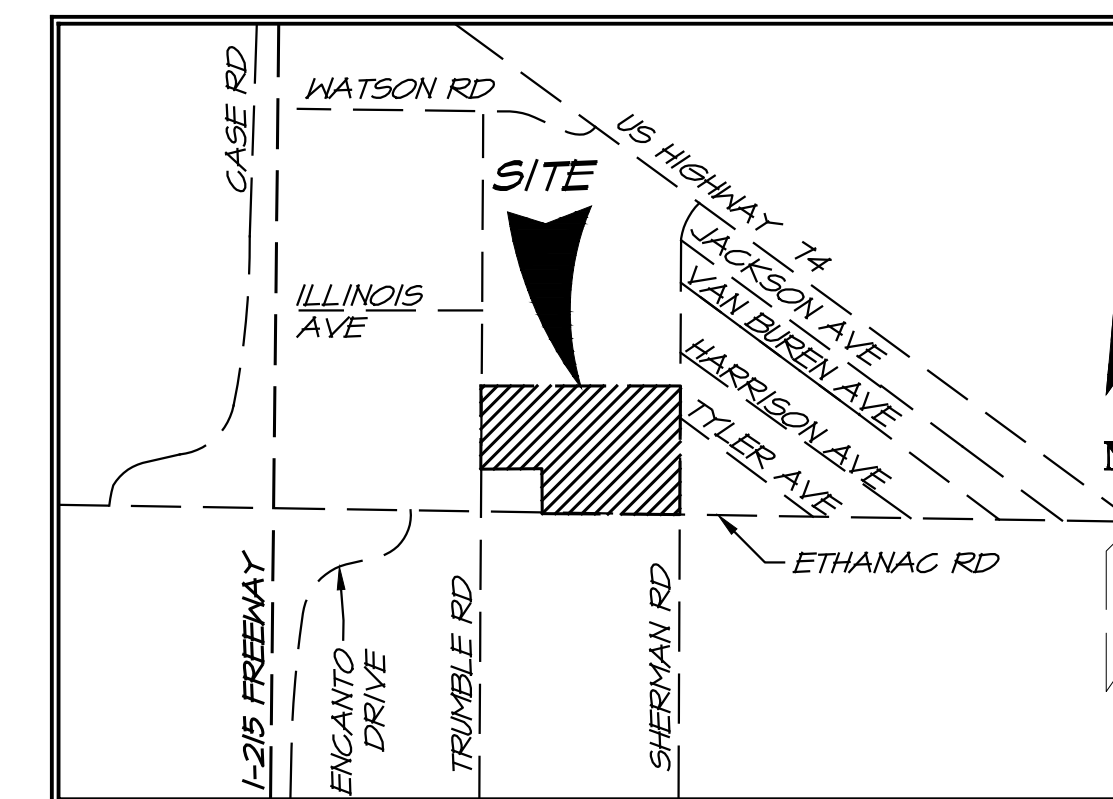


IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA DEVELOPMENT PLAN REVIEW NO. 22-00030

LOCATED IN SECTION 10 SW, T. 5S., R. 3W., S.B.M.



VICINITY MAP
NTS

OWNER/APPLICANT

HILLWOOD INVESTMENT PROPERTIES
901 VIA PIEMONTE STE. 175
ONTARIO CA, 91764
CONTACT: NOAH SHIH
EMAIL: NOAHSHIH@HILLWOOD.COM
PHONE: (909) 256-5912

PROJECT REPRESENTATIVE

ALBERT A. WEBB ASSOCIATES
3788 MCCRAY STREET
RIVERSIDE, CA 92506
CONTACT: RICHARD BELMUEZ
PHONE: (951) 686-1070
FAX: (951) 788-1256

SOILS ENGINEER

SOUTHERN CALIFORNIA GEOTECHNICAL
22885 E. SAVI RANCH PARKWAY,
SUITE E
YORBA LINDA, CA 92887
CONTACT: ROBERT TRAZO
PHONE: (714) 685-1115
FAX: (714) 685-1118

ENGINEER

ALBERT A. WEBB ASSOCIATES
3788 MCCRAY STREET
RIVERSIDE, CA 92506
CONTACT: SARAH KOWALSKI
PHONE: (951) 686-1070
FAX: (951) 788-1256

A.P.N.

324-240-016 THRU -020, -023,
THRU -027

ACREAGE

GROSS 21.6 AC
NET 20.0 AC
R/W 1.6 AC

LAND USE

EXISTING LAND USE: VACANT
EXISTING GENERAL PLAN LAND USE: COMMERCIAL COMMUNITY (CC)
EXISTING ZONING: COMMERCIAL COMMUNITY (CC)
PROPOSED GENERAL PLAN LAND USE: LIGHT INDUSTRIAL (LI)
PROPOSED ZONING: LIGHT INDUSTRIAL (LI)

PROJECT DATA

| | |
|--------------------------|------------|
| BUILDING AREA | 10,000 SF |
| OFFICE - FIRST FLOOR | 5,000 SF |
| OFFICE - SECOND FLOOR | 5,000 SF |
| WAREHOUSE | 347,348 SF |
| TOTAL BUILDING FOOTPRINT | 407,348 SF |
| TOTAL FLOOR AREA | 412,348 SF |

AUTO PARKING REQUIRED

| | |
|--|------------|
| OFFICE: | N/A |
| (1 STALL/300 SF IF LESS THAN 10% GFA) | |
| WAREHOUSE: | 105 STALLS |
| 400K SF @ (30 STALLS + 1 STALL/5,000 SF) | |
| TOTAL: | 105 STALLS |

AUTO PARKING PROVIDED

| | |
|----------------------------|------------|
| STANDARD (9' x 19') | 76 STALLS |
| ADA STANDARD (9' x 19') | 3 STALLS |
| ADA VAN (12' x 19') | 2 STALLS |
| EV ADA STANDARD (9' x 19') | 1 STALLS |
| EV ADA VAN (12' x 19') | 1 STALLS |
| EV AMBULATORY (10' x 19') | 1 STALLS |
| EVCS STANDARD (9' x 19') | 3 STALLS |
| EV CALPABLE (9' x 19') | 19 STALLS |
| TOTAL: | 106 STALLS |

TRAILER PARKING REQUIRED

| | |
|------------|-----------|
| 175,000 SF | 82 STALLS |
|------------|-----------|

TRAILER PARKING PROVIDED

| | |
|-----------------------------|------------|
| TYPICAL TRAILER (10' x 55') | 144 STALLS |
|-----------------------------|------------|

