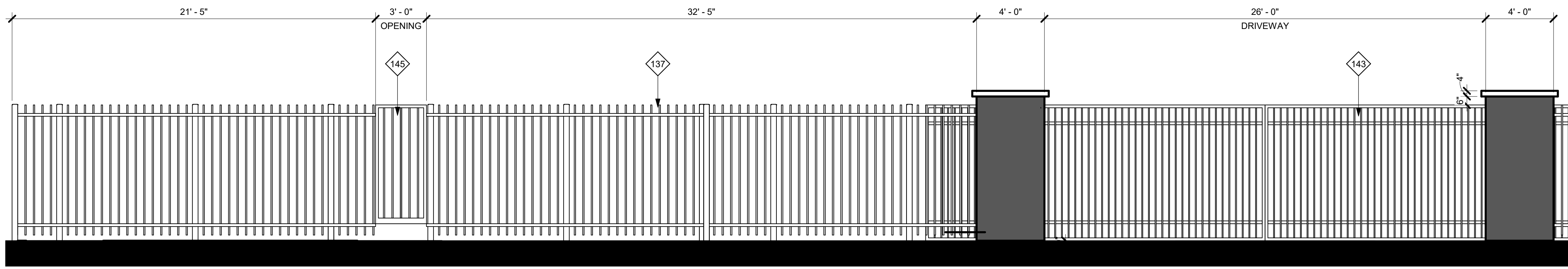


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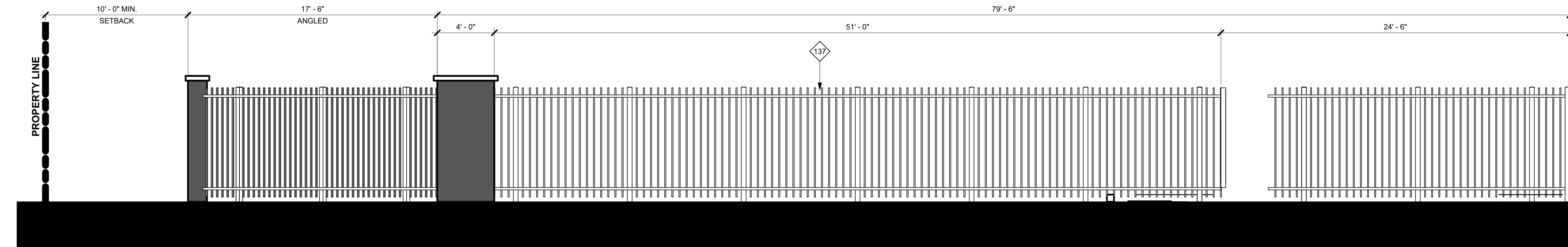
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SITE DETAILS

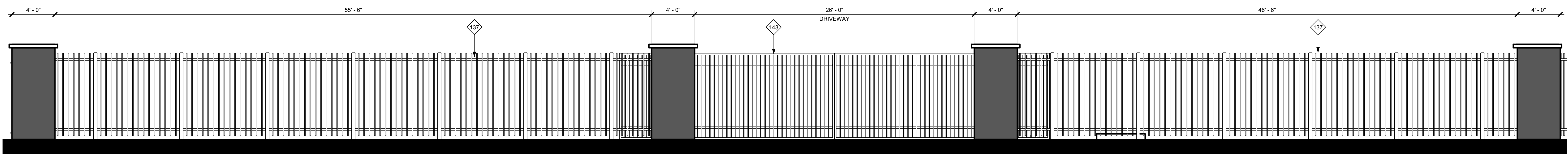
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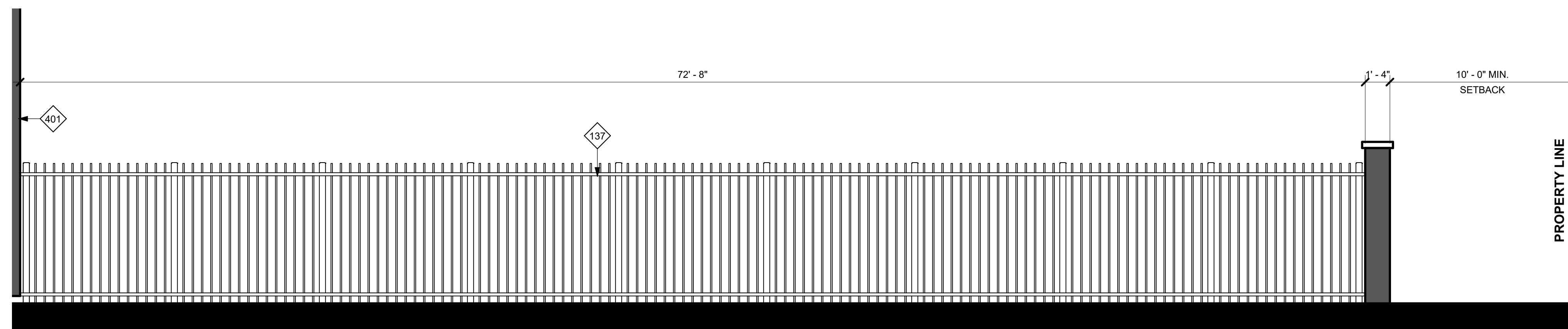
1 EAST GATE ELEVATION
1/4" = 1'-0"



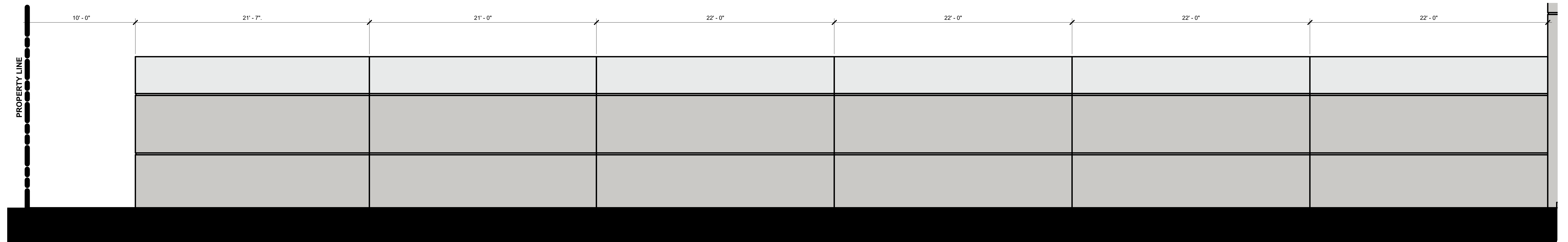
2 SOUTHEAST WALL ELEVATION
1/4" = 1'-0"



