



CITY OF PERRIS

CITY COUNCIL AGENDA SUBMITTAL

MEETING DATE:

November 14, 2023

SUBJECT:

Conditional Use Permit (CUP) 22-05023 - A proposal to consider an appeal of the Planning Commission denial of CUP 22-05023 for the construction of a 395,500 square foot industrial warehouse building on 19.16 acres, located on the southwest corner of Mapes Road and Trumble Road, in the Business Park (BP) Zone. Applicant: Russell Pierce, RDP Development, Inc.

REQUESTED ACTION:

Adopt Resolution Number (*next in order*) upholding the Planning Commission's decision to deny Conditional Use Permit (CUP) 22-05023 for the construction of a 395,500 square foot industrial warehouse building or

Alternate Resolution:

Adopt Alternate Resolution Number (*next in order*) adopting Mitigated Negative Declaration 2387 and approving Conditional Use Permit (CUP) 22-05023 based on the findings and subject to Conditions of Approval.

CONTACT:

Kenneth Phung, Director of Development Services

BACKGROUND:

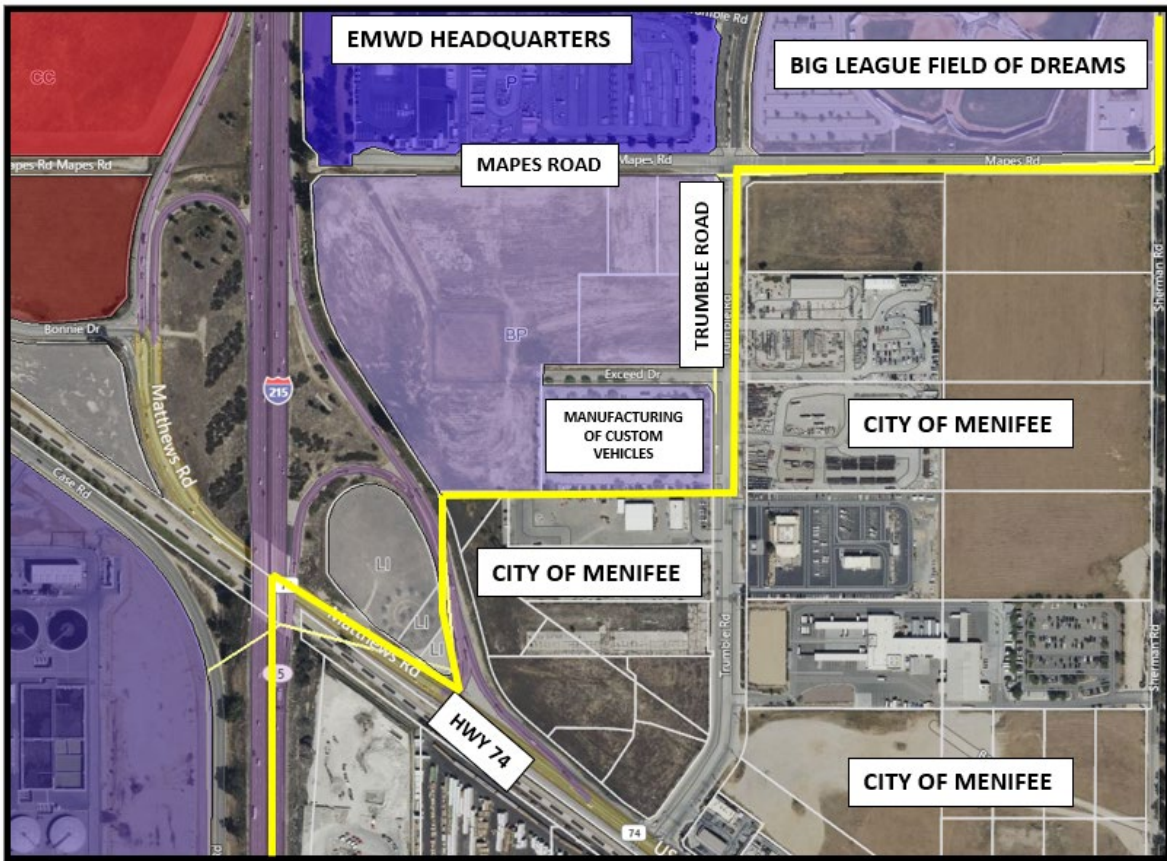
On August 16, 2023, the Planning Commission denied Conditional Use Permit 22-05023 by a 5-0 vote for the construction of a 395,500 square foot industrial warehouse building consisting of 12,000 square feet of office area and 383,500 square feet of warehouse area, on 19.16 acres, located on the southwest corner of Mapes Road and Trumble Road, in the Business Park (BP) Zone, which allows warehousing/distribution facilities subject to the granting of a Conditional Use Permit (CUP).