EARTHWORK ESTIMATE

| | |
|-------|------------------|
| CUT: | 14,800 CY |
| FILL: | 65,600 CY |
| NET: | 51,000 CY (FILL) |

SHEET INDEX

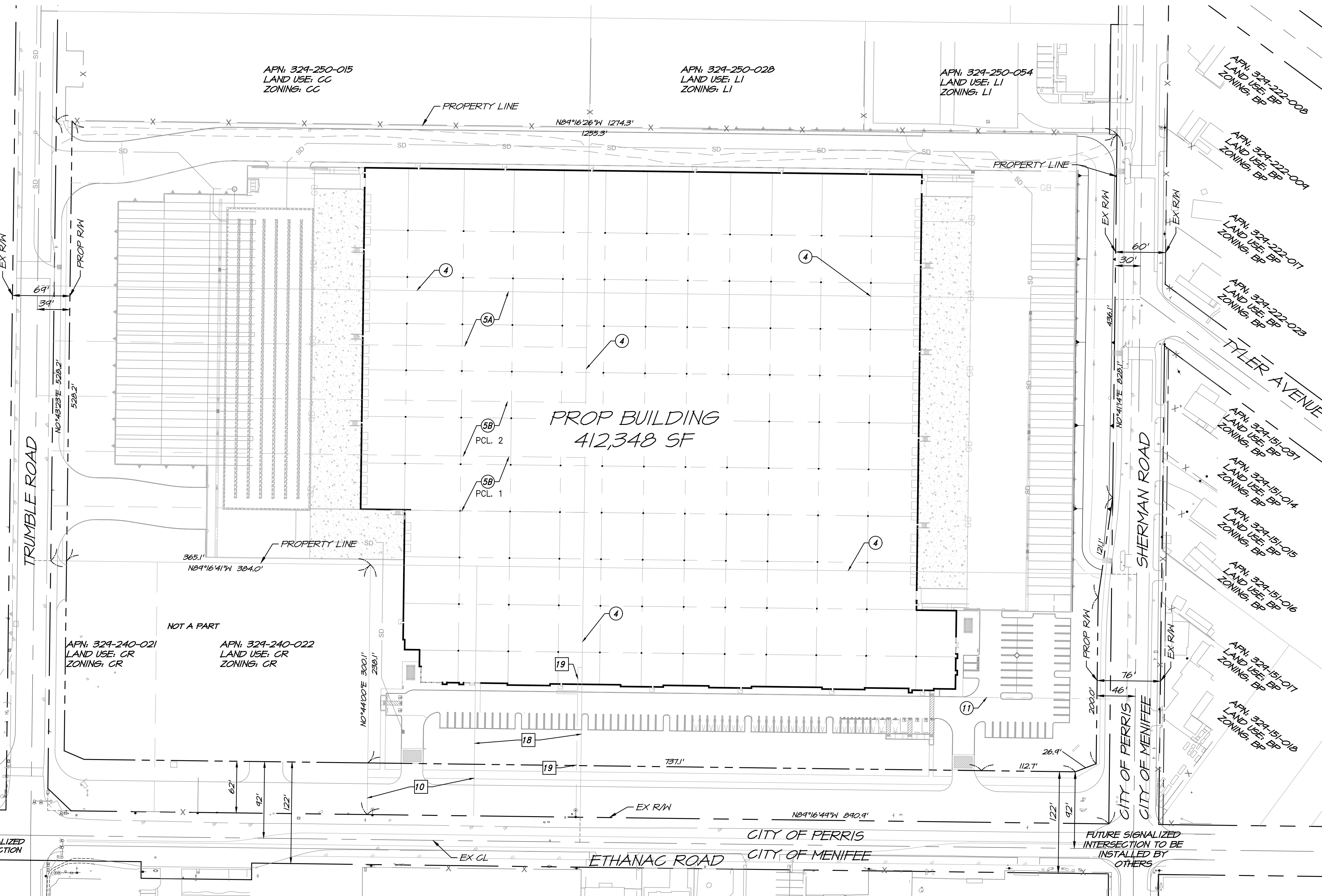
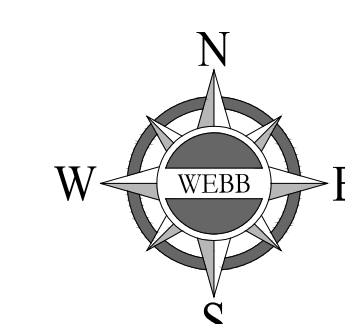
| | |
|---------------------------------------|--|
| SHEET 1 - TITLE SHEET | |
| SHEET 2 - STREET AND GRADING SECTIONS | |
| SHEET 3 - CONCEPTUAL GRADING | |
| SHEETS 4-5 - CONCEPTUAL UTILITIES | |

| | | |
|---|------|----|
| PUBLIC DETENTION BASIN ADDED | 4/23 | AG |
| PUBLIC DETENTION BASIN REMOVED | 8/23 | RB |
| GRADING REVISED TO PERPETUATE OFFSITE FLOWS | 1/24 | RB |
| REVISIONS | DATE | BY |

CITY OF PERRIS

**ETHANAC LOGISTICS CENTER
TITLE SHEET
DEVELOPMENT PLAN REVIEW NO. 22-00030**

| | |
|------------------|--------------|
| SCALE: 1" = 70' | W.O. 22-0198 |
| DATE: 8/28/2024 | SHEET 1 |
| DESIGNED: AG | OF 5 SHEETS |
| CHECKED: SK | DWG. NO. |
| PLN CK REF: F.B. | |