3 SOUTH WALL ELEVATION
1/4" = 1'-0"



4 SOUTHWEST WALL
1/4" = 1'-0"



5 NORTHWEST WALL
1/4" = 1'-0"

| KEYNOTES | |
|----------|---|
| 137 | TUBE STEEL FENCE, MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE. |
| 143 | PAINTED STEEL ROLLING GATE(S), MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE OR AS SHOWN ON EXTERIOR ELEVATIONS. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY. |
| 145 | PAINTED STEEL SWINGING PEDESTRIAN GATE, WHEN OCCURS IN TUBE STEEL FENCE, ALIGN TOP W/ FENCE HEIGHT. WHEN OCCURS IN CONCRETE SCREEN WALL, U.O.N. ALIGN TOP W/ SCREEN WALL. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY. |
| 401 | PAINTED CONCRETE TILT-UP WALL PANEL. |

| SITE PLAN GENERAL NOTES | |
|-------------------------|--|
| 1. | THE SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS. |
| 2. | GENERAL CONTRACTOR TO REVIEW THE SOILS REPORT AND ALL AMENDMENTS LISTED ON THE TITLE SHEET AND FOLLOW ALL RECOMMENDATIONS. |
| 3. | U.O.N., ALL DIMENSIONS TO CONCRETE WALLS AND CURBS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL OR CURB. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER LINE OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR THE FACE OF THE WALL FINISH. |
| 4. | REFER TO CIVIL AND MEP PLANS TO CONFIRM UTILITY INFORMATION SHOWN ON THE ARCHITECT'S SITE PLAN AND FOR ADDITIONAL UTILITY INFORMATION, GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION. |
| 5. | REFER TO CIVIL DRAWINGS FOR ALL FINISHED GRADES AND SLOPES. ALL FINISHED GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING. GENERAL CONTRACTOR TO FIELD VERIFY. |
| 6. | ALL ACCESSIBLE ROUTES IDENTIFIED ON THE SITE PLAN DRAWINGS SHALL CONFORM TO THE FOLLOWING: <ul style="list-style-type: none"> a) SLOPES IN THE DIRECTION OF TRAVEL DO NOT EXCEED 5%. CROSS SLOPES DO NOT EXCEED 2%. b) THE CLEAR WIDTH OF ALL WALKWAYS IS 4'-0" MIN. c) CHANGES IN LEVEL UP TO 1/2" COMPLY W/ 11/AO 2.1, CHANGES IN LEVEL GREATER THAN 1/2" IF THEY OCCUR ARE RAMPED. SEE PLANS. d) THE VERTICAL CLEARANCE ALONG THE ACCESSIBLE ROUTE IS 8' MIN. |
| 7. | ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY A MIN. 6" HIGH, 6" WIDE CONCRETE CURB U.O.N. |
| 8. | A CONCRETE MOW STRIP EXTENDING 12' BEYOND EA END OF THE OPENING SHALL BE PROVIDED @ ALL EXTERIOR GLAZING WHERE THE SILL IS WITHIN 3' VERTICAL OF THE FINISHED GRADE. SEE 2/AO 1.1 |
| 10. | PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY UTILITY COMPANIES AND OR FIRE AUTHORITIES AT ALL EXTERIOR ELECTRICAL EQUIPMENT AND FIRE PREVENTION DEVICES. IF PIPE BOLLARD PROTECTION POST DETAILS ARE NOT PROVIDED BY UTILITY COMPANIES AND OR FIRE AUTHORITY SEE DETAIL 3/AO 1.1 |
| 11. | ALL EXPOSED BIOTENSION DEVICE COVERINGS SHALL BE PAINTED FOREST GREEN. |
| 12. | WHERE OCCURS, GENERAL CONTRACTOR TO PROVIDE FLUID APPLIED DAMP PROOFING AT ALL RETAINING AND PLANTER WALLS WHERE THE SIDE OF THE WALL OPPOSITE THE SOIL SIDE IS EXPOSED TO VIEW AND ALL EXTERIOR WALLS WHERE THE ADJACENT FLOOR SLAB IS BELOW GRADE. SEE 6/AO 1.2 |
| 13. | PROVIDE A HOSE BIB NEAR THE MAIN ENTRANCE AND IN THE TRASH ENCLOSURE. SEE PLAN FOR LOCATION. |

| EXTERIOR COLOR SCHEDULE | |
|-------------------------|--|
| | A WHITE EXTERIOR PAINT COLOR: SW 6995 SUPERWHITE |
| | B LIGHT GRAY EXTERIOR PAINT COLOR: SW 7667 ZIRCON |
| | C MEDIUM GRAY EXTERIOR PAINT COLOR: SW 7674 PEPPERCORN |
| | E STACKED STONE |