On August 23, 2023, the applicant filed an appeal of the Planning Commission's denial of the proposed project. The appeal application was noticed for the City Council meeting on October 10, 2023, but a continuance was requested by the applicant to November 14, 2023, to work on technical matters related to the project. Since the meeting, the applicant is proposing potential changes with a commercial component, which the applicant will present before the City Council meeting on November 14, 2023. The applicant has informed staff that they will be requesting direction from the City Council at the meeting on the commercial concept before finalizing the

plan which they would want to present to the Planning Commission for feedback before bringing the appeal application back to the City Council for final consideration.

As a matter of information, the CUP option is only available for land in the BP zone outside of the Perris Valley Commerce Center Specific Plan, and is only on a case-by-case basis where it can be determined there is compatibility with the surrounding area.

The project site in this case is surrounded by Eastern Municipal Water District (EMWD) headquarters to the north across Mapes Road, Big League Dreams and Drop Zone Waterpark to the northeast across Mapes and Trumble Roads, industrial development with outdoor storage yards and vacant land in the City of Menifee zoned for industrial uses to the east across Trumble Road, industrial development to the south across Exceed Drive in the City of Menifee and Perris, and Interstate 215 freeway to the west. The aerial map below highlights the existing surrounding land uses and the boundaries between Perris and Menifee:



PLANNING COMMISSION MEETING

Planning Commission Discussion

At the August 16, 2023 meeting, the Planning Commission deliberated on this project and expressed the following concerns, which served as the findings for the project denial: 1) The proposed industrial warehouse building is not compatible in character, scale, massing, and

appearance with the surrounding development pattern, which consists of vacant land, baseball sports complex, water park, and office headquarters for Eastern Municipal Water District; 2) The proposed industrial warehouse building will not be compatible with the existing commercial, recreational, and office uses in the area, which are consistent with the city's General Plan without the need for a CUP; and 3) The proposed industrial warehouse Project will be detrimental to the public's general welfare as the necessary infrastructure, such as fully improved roadways, do not exist in the area to support the truck traffic generated by the proposed industrial warehouse project.

APPEAL

Applicant's Findings Response

The applicant prepared responses to the denial findings explaining the proposed industrial warehouse building would not be detrimental but consistent with the surrounding area as the building has been designed to resemble a business park (see the Perspective Elevation below of the southwest corner of Mapes and Trumble Road) along the street and freeway frontage which constitutes a vast improvement in architectural appearance (scale, massing, etc.) to the surrounding area.



Additionally, although EMWD's headquarter is across the street on the north side of Mapes Road, their auto parking lot (i.e., 500 feet north of Mapes) and office building (i.e., 800 feet north of Mapes Road) are located at least approximately 500 feet north of Mapes Road. The southerly frontage and layout along Mapes Road is utilized for truck access and storage of their heavy equipment construction yard. In consideration of the Big League Dream and Water Park at the northeast corner of Mapes and Trumble Road, all the truck traffic will come off of Exceed Avenue approximately 600 feet south of this intersection to minimize additional truck and auto traffic at this intersection.

Also, the building to the south of the site in Perris is a manufacturer of custom off-road vehicles and parts, and the land use to the east is an outdoor storage yard of construction materials in the City of Menifee. Additionally, the outdoor storage yard on the east side of Trumble Road in Menifee is zoned for industrial use that could one day be developed with industrial buildings such as the proposed project.

Applicant's Additional Response to Planning Commission Feedback

The response to appeal findings letter also addresses the Planning Commission's concerns about landscaping, truck maneuverability, and recommendations to build a hotel or a portion set aside for commercial use into the project site. Regarding the landscaping and truck maneuverability, the applicant is agreeable to increasing the tree size from 24-inch box to 36-inch box trees.