**PROP BUILDING
412,348 SF**

- APN: 324-250-009
LAND USE: CC
ZONING: CC
- APN: 324-250-012
LAND USE: CC
ZONING: CC
- APN: 324-250-015
LAND USE: CC
ZONING: CC
- APN: 324-250-028
LAND USE: LI
ZONING: LI
- APN: 324-250-054
LAND USE: LI
ZONING: LI
- APN: 324-222-008
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- APN: 324-222-017
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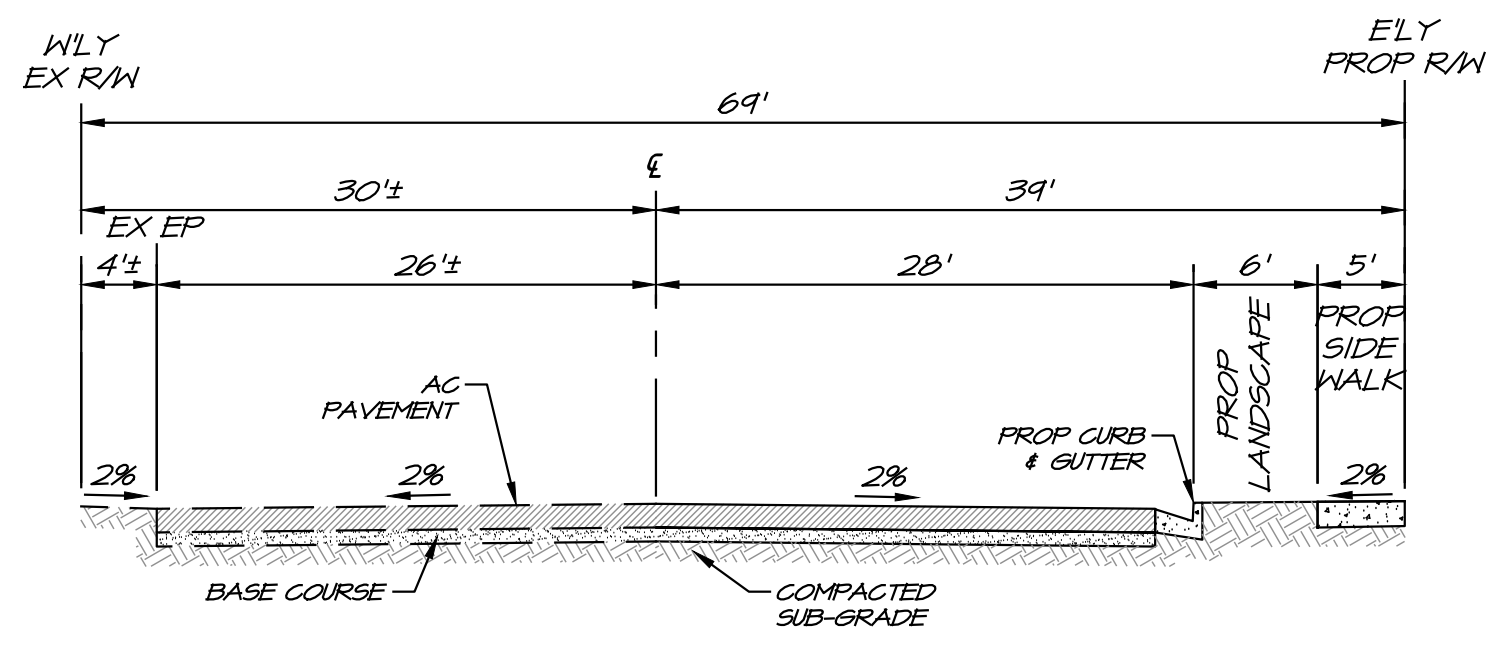
- GENERAL INFORMATION**
- ALL PARCELS WITHIN PROJECT BOUNDARY TO BE COMBINED VIA PARCEL MAP
 - THOMAS BROS. MAP BOOK PAGE: 038, GRID: C1 AND D1
 - PROJECT IS NOT WITHIN A SPECIFIC PLAN
 - PROJECT LIES WITHIN THE CITY OF PERRIS REDEVELOPMENT PROJECT AREA.
 - PROJECT LIES WITHIN CFD NO. 1.
 - EASEMENTS OF RECORD ARE PLOTTED HEREIN.
 - PROJECT IS WITHIN EASTERN MUNICIPAL WATER DISTRICT
 - THERE ARE NO EXISTING WELLS ON THE PROPERTY.
 - ALL SLOPES ARE 2:1 RATIO, UNLESS OTHERWISE NOTED.
 - LAND IS NOT WITHIN A SPECIAL STUDIES ZONE.
 - LAND HAS LOW POTENTIAL FOR LIQUEFACTION PER SOCAL GEO REPORT DATED 02/23/2022.
 - SUB-SURFACE SEPTIC DISPOSAL IS NOT INTENDED ON SITE.
 - STRUCTURES AND/OR DWELLINGS DO NOT EXIST ON SITE.
 - THE PROJECT WILL COMPLY WITH NPDES REQUIREMENTS AS REQUIRED BY NPDES SUPPLEMENT "A".
 - FLOOD ZONE X, AREA OF LOW FLOODING PER FEMA PANEL 06065C2060H.
 - PROJECT LIES WITHIN AIRPORT LAND USE COMPATIBILITY ZONE D
 - ARCHITECTURAL SITE PLAN PROVIDED BY HPA ARCHITECTURE ON 04/19/24

- UTILITY PROVIDERS**
- WATER:** EASTERN MUNICIPAL WATER DISTRICT
PHONE: (951) 685-7434
- SEWER:** EASTERN MUNICIPAL WATER DISTRICT
PHONE: (951) 685-7434
- GAS:** SOUTHERN CALIFORNIA GAS COMPANY
PHONE: (909) 307-1070
- ELECTRIC:** SOUTHERN CALIFORNIA EDISON
PHONE: 1 (800) 655-4555
- TELEPHONE:** CHARTER COMMUNICATIONS (SPECTRUM)
PHONE: (951) 406-1666
- CABLE T.V.:** FRONTIER COMMUNICATIONS
PHONE: (310) 264-5100
- SCHOOL DISTRICT(S):** ROMOLAND SCHOOL DISTRICT (TK-8)
PHONE: (951) 926-9244
PERRIS UNION HIGH SCHOOL DISTRICT (9-12)
PHONE: (951) 943-6369