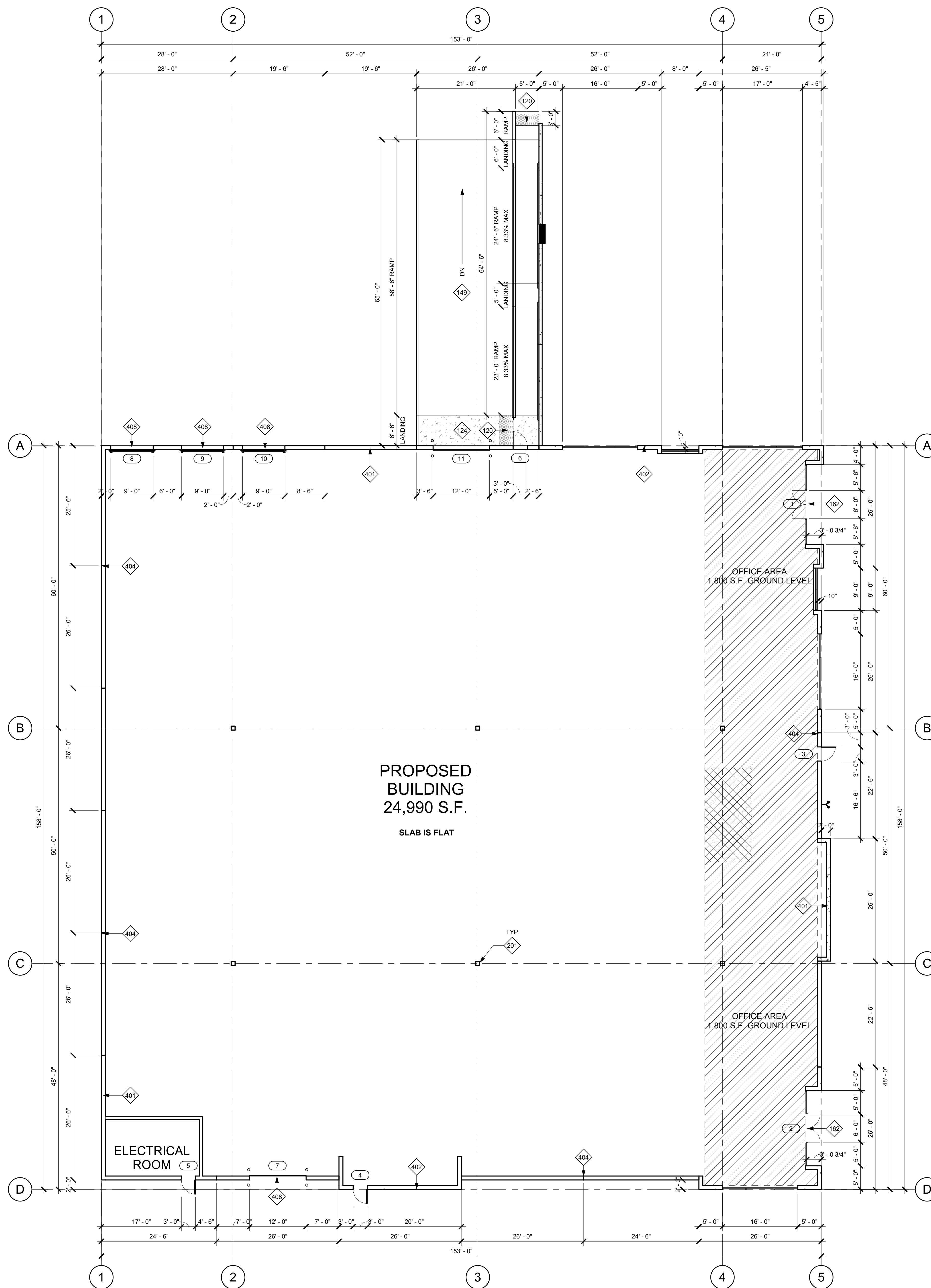


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SITE DETAILS

A1_3



1 BUILDING FLOOR PLAN
1" = 10'-0"

| KEYNOTES | |
|----------|--|
| 120 | TRUNCATED DOME DETECTABLE WARNING SURFACE. MIN 3'-0" DEEP IN THE DIRECTION OF TRAVEL. |
| 124 | EXTERIOR CONCRETE LANDING. |
| 149 | CONCRETE TRUCK RAMP w/ 42" HIGH CONCRETE TILT-UP GUARD ON OPEN SIDES. PAINT ALL SIDES OF GUARD WALLS AND HANDRAILS. SEE ARCHITECTURAL DRAWINGS FOR COLOR SCHEDULE. |
| 162 | ACCESSIBLE BUILDING ENTRANCE. |
| 201 | STRUCTURAL BUILDING COLUMN. |
| 401 | PAINTED CONCRETE TILT-UP WALL PANEL. |
| 402 | WALL REVEAL. |
| 404 | PANEL JOINT. |
| 408 | STEEL SECTIONAL OVERHEAD DOOR. |

| FLOOR PLAN LEGEND | |
|-------------------|---|
| | EXTERIOR CONCRETE TILT-UP WALL PANEL OR INTERIOR CONCRETE TILT-UP MEZZANINE SHEAR WALL PANEL. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. |
| | STOREFRONT GLAZING SYSTEM. SEE ENLARGED FLOOR PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION. |
| | METAL STUD NON-BEARING PARTITION WALL. SEE ENLARGED FLOOR PLANS & WALL TYPE SCHEDULE FOR ADDITIONAL INFORMATION. |
| | WOOD STUD BEARING WALL. SEE ENLARGED FLOOR PLANS & WALL TYPE SCHEDULE FOR ADDITIONAL INFORMATION. |
| | STRUCTURAL BUILDING COLUMNS. |
| | PROVIDE STAGO WRAP VAPOR BARRIER UNDER PROPOSED OFFICE AREA FLOOR SLAB. SEE 41AD.1. |
| | FIRE SPRINKLER RISER. SEE FIRE PROTECTION PLANS AND 10AD.7. |

| FLOOR SLAB GENERAL NOTES | |
|--------------------------|---|
| 1. | THE FLOOR SLAB THICKNESS TO BE "X". SEE STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS. |
| 2. | THE FLOOR SLAB TO BE CLASS V PER ACI 302-1R-04 TABLE 21. |
| 3. | THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER WHETHER OR NOT TO PROVIDE JOINT FILLER AT FLOOR SLAB CONTROL AND CONSTRUCTION JOINTS. |
| 4. | SLOPE POUR STRIPS @ EXTERIOR PEDESTRIAN AND OVERHEAD DOORS. SEE 5, 7, & 10AD.4.1. |
| 5. | CRANES, CONCRETE TRUCKS, AND SIMILAR HEAVY EQUIPMENT ARE PROHIBITED ON THE FLOOR SLAB DURING CONSTRUCTION. |
| 6. | BELOW FLOOR SLAB SOIL COMPACTION TO BE 95% MIN. |
| 7. | TRENCH SOIL COMPACTION TO BE 90% MIN. |
| 8. | SLAB FINISH TO BE STEEL FLOAT HARD TROWEL BURNISHED FINISH. |
| 9. | THE GENERAL CONTRACTOR TO MAINTAIN A CLEAN FLOOR SLAB. ALL TRUCKS AND EQUIPMENT TO BE DIAPERED. |
| 10. | ALL CONSTRUCTION MARKINGS SHALL BE REMOVED FROM THE FLOOR SLAB PRIOR TO SEALING. |
| 11. | SEE 6AD.2 FOR SLAB PATCHING DETAIL. |
| 12. | PROVIDE 10'-0" WIDE PERIMETER FLOOR POUR-STRIPS AT ALL TRUCK DOCK WALLS AND 5'-0" WIDE AT ALL OTHER WALLS UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS. NO UNDERGROUND PIPING, CONDUITS, ETC ALLOWED IN POUR-STRIPS AT DOCK DOORS TO ALLOW FOR CURRENT OR FUTURE RECESSED DOCK LEVELERS. |
| 13. | ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES TO BE FILLED WITH APPROVED 2-PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. PEGA BOND LV 2000, BURKE EPOXY INJECTION RESIN OR = |
| 14. | ALL FLOOR SLAB PANEL FORM NAIL HOLES TO BE PREDRILLED AND WOOD DOWELED PRIOR TO NAILING. BRACE HOLES TO BE PREDRILLED. |
| 15. | CHAMFER AND REVEAL STRIPS ATTACHED TO THE FLOOR SLAB MUST BE PROPERLY PATCHED PRIOR TO SEALING THE FLOOR SLAB. |