The applicant indicated that a hotel to support the Big League Dreams for out-of-town guests suggested by the Planning Commission is not viable and is not permitted in the BP Zone. A hotel was considered on the project site in 2011, but the application was ultimately abandoned. In addition, a hotel and commercial retail was also approved at the northwest corner of SR-74 and Trumble Road in the City of Menifee, and to this date, the hotel has not been built. In regards to the desire of the Planning Commission to set aside a portion of the site for retail use, the applicant indicated that there is not enough demand to support additional retail as there are already in-house food and beverage options available at Big League Dreams and the Drop Zone Waterpark. In addition, a commercial retail project is already under construction at the northeast corner of Trumble Road and Highway 74 in Menifee.

ENVIRONMENTAL DETERMINATION:

An Initial Study was prepared for the project in accordance with the California Environmental Quality Act (CEQA), which concluded that all potential significant effects on the environment can be reduced to less than significant levels with mitigation measures. In accordance with the California Environmental Quality Act (CEQA), a Notice of Intent (NOI) to adopt a Mitigated Negative Declaration (NOI) was published with a 30-day public review period starting on March 31, 2023, and ending on May 1, 2023. The NOI was also posted on the city's website and at City Hall and sent to public agencies and property owners within a 300-foot radius of the Project site. The IS/MND 2387 has been available for public review at the Development Services public counter and on the city's website.

During the thirty-day comment period, the city received six (6) comment letters regarding this project. The comments are summarized below:

- Lozeau Drury LLP – Commented that the Initial Study and Mitigated Negative Declaration prepared for the project is improper.
- Eastern Municipal Water District (EMWD) – Commented that the project proponent needs to consult with the EMWD's Development Services Department to compare proposed and existing water demands and sewer flows, and prepare a Design Conditions report (DC), prior to final design and plan check.
- Freedom Properties LP – Commented that they are in total agreement with the proposed industrial project.
- Riverside County Flood Control and Water Conservation District – Provided a general comment requiring the applicant to enter into a cooperative agreement with the district.

The project is located within the Homeland/Romoland drainage plan for which drainage fees have been adopted.

- South Coast Air Quality Management District (SCAQMD) – Requested an electronic copy of any live modeling and emission calculation files that were used to quantify the air quality impacts from construction and operation for the project. The electronic files were sent to SCAQMD via email on April 11, 2023, and as of the preparation of the staff report no additional correspondence from SCAQMD has been received.
- Blum, Collins & Ho LLP – Commented on the 'project's Air Quality, Energy, and Greenhouse Gas emissions, stating the studies are inadequate and an EIR should be required.

As a matter of information, on August 15, 2023, staff received a letter from Advocates from the Environment commenting on the project's Greenhouse Gas emissions, stating the study is inadequate and an EIR should be required. Additionally, staff received a letter from the City of Menifee commenting on the project's MND and that it did not adequately address the cumulative impacts of all proposed projects in the area and therefore, an EIR should be required.

Responses to comment letters were prepared and included in the Final MND 2387. None of the comment letters raised additional environmental concerns that have not already been addressed in the IS/MND 2387 or constitute "significant new information" or meet any of the conditions in Section 15088.5 of the State CEQA Guidelines that would require recirculation of the IS/MND 2387 (Attachment 7).

RECOMMENDATION:

The Planning Commission determined that the project did not adequately address the Commission's issues of concern and recommended denial of the project. Therefore, staff is carrying forth the recommendation of the Planning Commission and recommends that the City Council adopt Resolution (next in order) denying adoption of the Mitigated Negative Declaration 2387 and denying Conditional Use Permit (CUP) 22-05023.

Alternatively, should the City Council choose to approve the project, a separate resolution has been prepared and is attached to this report (Attachment 2) adopting MND 2387 and approving the Conditional Use Permit for the establishment of the proposed industrial warehouse building, based on the findings contained therein and subject to conditions of approval.

Lastly, the applicant is requesting the opportunity for a third option, which consists of a commercial use that the applicant will present to the City Council at the November 14, 2023, meeting. The applicant is requesting direction from the City Council on the plan so that it could be finalized, and then presented before the Planning Commission for feedback before bringing back the appeal application to City Council for final consideration.