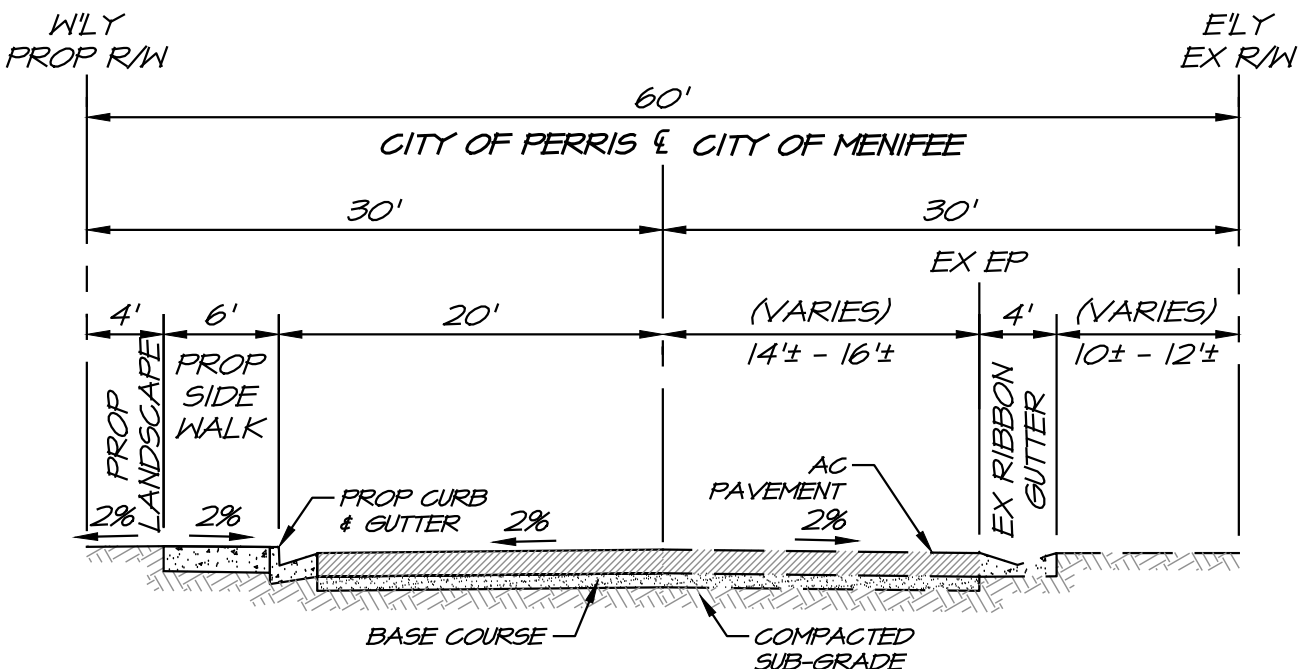
EASEMENT NOTES
SEE SHEET 2

LEGAL DESCRIPTION
SEE SHEET 2

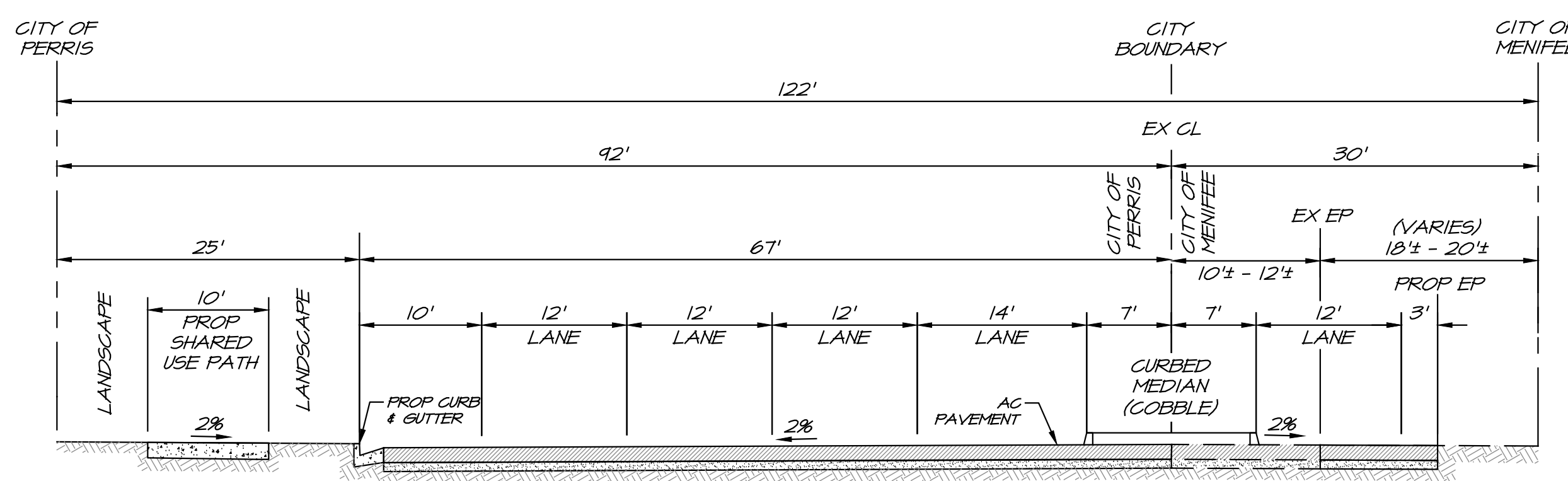
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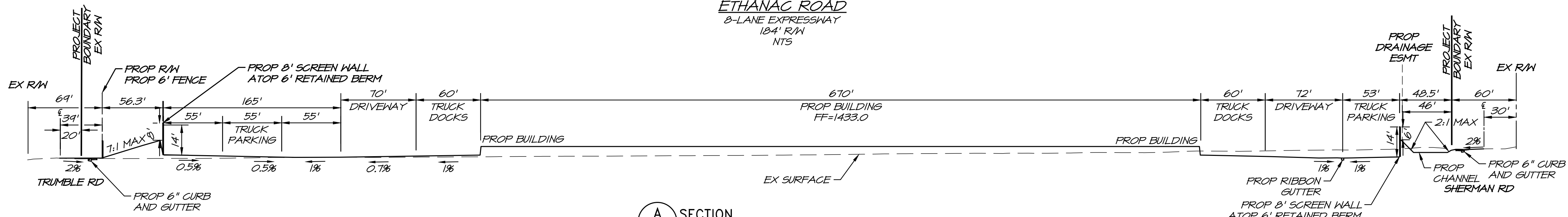
TRUMBLE ROAD
MAJOR COLLECTOR
18' R/W
NTS