| FLOOR PLAN GENERAL NOTES | |
|--------------------------|---|
| 1. | WHERE A MEZZANINE OCCURS AND A 1" TOPPING IS CALLED OUT FOR IN THE STRUCTURAL DRAWINGS, PROVIDE A 1" THICK TOPPING OF GYP-CRETE 2000 WITH A MINIMUM STRENGTH OF 2,500 PSI. |
| 2. | PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT AND THE CBC/CFR. REQUIREMENTS AND LOCATIONS TO BE DETERMINED IN THE FIELD BY THE FIRE DEPARTMENT INSPECTOR. |
| 3. | ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS SHALL BE SEALED WITH APPROVED FIRE CAULKING. SEE SITS A2.3 & A2.2. |
| 4. | U.O.N. ALL DIMENSIONS TO CONCRETE WALLS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL FINISH. |
| 5. | PROVIDE ILLUMINATED AND TACTILE EXIT SIGNAGE. SEE EXITING & SIGNAGE PLANS. |
| 6. | SEE CIVIL DRAWINGS FOR ALL UTILITY POINTS OF CONNECTION. GENERAL CONTRACTOR TO VERIFY LOCATIONS. |
| 7. | PROVIDE PIPE BOLLARD PROTECTION POSTS @ FIRE RISERS & ELECTRICAL GEARS AS REQUIRED BY THE ELECTRICAL AND FIRE PROTECTION PLANS. SEE 7AD.5.0 FOR ADDITIONAL INFORMATION. |
| 8. | FOR REQUIRED LANDINGS @ ACCESSIBLE DOORS, SEE 11AD.2.1. |
| 9. | NO SMOKING IS ALLOWED WITHIN 25' OF ALL BUILDING ENTRANCES. PER GREEN BUILDING STANDARD CODE DIVISION 5.504.7. POST REQUIRED SIGNAGE. |
| 10. | U.O.N @ INTERIOR PARTITIONS. FINISHED HINGE SIDE OF JAMB TO BE 6" FROM FINISHED SURFACE OF INTERSECTING WALL. |

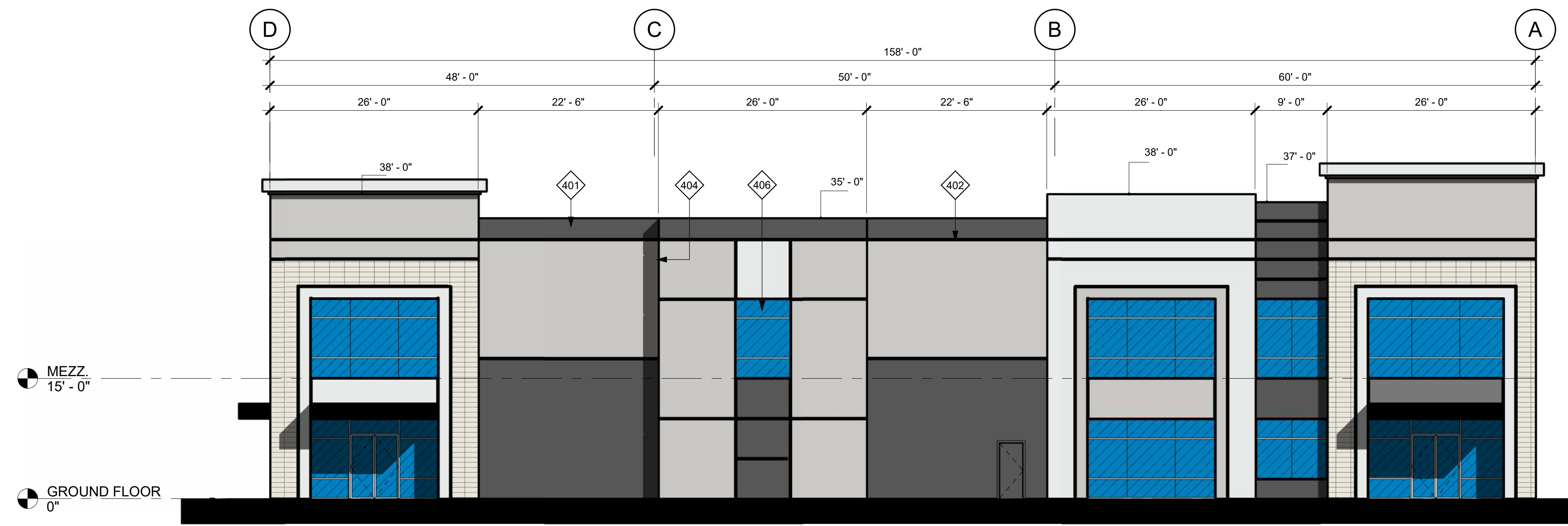
KAKKAR FAMILY 98 BUSINESS PARK DRIVE
 PERRIS, CA
PROJECT
 5TH PLANNING SUBMITTAL