BUDGET (or FISCAL) IMPACT: All costs associated with the project are borne by the applicant.

Prepared by: Lupita Garcia, Associate Planner
Reviewed by: Patricia Brenes, Planning Manager

REVIEWED BY:

City Attorney _____
Assistant City Manager _____
Deputy City Manager _____

Attachments:

1. Resolution Number (next in order) Upholding the Planning Commission's Decision to Deny Project
2. Alternate Resolution Number (next in order) Adopting the MND and Approving the Project, including Conditions of Approval.
Due to the size of the MMRP, the file is available online at:
https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-365#docan1206_1313_479
3. Location/Aerial Map
4. Zoning Map
5. Project Plans
6. Planning Commission Staff Report Without Exhibits - Dated August 16, 2023. *Due to the size of the documents, only the staff report is included as a hard copy. The entire staff report packet is available online at the City's Website:* https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-365#docan1206_1313_479
7. Initial Study/Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program, Public Comments and Response to Comments, and Associated Technical Studies.
Due to the size of the document, the file is available online at:
https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-365#docan1206_1313_479
8. Applicant's Appeal Letter - Dated August 23, 2023
9. Planning Commission Resolution 23-27 to Deny the Project

Consent:
Public Hearing: X
Business Item:
Presentation:
Other:

ATTACHMENT 1

RESOLUTION NUMBER (next in order)
DENYING THE PROJECT

RESOLUTION NUMBER (Next in Order)

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, UPHOLDING THE PLANNING COMMISSION'S DECISION TO DENY CONDITIONAL USE PERMIT 22-05023 FOR THE CONSTRUCTION OF A 395,500 SQUARE FOOT INDUSTRIAL BUILDING ON APPROXIMATELY 19.16 ACRES OF LAND LOCATED ON THE SOUTHWEST CORNER OF MAPES ROAD AND TRUMBLE ROAD, AND MAKING FINDINGS IN SUPPORT THEREOF.

WHEREAS, the Project applicant, Russell Pierce, of RPD Development, Inc proposes to construct a 395,500 square foot industrial building on approximately 19.16 acres of land located on the southwest corner of Mapes Road and Trumble Road and which is located in the Business Park (BP) Zone ("Project"); and

WHEREAS, the applicant submitted a Conditional Use Permit application (CUP 22-05023) for the Project for consideration of architectural design and site layout; and

WHEREAS, proposed Conditional Use Permit 22-05023 ("CUP 22-05023") is considered a "project" as defined by the California Environmental Quality Act ("CEQA"); and

WHEREAS, pursuant to CEQA and State CEQA Guidelines, an Initial Study (IS) was prepared for the proposed project and, based upon thereof, Mitigated Negative Declaration 2392 was prepared for the Project and was publicly reviewed for a thirty (30) day period in accordance with CEQA, from March 31, 2023, to May 1, 2023; and

WHEREAS, the City of Perris Municipal Code (Zoning Code, Authority and Review Procedures) authorizes the City to approve, conditionally approve, or deny requests for a Conditional Use Permit; and

WHEREAS, the Planning Commission held a duly noticed public hearing on August 2, 2023, at which time all interested persons were given full opportunity to be heard and to present evidence, and at which time the Planning Commission continued the Project to August 16, 2023, to allow the applicant additional time to work on technical matters related to the Project; and

WHEREAS, on August 16, 2023, Planning Commission held a duly noticed public hearing, at which time all interested persons were given full opportunity to be heard and to present evidence; and where the Planning Commission denied the Project; and

WHEREAS, the applicant submitted an appeal to the City Council; and

WHEREAS, on October 10, 2023, the City Council conducted a duly noticed public hearing to consider an appeal of the Planning Commission’s denial of the Project and whereas, prior to the meeting, the applicant requested a continuance for the Project to the City Council meeting on November 14, 2023, and City Council granted the continuance; and

WHEREAS, prior to taking action, the City Council has heard, been presented with, and/or reviewed all of the information and data which constitutes the administrative record for the above-mentioned approvals, including all oral and written evidence presented to the City during all Project meetings and hearings; and

WHEREAS, now the City Council desires, by this Resolution, to uphold the Planning Commission’s decision to deny Conditional Use Permit No. 22-05023; and

WHEREAS, pursuant to California Environmental Quality Act (Public Resources Code Section 21000, et seq. (“CEQA”)), Pub. Res. Code Sec. 21080(b)(5) and the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000, et seq.) Section 15270, a project that is denied or rejected is exempt from the requirements of CEQA; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF PERRIS does resolve as follows:

Section 1. The above recitals are all true and correct and are incorporated herein by this reference.