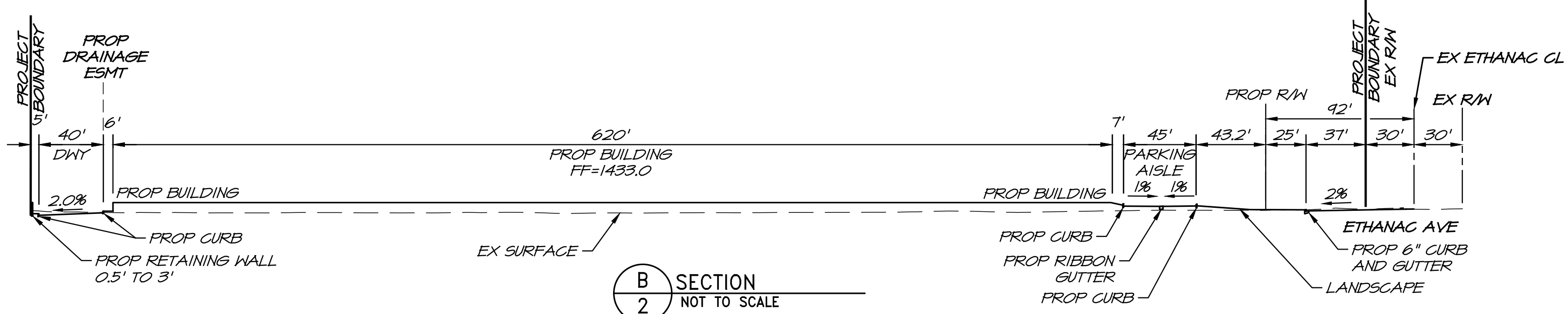
SHERMAN ROAD
LOCAL
60' R/W
NTS



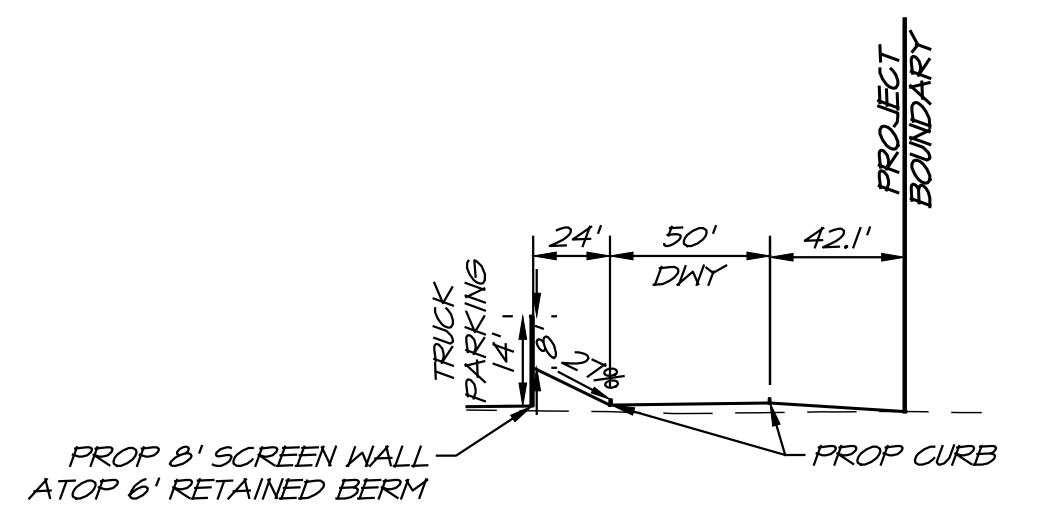
ETHANAC ROAD
8-LANE EXPRESSWAY
184' R/W
NTS



A SECTION
2
NOT TO SCALE



B SECTION
2
NOT TO SCALE



C SECTION
2
NOT TO SCALE

EASEMENT NOTES

- APN: 324-240-016 THRU -020 AND 324-240-025 THRU -027.
4. AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED JUNE 25, 1921 IN BOOK 120 OF DEEDS, PAGE 209, IN FAVOR OF SOUTHERN SIERRAS POWER COMPANY. THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
 5. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED APRIL 17, 1934 AS BOOK 170, PAGE 305 AND JANUARY 13, 1936 IN BOOK 259, PAGE 560 (BOTH) OF OFFICIAL RECORDS, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, NATIONAL ORIGIN, SEXUAL ORIENTATION, MARITAL STATUS, ANCESTRY, SOURCE OF INCOME OR DISABILITY, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE TITLE 42, SECTION 3604(C), OF THE UNITED STATES CODES. LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS. [(5A) BOOK 170, PAGE 305 & (5B) BOOK 259, PAGE 560]
 11. AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED AUGUST 8, 1941 AS BOOK 846, PAGE 355 OF OFFICIAL RECORDS, IN FAVOR OF CALIFORNIA ELECTRIC POWER COMPANY. [± OF UNDISCLOSED WIDTH]
 - APN: 324-240-023 AND -024
 10. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED APRIL 24, 1933 AS BOOK 120, PAGE 397 OF OFFICIAL RECORDS, WHICH PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE LIEN OF ANY FIRST MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, NATIONAL ORIGIN, SEXUAL ORIENTATION, MARITAL STATUS, ANCESTRY, SOURCE OF INCOME OR DISABILITY, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE TITLE 42, SECTION 3604(C), OF THE UNITED STATES CODES OR SECTION 12955 OF THE CALIFORNIA GOVERNMENT CODE. LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS.
 12. EASEMENTS, COVENANTS AND CONDITIONS CONTAINED IN THE DEED FROM ETHANAC RANCHO, LTD, AS GRANTOR, TO PHILA M. LAUDIG, AS GRANTEE, RECORDED APRIL 24, 1933 AS BOOK 123, PAGE 42 OF OFFICIAL RECORDS. REFERENCE BEING MADE TO THE DOCUMENT FOR FULL PARTICULARS. [BLANKET IN NATURE]
 14. AN EASEMENT FOR TELEPHONE LINE, CONSISTING OF POLES, NECESSARY GUYS AND ANCHORS, BRACES, CROSS-ARMS, WIRE, CABLES, AND OTHER FIXTURES AND APPLIANCES, FOR CONVEYING ELECTRIC ENERGY, TO BE USED FOR COMMUNICATION, TELEPHONE, TELEGRAPH AND/OR OTHER PURPOSES AND ACCESS FOR EXERCISING THE RIGHTS AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 18, 1961 AS INSTRUMENT NO. 194975, BOOK 2483, PAGE 446 OF OFFICIAL RECORDS, IN FAVOR OF CALIFORNIA WATER & TELEPHONE COMPANY, A CORPORATION, AND ITS SUCCESSORS.

LEGAL DESCRIPTION

APN: 324-240-016 (AFFECTS THE PORTION OF LOT 133), 324-240-017 (AFFECTS THE PORTION OF LOT 134), 324-240-018 (AFFECTS THE PORTION OF LOT 134), 324-240-019 (AFFECTS THE PORTION OF LOT 134), 324-240-020 (AFFECTS THE PORTION OF LOT 134), 324-240-026 (AFFECTS THE LOT 137), 324-240-021 (AFFECTS THE PORTION OF LOT 139), 324-240-025 (AFFECT LOT 136).