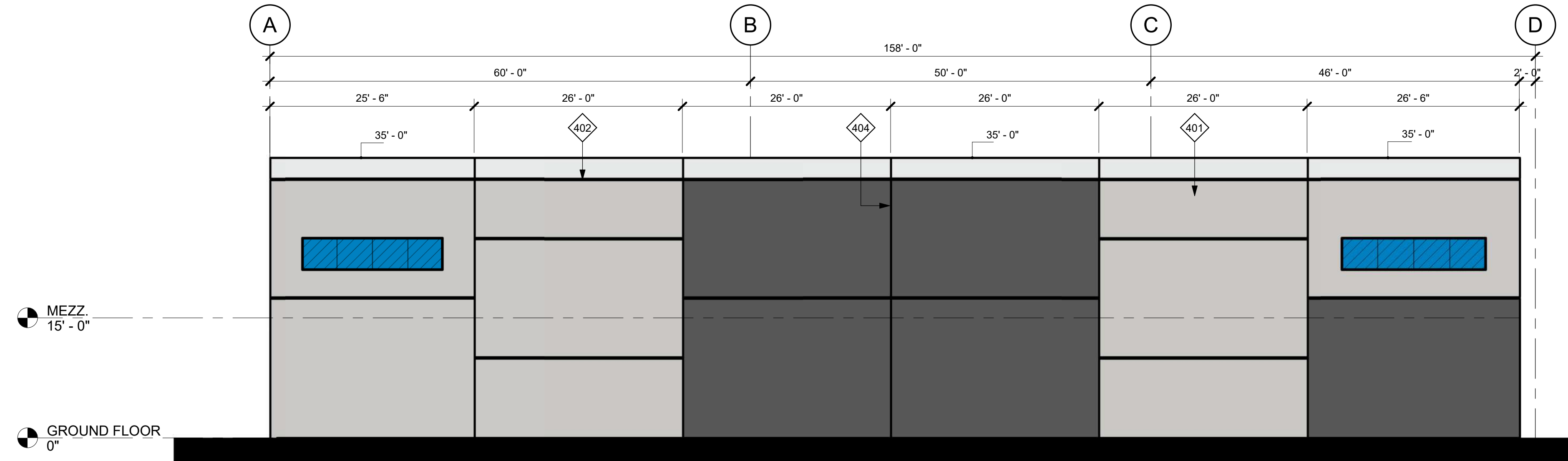
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FLOOR PLAN

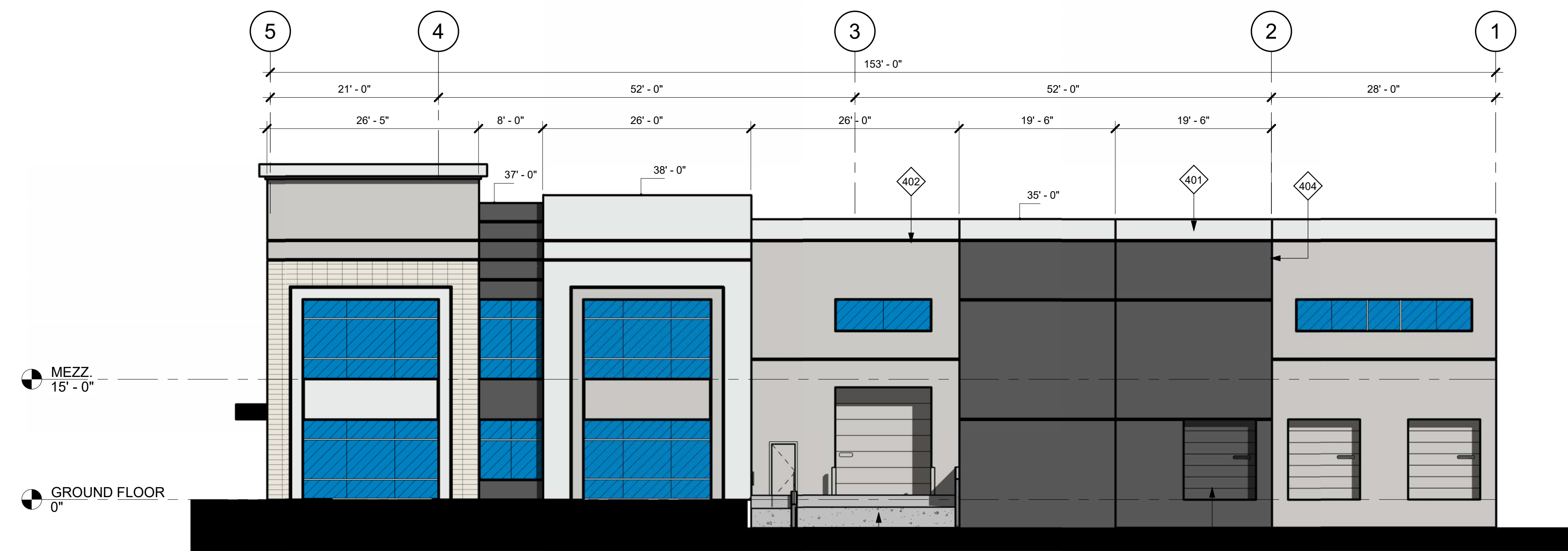
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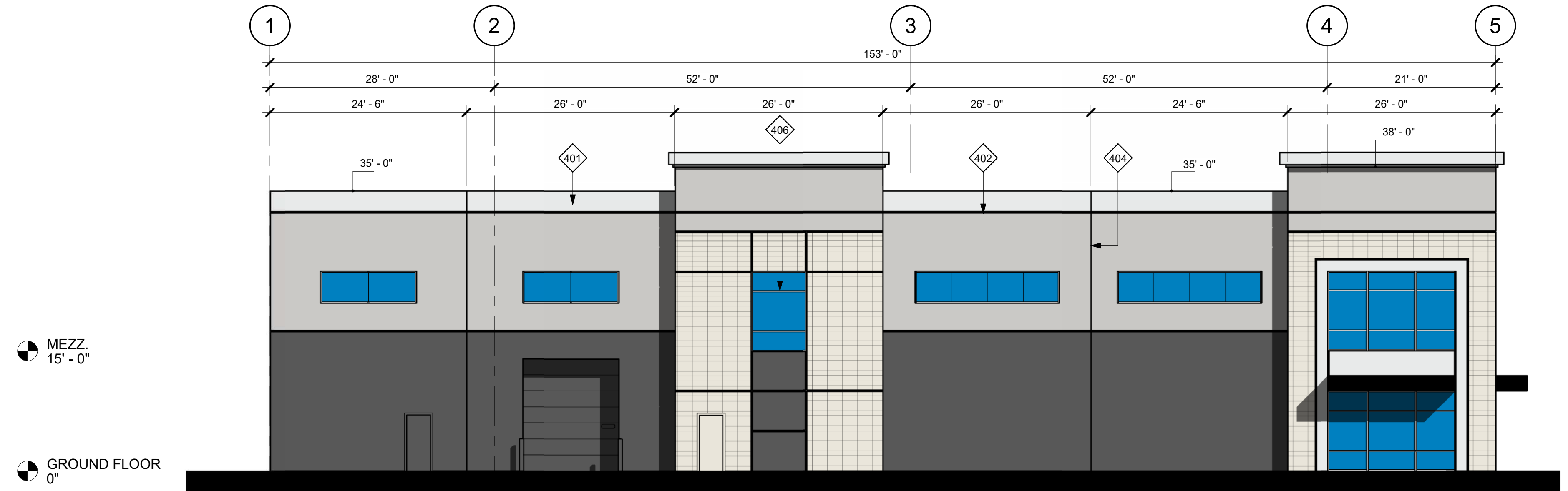
1 PROPOSED EAST ELEVATION
1" = 10'-0"