Section 2. Based on the forgoing, and all written and oral testimony presented at the public hearing on November 14, 2023, which are all incorporated herein by this reference, the City Council finds as follows regarding Conditional Use Permit 22-05023:

- a) The proposed industrial warehouse building is not compatible in scale, massing, and appearance with the surrounding development pattern, which consists of open space, recreational sports complex, water park, and office headquarters for Eastern Municipal Water District.
- b) Future industrial warehouse use on the Project site will not be compatible with the character of the surrounding uses. The immediate surrounding area consists of light industrial and commercial uses, including a baseball sports complex, water park, and offices, whereas the closest existing heavy industrial use is located 0.34 miles from the Project.
- c) The proposed industrial warehouse building will not be compatible with the existing commercial, recreational, and office uses in the area, which are consistent with the City’s General Plan.

- d) The proposed industrial warehouse Project will be detrimental to the public's general welfare as the necessary infrastructure such as fully improved roadways do not exist in the area to support the truck traffic generated by the proposed industrial warehouse Project.

Section 3. Based on the findings set forth above, and all written and oral testimony presented at the public hearing on November 14, 2023, which are all incorporated herein by this reference, the City Council hereby upholds the Planning Commission decision to deny Conditional Use Permit 22-05023 to facilitate the construction of a 395,500 square foot industrial building on approximately 19.16 acres of land located on the southwest corner of Mapes Road and Trumble Road.

Section 4. The City Council declares that should any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any court of competent jurisdiction or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences, and words of this Resolution shall remain in full force and effect.

Section 5. The Chairperson shall sign, and the Secretary shall certify to the passage and adoption of this Resolution.

Section 6. The City Council declares that should any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any court of competent jurisdiction or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences and words of this Resolution shall remain in full force and effect.

Section 7. The Mayor shall sign this Resolution and the City Clerk shall certify to the adoption of this Resolution.

ADOPTED, SIGNED, and APPROVED this 14th day of November, 2023.

Mayor, Michael M. Vargas

ATTEST:

City Clerk, Nancy Salazar

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) §
CITY OF PERRIS)

I, **Nancy Salazar**, CITY CLERK OF THE CITY OF PERRIS, DO HEREBY CERTIFY that the foregoing Resolution Number (*next in order*) was adopted by the City Council of the City of Perris at a regular meeting held on the 14th day of November 2023, by the following called vote:

- AYES:
- NOES:
- ABSTAIN:
- ABSENT:

City Clerk, Nancy Salazar

ATTACHMENT 2

ALTERNATE RESOLUTION NUMBER (next in order) ADOPTING THE MND AND APPROVING THE PROJECT, INCLUDING CONDITIONS OF APPROVAL

*Due to the size of the MMRP, the file is available
online at:*

[https://www.cityofperris.org/departments/
development-
services/planning/environmental-
documents-for-public-review/-folder-
365#docan1206_1313_479](https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-365#docan1206_1313_479)

RESOLUTION NUMBER (Next in Order)

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ADOPTING THE MITIGATED NEGATIVE DECLARATION NUMBER 2387 AND APPROVING CONDITIONAL USE PERMIT 22-05023 FOR THE CONSTRUCTION OF A 395,500 SQUARE FOOT INDUSTRIAL WAREHOUSE BUILDING LOCATED AT THE SOUTHWEST CORNER OF MAPES ROAD AND TRUMBLE ROAD, BASED ON THE FINDINGS PROVIDED HEREIN AND SUBJECT TO THE CONDITIONS OF APPROVAL AND THE MITIGATION MONITORING AND REPORTING PROGRAM.