REAL PROPERTY IN THE CITY OF FERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL A:
LOTS 134, 137 AND THE SOUTH 198 FEET OF LOTS 133 AND 138 OF ROMOLA FARMS NO. 6A, IN THE CITY OF FERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 14, PAGES 63, 64, AND 65 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL B:
LOT 136 OF ROMOLA FARMS NO. 6A, IN THE CITY OF FERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 14, PAGES 63, 64, AND 65 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 324-240-023 (AFFECTS PARCEL A) AND 324-240-024 (AFFECTS PARCEL B)

PARCEL A:
THE WESTERLY 128.00 FEET OF THE EASTERLY 256.00 FEET OF LOT 135 OF ROMOLA FARMS NO. 6-A, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGES 63, 64 AND 65 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL B:
THAT PORTION OF LOT 135 OF ROMOLA FARMS NO. 6A, AS SHOWN BY MAP OF SAID TRACT ON FILE IN BOOK 14, PAGES 63, 64, AND 65 OF MAPS, RIVERSIDE COUNTY RECORDS, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 135; THENCE WEST, ON THE SOUTH LINE OF SAID LOT, 128 FEET; THENCE NORTH, PARALLEL WITH THE EAST LINE OF SAID LOT, 300 FEET, TO A POINT ON THE NORTH LINE OF SAID LOT, 128 FEET WEST OF THE NORTHEAST CORNER THEREOF; THENCE EAST, ON THE NORTH LINE OF SAID LOT, 128 FEET, TO THE NORTHEAST CORNER THEREOF; THENCE SOUTH, ON THE EAST LINE OF SAID LOT, 300 FEET, TO THE POINT OF BEGINNING.

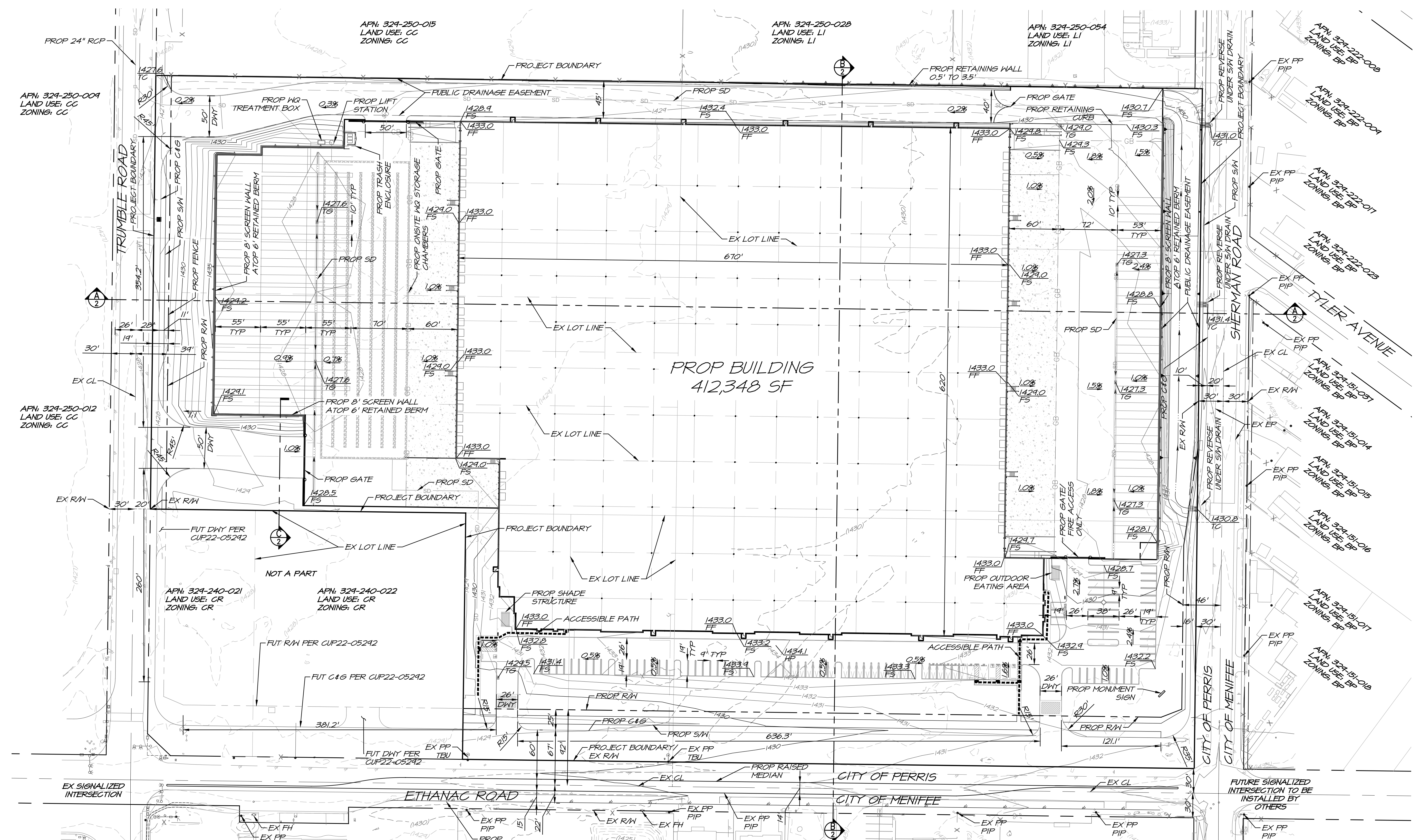
| | | |
|---|------|----|
| REVISED SECTIONS FOR PUBLIC DETENTION BASIN | 4/23 | AG |
| PUBLIC DETENTION BASIN REMOVED | 8/23 | RB |
| GRADING REVISED TO PERPETUATE OFFSITE FLOWS | 1/24 | RB |
| REVISIONS | DATE | BY |

CITY OF FERRIS

ETHANAC LOGISTICS CENTER
GRADING AND STREET SECTIONS
DEVELOPMENT PLAN REVIEW NO. 22-00030

| | | | |
|-----------------|---------------------------|-------------------------|--------------|
| SCALE: NTS | ALBERT A. WEBB ASSOCIATES | ENGINEERING CONSULTANTS | W.O. 22-0198 |
| DATE: 8/28/2024 | 3788 MCGRAY STREET | 3788 MCGRAY STREET | SHEET 2 |
| DESIGNED: AG | RIVERSIDE CA 92506 | RIVERSIDE CA 92506 | OF 5 SHEETS |
| CHECKED: SK | PH. (951) 686-1070 | PH. (951) 686-1070 | |
| PLN CK REF: | CHECKED: SK | FAX (951) 788-1256 | DWG. NO. |
| F.B. | | | |