2 PROPOSED WEST ELEVATION
1" = 10'-0"



3 PROPOSED NORTH ELEVATION
1" = 10'-0"



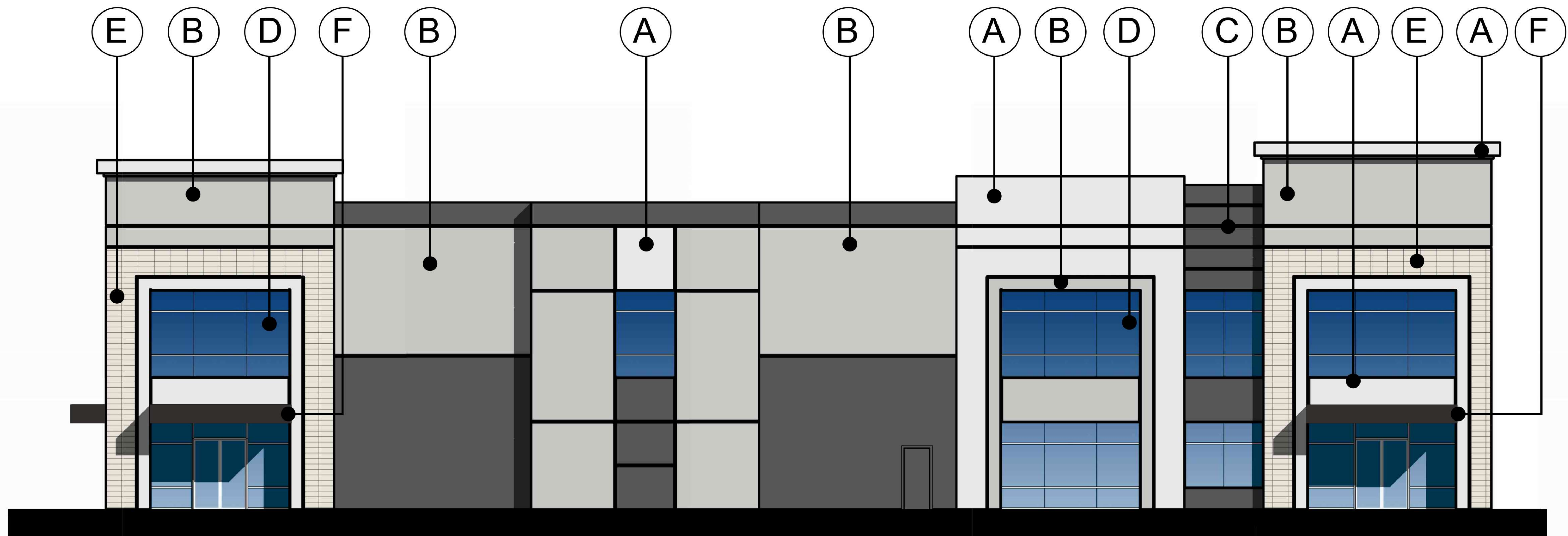
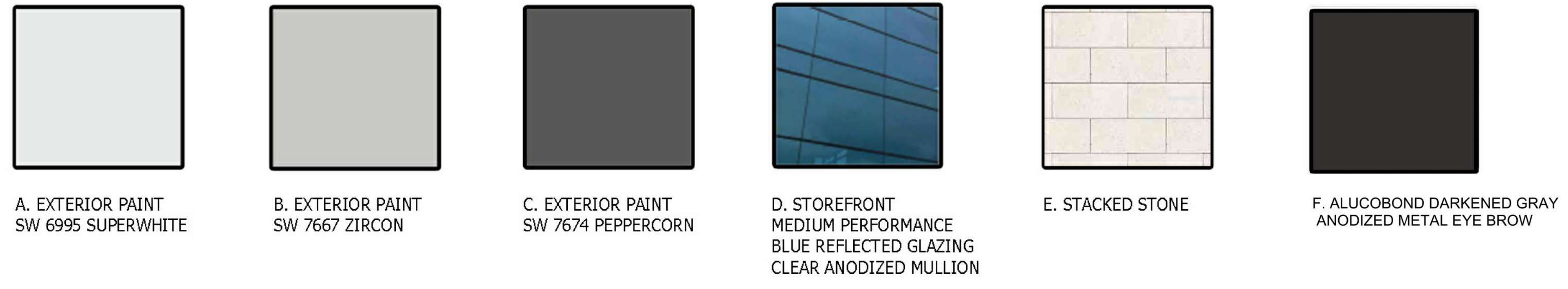
4 PROPOSED SOUTH ELEVATION
1" = 10'-0"

| KEYNOTES | |
|----------|---|
| 149 | CONCRETE TRUCK RAMP w/ 42" HIGH CONCRETE TILT-UP GUARD ON OPEN SIDE(S). PAINT ALL SIDES OF GUARD WALLS AND HANDRAILS SEE ARCHITECTURAL DRAWINGS FOR COLOR SCHEDULE. |
| 401 | PAINTED CONCRETE TILT-UP WALL PANEL. |
| 402 | WALL REVEAL. |
| 404 | PANEL JOINT. |
| 406 | STEEL SECTIONAL OVERHEAD DOOR. |

| GLAZING LEGEND & NOTES | |
|--|---|
| | STOREFRONT FRAMING: @ VISION GLAZING: MIN 2"x4" OFFSET SYSTEM U.N.O. @ NON VISION GLAZING: 2"x1 3/4" OFFSET SYSTEM U.N.O. STOREFRONT SYSTEM TO BE DESIGN BUILT BY THE GENERAL CONTRACTOR AND A DEFERRED SUBMITTAL FOR THIS PERMIT. DESIGN SHALL COMPLY WITH CODE WIND LOADING REQUIREMENTS. |
| | VISION GLAZING: @ CONDITIONED AREAS USE 1" INSULATED GLASS @ NONCONDITIONED AREAS USE 1/4" GLASS |
| | NON VISION GLAZING: USE 1/4" VISION GLASS. BACK PAINTING OF GLASS NOT REQUIRED. PAINT CONCRETE PANEL BEHIND GLASS BLACK OR DARK BLUE. COLOR TO BE DETERMINED BY ARCH. CONTRACTOR TO ENSURE SMOOTH CONCRETE FINISH BEHIND GLAZING. |
| NOTES: | |
| 1. ALL GLASS ADJACENT TO WALKING SURFACE OR OPERABLE DOOR OR WINDOW TO BE TEMPERED. | |
| 2. @ NON VISION SPANDREL GLAZING IN FRONT OF CONCRETE WALL PANEL. PAINT CONCRETE BEHIND GLASS BLACK AND PROVIDE 1" DIA. VENTILLATION HOLES IN THE CONCRETE A MAX OF 4'-0" O.C. | |
| 3. @ NON VISION GLAZING NOT IN FRONT OF CONCRETE WALL PANEL. PROVIDE TENCATE MIRAFI 140N FILTER FABRIC SHADE CLOTH. | |

| EXTERIOR COLOR LEGEND & NOTES | |
|---|---|
| | (A) WHITE EXTERIOR PAINT COLOR: SW 6995 SUPERWHITE |
| | (B) LIGHT GRAY EXTERIOR PAINT COLOR: SW 7667 ZIRCON |
| | (C) MEDIUM GRAY EXTERIOR PAINT COLOR: SW 7674 PEPPERCORN |
| | (E) STACKED STONE |
| | (F) ACM PANEL COLOR: MATCH STOREFRONT FRAMING. |
| EXPOSED STEEL BROW & CANOPY FRAMING: WALL BEHIND OPEN TRELLIS (KEY NOTE 428, OR 429) WHEN OCCURS & TRASH ENCLOSURE ROOF PAINT COLOR: MATCH STOREFRONT FRAMING. | |
| EXTERIOR STOREFRONT FRAMING COLOR: CLEAR ANODIZED ALUMINUM | |
| EXTERIOR GLASS COLOR FOR SINGLE GLAZING & EXTERIOR LAYER OF INSULATED GLASS: VISTACOOL PACIFICA | |
| EXTERIOR GLASS COLOR FOR THE INNER LAYER OF INSULATED GLASS: CLEAR GLASS | |
| NOTES: | |
| 1. PAINT MAN DOORS, STAR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS, LOUVERS, & ROOF LEVEL WALL PANEL RETURNS TO MATCH ADJACENT BUILDING WALL COLOR. U.O.N. | |
| 2. U.O.N., EXTERIOR SIDE OF TRUCK DOORS TO BE X INTERIOR SIDE TO BE PRE-FINISHED WITH MANUFACTURER'S LIGHT GRAY. | |
| 3. POWER WASH EXTERIOR CONCRETE WALLS PRIOR TO PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDE THE PRIMER COAT FROM ADHERING TO THE WALLS. | |
| 4. PAINT EXTERIOR WALLS w/ 1-COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2-COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. FINISHED JOB SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS OF THE COLOR. | |
| 5. EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CAULKED PER DETAIL 1/AD4.1. | |
| 6. PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE COLOR OF THE TRELLIS. | |
| 7. @ SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW. PAINT THE EXPOSED WALL CHAMFER JUST ABOVE OR BELOW THE BROW TO MATCH THE BROW COLOR. | |
| 8. PAINT ALL WALL REVEALS THE COLOR OF THE ADJACENT WALL WHEN THERE IS A COLOR CHANGE AT THE REVEAL. SEE 9/AD4.1. | |
| 9. U.O.N., PAINT THE SIDE OPPOSITE THE SIDE SHOWN OF SCREEN WALLS THE SAME COLOR AS THE SIDE SHOWN. IF THERE ARE TWO COLORS SHOWN, USE THE BASE COLOR. | |
| 10. ALL PAINTS USED SHALL BE AS SPECIFIED BY THE MANUFACTURER FOR THE PROPOSED USE. | |