PRELIMINARY
H:\2022\22-0198\DRAWINGS\ENTITLEMENT\22-0198-C-PP.DWG 8/28/2024 2:45:52 PM Dmodysp



LEGEND

- (1430) --- EXISTING CONTOUR
- EXISTING CENTER LINE
- EXISTING EASEMENT
- EXISTING EDGE OF PAVEMENT
- X EXISTING FENCE
- EXISTING LOT LINE
- GB --- GRADE BREAK
- PROJECT BOUNDARY
- PROPOSED CENTER LINE
- (1430) --- PROPOSED CONTOUR
- PROPOSED CURB
- PROPOSED RIGHT OF WAY

ABBREVIATIONS

- CB CATCH BASIN
- EP EDGE OF PAVEMENT
- EX EXISTING
- FF FINISHED FLOOR
- FH FIRE HYDRANT
- FS FINISHED SURFACE
- PIP PROTECT IN PLACE
- PROP PROPOSED
- R/W RIGHT-OF-WAY
- RCB REINFORCED CONCRETE BOX
- RCP REINFORCED CONCRETE PIPE
- S/W SIDEWALK
- TBU TO BE UNDERGROUNDED
- TG TOP OF GRATE
- TYP TYPICAL

APN: 331-110-004 LAND USE: CR ZONING: CR

APN: 331-110-005 LAND USE: BP ZONING: BP

APN: 331-110-006 LAND USE: BP ZONING: BP

APN: 331-110-008 LAND USE: BP ZONING: BP

APN: 331-110-009 LAND USE: BP ZONING: BP

APN: 331-110-010 LAND USE: BP ZONING: BP

APN: 331-110-011 LAND USE: BP ZONING: BP

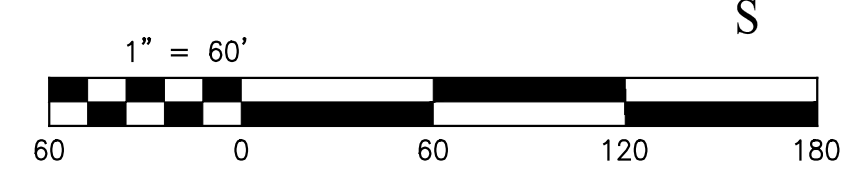
APN: 331-114-001 LAND USE: BP ZONING: BP

| REVISIONS | DATE | BY |
|---|------|----|
| PUBLIC DETENTION BASIN ADDED | 4/23 | AG |
| PUBLIC DETENTION BASIN REMOVED | 8/23 | RB |
| GRADING REVISED TO PERPETUATE OFFSITE FLOWS | 1/24 | RB |

CITY OF PERRIS

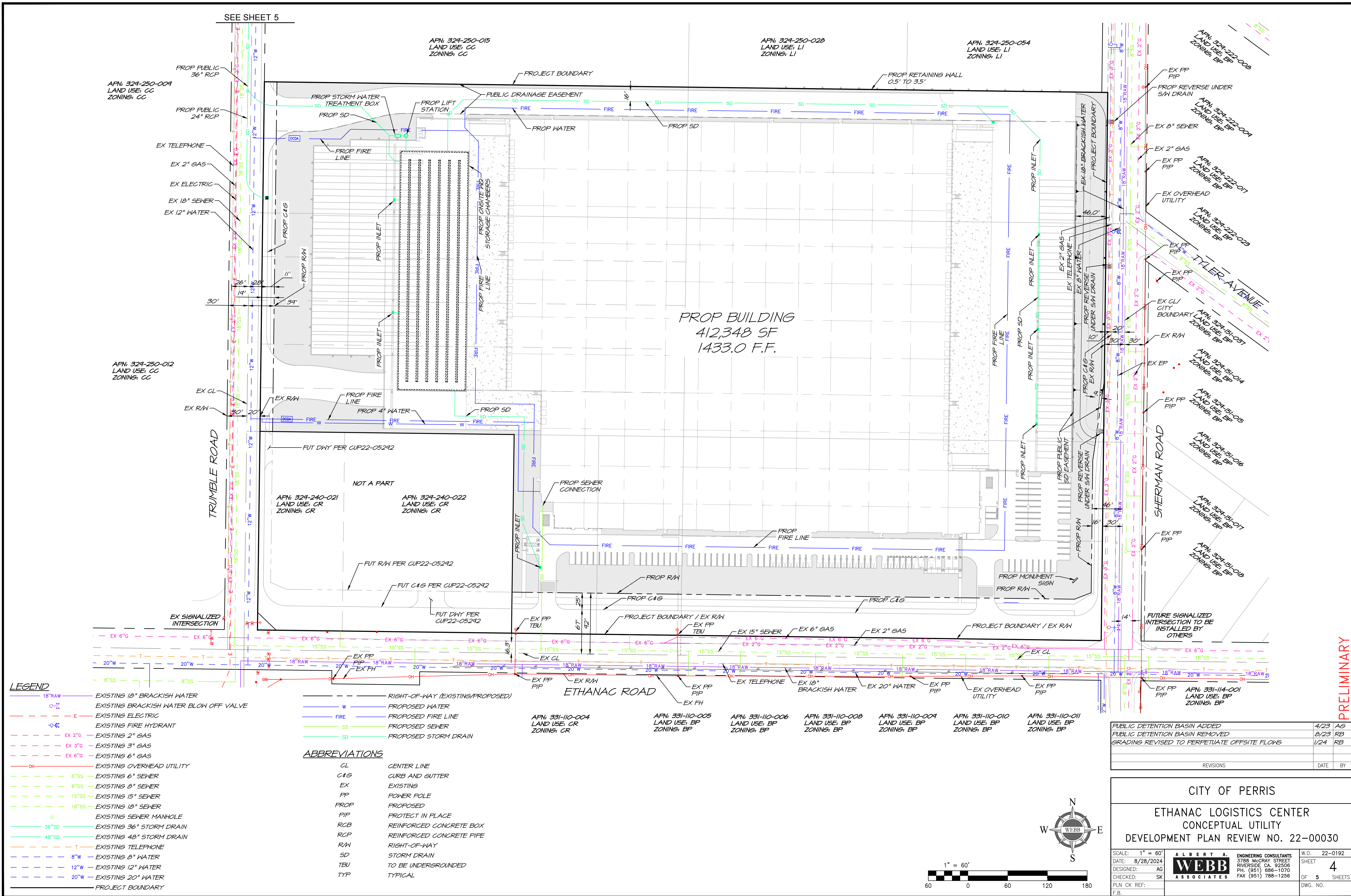
ETHANAC LOGISTICS CENTER
CONCEPTUAL GRADING
DEVELOPMENT PLAN REVIEW NO. 22-00030

| | | | |
|-----------------|----------------------------------|--|--------------|
| SCALE: 1" = 60' | ALBERT A. WEBB ASSOCIATES | ENGINEERING CONSULTANTS 3788 MCGRAY STREET RIVERSIDE, CA 92506 PH. (951) 686-1070 FAX (951) 788-1256 | W.O. 22-0198 |
| DATE: 8/28/2024 | | | SHEET 3 |
| DESIGNED: AG | | | OF 5 SHEETS |
| CHECKED: SK | | | DWG. NO. |
| PLN CK REF: | | | |
| F.B. | | | |



PRELIMINARY

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PROP BUILDING
412,348 SF
1433.0 F.F.