1 ENLARGED VIEW @ NORTHEAST CORNER
1/2" = 1'-0"

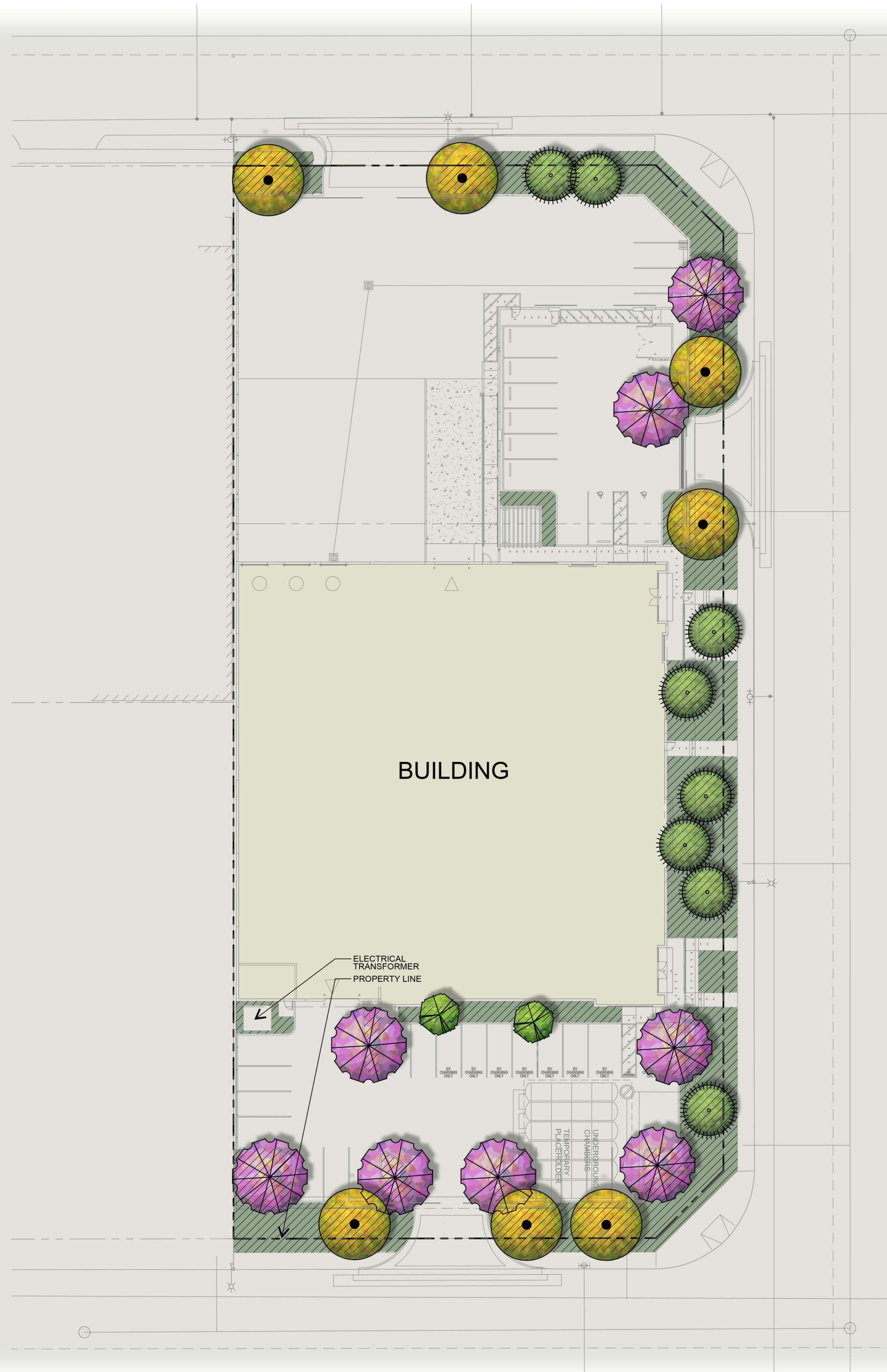


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COLOR BOARD

A5



PLANTING LEGEND

| TREES | | | | | |
|--------|---|--------------------|--------|--------|----------|
| SYMBOL | BOTANICAL/COMMON NAME | SIZE | QTY | WUCOLS | REMARKS |
| | <i>Cercidium</i> 'Desert Museum' Blue Palo Verde | 36" Box | 7 | L | Multi |
| | <i>Chilopsis linearis</i> Desert Willow | 36" Box 24" Box | 1 7 | L | Multi |
| | <i>Chitalpa tashkentensis</i> Chitalpa | 24" Box | 8 | L | Standard |
| | <i>Tristania conferta</i> Brisbane Box | 15 Gal | 2 | M | Standard |

Provided: 30% - 36" Trees

| SHRUBS | | | | | |
|--------|--|-------|-----|--------|------------------------------|
| SYMBOL | BOTANICAL/COMMON NAME | SIZE | QTY | WUCOLS | SPACING |
| | <i>Callistemon</i> 'Little John' Dwarf Bottle Brush | 5 Gal | 0 | M | 3' OC 2' from hardscape |
| | <i>Dianella</i> 'Cassa Blue' Dwarf Dianella | 5 Gal | 0 | M | 2' from hardscape 3' OC |
| | <i>Dianella tasmanica</i> Dianella | 5 Gal | 0 | M | 2' from hardscape 3' OC |
| | <i>Dietes bicolor</i> Fortnight Lily | 5 Gal | 0 | M | 2' from hardscape 3' OC |
| | <i>Ligustrum j. Texanum</i> Texas Privet | 5 Gal | 0 | M | 2' from hardscape 4' OC |
| | <i>Leucophyllum frutescens</i> Texas Ranger | 5 Gal | 0 | M | 2.5' from hardscape 4' OC |
| | <i>Muhlenbergia rigens</i> Deer Grass | 5 Gal | 0 | M | 2.5' from hardscape 3' OC |
| | <i>Rosmarinus o. 'Tuscan Blue'</i> Rosemary | 5 Gal | 0 | L | 2' from hardscape 4' OC |
| | <i>Salvia c. 'Allen Chickering'</i> Allen Chickering Sage | 5 Gal | 0 | L | 2.5' from hardscape 3' OC |
| | <i>Salvia greggii</i> Autumn Sage | 5 Gal | 0 | L | 2' from hardscape 3' OC |
| | <i>Salvia leucantha</i> Mexican Sage | 5 Gal | 0 | L | 2' from hardscape 5' OC |
| | <i>Westringia fruticosa</i> Coast Rosemary | 5 Gal | 0 | L | 3' from hardscape 3' OC |
| | <i>Westringia f. 'Grey Box'</i> Dwarf Coast Rosemary | 5 Gal | 0 | L | 2' from hardscape |

| ACCENTS | | | | | |
|---------|---|-------|-----|--------|---------|
| SYMBOL | BOTANICAL/COMMON NAME | SIZE | QTY | WUCOLS | REMARKS |
| | <i>Agave</i> 'Blue Glow' Blue Glow Agave | 5 Gal | 0 | L | |
| | <i>Aloe striata</i> Coral Aloe | 1 Gal | 0 | L | |
| | <i>Echeveria</i> 'Afterglow' Afterglow Echeveria | 5 Gal | 0 | L | |
| | <i>Hesperaloe parviflora</i> Red Yucca | 5 Gal | 0 | L | |

| GROUND COVER | | | | | |
|--------------|--|-------|----------|--------|---------|
| SYMBOL | BOTANICAL/COMMON NAME | SIZE | SPACING | WUCOLS | REMARKS |
| | <i>Acacia redolens</i> 'Low Boy' Dwarf Acacia | 1 Gal | 8" O.C. | L | |
| | <i>Carissa m. 'Green Carpet'</i> Prostrate Natal Plum | 1 Gal | 36" O.C. | M | |
| | <i>Lonicera j. 'Halliana'</i> Hall's Honeysuckle | 1 Gal | 48" O.C. | L | |
| | <i>Rosmarinus o. 'Huntington Carpet'</i> Prostrate Rosemary | 1 Gal | 48" O.C. | L | |

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