- LEGEND**
- 18"RAW EXISTING 18" BRACKISH WATER
 - EXISTING BRACKISH WATER BLOW OFF VALVE
 - EXISTING ELECTRIC
 - EXISTING FIRE HYDRANT
 - EX 2"G EXISTING 2" GAS
 - EX 3"G EXISTING 3" GAS
 - EX 6"G EXISTING 6" GAS
 - OH EXISTING OVERHEAD UTILITY
 - 6"SS EXISTING 6" SEWER
 - 8"SS EXISTING 8" SEWER
 - 15"SS EXISTING 15" SEWER
 - 18"SS EXISTING 18" SEWER
 - EXISTING SEWER MANHOLE
 - 36"SD EXISTING 36" STORM DRAIN
 - 48"SD EXISTING 48" STORM DRAIN
 - EXISTING TELEPHONE
 - 8"W EXISTING 8" WATER
 - 12"W EXISTING 12" WATER
 - 20"W EXISTING 20" WATER
 - PROJECT BOUNDARY

- ABBREVIATIONS**
- CL CENTER LINE
 - C&G CURB AND GUTTER
 - EX EXISTING
 - PP POWER POLE
 - PROP PROPOSED
 - PIP PROTECT IN PLACE
 - RCB REINFORCED CONCRETE BOX
 - RCP REINFORCED CONCRETE PIPE
 - R/W RIGHT-OF-WAY
 - SD STORM DRAIN
 - TBU TO BE UNDERGROUNDED
 - TYP TYPICAL

| REVISIONS | DATE | BY |
|---|------|----|
| PUBLIC DETENTION BASIN ADDED | 4/23 | AG |
| PUBLIC DETENTION BASIN REMOVED | 8/23 | RB |
| GRADING REVISED TO PERPETUATE OFFSITE FLOWS | 1/24 | RB |

CITY OF PERRIS

**ETHANAC LOGISTICS CENTER
CONCEPTUAL UTILITY
DEVELOPMENT PLAN REVIEW NO. 22-00030**

SCALE: 1" = 60'
DATE: 8/28/2024
DESIGNED: AG
CHECKED: SK
PLN CK REF:
F.B.

W.O. 22-0192
SHEET 4
OF 5 SHEETS
DWG. NO.

PRELIMINARY

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SEE SHEET 4

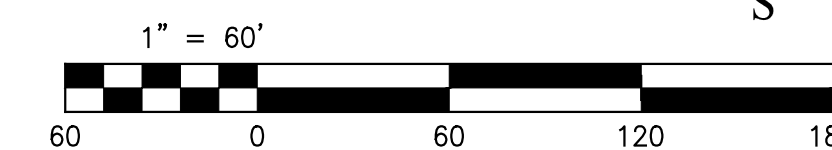
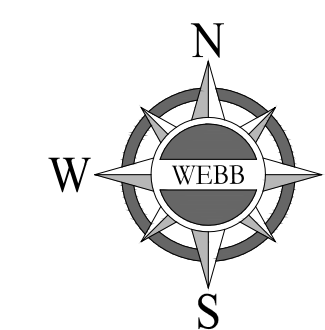
LEGEND

- 18"RAW — EXISTING 18" BRACKISH WATER
- ⊕ — EXISTING BRACKISH WATER BLOW OFF VALVE
- E — EXISTING ELECTRIC
- ⊕ — EXISTING FIRE HYDRANT
- EX 2"G — EXISTING 2" GAS
- EX 3"G — EXISTING 3" GAS
- EX 6"G — EXISTING 6" GAS
- OH — EXISTING OVERHEAD UTILITY
- 6"SS — EXISTING 6" SEWER
- 8"SS — EXISTING 8" SEWER
- 15"SS — EXISTING 15" SEWER
- 18"SS — EXISTING 18" SEWER
- ⊙ — EXISTING SEWER MANHOLE
- 36"SD — EXISTING 36" STORM DRAIN
- 48"SD — EXISTING 48" STORM DRAIN
- T — EXISTING TELEPHONE
- 8"W — EXISTING 8" WATER
- 12"W — EXISTING 12" WATER
- 20"W — EXISTING 20" WATER
- — PROJECT BOUNDARY

- — — — — RIGHT-OF-WAY (EXISTING/PROPOSED)
- W — PROPOSED WATER
- FIRE — PROPOSED FIRE LINE
- SS — PROPOSED SEWER
- SD — PROPOSED STORM DRAIN

ABBREVIATIONS

- CL — CENTER LINE
- C&G — CURB AND GUTTER
- EX — EXISTING
- PP — POWER POLE
- PROP — PROPOSED
- PIP — PROTECT IN PLACE
- RCB — REINFORCED CONCRETE BOX
- RCP — REINFORCED CONCRETE PIPE
- R/W — RIGHT-OF-WAY
- SD — STORM DRAIN
- TBU — TO BE UNDERGROUNDED
- TYP — TYPICAL



| REVISIONS | DATE | BY |
|---|------|----|
| REFERENCE TO MDP LINE A-II ADDED | 4/23 | AG |
| PUBLIC DETENTION BASIN REMOVED | 8/23 | RB |
| GRADING REVISED TO PERPETUATE OFFSITE FLOWS | 1/24 | RB |

| | |
|--|--------------|
| CITY OF PERRIS | |
| ETHANAC LOGISTICS CENTER CONCEPTUAL UTILITY DEVELOPMENT PLAN REVIEW NO. 22-00030 | |
| SCALE: 1" = 60' | W.O. 22-0192 |
| DATE: 8/28/2024 | SHEET 5 |
| DESIGNED: AG | OF 5 SHEETS |
| CHECKED: SK | DWG. NO. |
| PLN CK REF: | |
| F.B. | |

| | |
|---------------------------|---|
| WEBB ASSOCIATES | ENGINEERING CONSULTANTS 3785 MCGRAY STREET RIVERSIDE CA 92506 PH. (951) 686-1070 FAX (951) 788-1256 |
|---------------------------|---|

PRELIMINARY

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