WHEREAS, the applicant, Russell Pierce with RDP Development, Inc., proposes to a Conditional Use Permit for the construction of a 395,500 square foot industrial warehouse building on 19.16 acres in the Business Park Office (“BPO”) Zone; and

WHEREAS, the applicant submitted Conditional Use Permit (“CUP”) 22-05023 for the construction of a 395,500 square foot industrial warehouse building and design review consideration of the Project; and

WHEREAS, proposed CUP 22-05172 are considered a “project” as defined by the California Environmental Quality Act (“CEQA”); and

WHEREAS, pursuant to CEQA and State CEQA Guidelines, an Initial Study (“IS”) was prepared for the proposed Project and, based upon thereof, Mitigated Negative Declaration No. 2387 was prepared for the Project and was publicly reviewed for a thirty (30) day period in accordance with CEQA, from March 31, 2023, to May 1, 2023; and

WHEREAS, the City of Perris Municipal Code (Zoning Code, Authority and Review Procedures) authorizes the City to approve, conditionally approve, or deny requests for a Conditional Use Permit; and

WHEREAS, the Planning Commission held a duly noticed public hearing on August 2, 2023, at which time all interested persons were given full opportunity to be heard and to present evidence, and at which time the Planning Commission continued the Project to August 16, 2023, to allow the applicant additional time to work on technical matters related to the Project; and

WHEREAS, the Planning Commission held a duly noticed public hearing on August 16, 2023, on the Project, and at the meeting, recommended denial of the Project to the City Council after considering public testimony and materials in the staff report and accompanying documents for the Mitigated Negative Declaration 2387; and

WHEREAS, on October 10, 2023, the City Council conducted a duly noticed public hearing to consider an appeal of the Planning Commission’s denial of the project and whereas, prior to the meeting the applicant requested a continuance for the project to the City Council meeting on November 14, 2023; and whereas, the City Council granted the continuance; and

WHEREAS, on November 14, 2023, the City Council conducted a duly noticed public hearing to consider an appeal of the Planning Commission denial of the project as denied by the adoption of the Initial Study/MND 2387 and the Project, at which time all interested persons were given full opportunity to be heard and to present evidence for the City Council’s consideration including all oral and written testimony from members of the public and City staff, including, but not limited to, the City staff reports and accompanying documents and exhibits; and

WHEREAS, the City Council’s adoption of the Mitigated Negative Declaration reflects its independent judgment and analysis; and

WHEREAS, no comments made in the public hearings conducted by the City Council or any additional information submitted to the City Council have produced substantial new information requiring recirculation or additional environmental review under State CEQA Guidelines section 15088.5; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF PERRIS does resolve as follows:

Section 1. The above recitals are all true and correct and are incorporated herein by this reference.

Section 2. Environmental Analysis. Based upon the foregoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on November 14, 2023, the City Council hereby determines pursuant to Section 15070 of the CEQA Guidelines that, based upon on the Initial Study prepared for the Project in accordance with City of Perris guidelines for implementing CEQA, all potential significant effects on the environment can be reduced to a less than significant level through mitigation measures, the design of the development, the zoning code, and standard requirements of the City; therefore Mitigated Negative Declaration No. 2387 has been prepared, with findings that:

- A. No significant environmental effects would occur, and there is no substantial evidence, in light of the whole record, that the Project as revised may have a significant effect on

the environment if mitigation measures are implemented pursuant to Mitigated Negative Declaration No. 2387, which has been prepared for this Project.

- B. The City has complied with CEQA.
- C. Determinations of the City Council reflect the independent judgment of the City.

Section 3. Conditional Use Permit 22-05023. Based upon the foregoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on November 14, 2023, the City Council finds, with respect to Conditional Use Permit 22-05023, that:

- A. The proposed location of the conditional use is in accord with the objectives of the Zoning Code and the purposes of the zone in which the site is located.*

The Project proposes to construct a 395,500 square foot industrial warehouse building on 19.16 acres in the Business Park (BP) Zone located outside of the Perris Valley Commerce Center Specific Plan (PVCCSP); and the BP zone outside of the PVCCSP allows warehousing/distribution facilities, subject to a Conditional Use Permit that determines compatibility with the surrounding area. The Project is consistent with the surrounding industrial developments and land uses and the development regulations contained in the Zoning Code.

- B. The proposed plan is consistent with the City's General Plan and conforms to all Specific Plans, zoning standards, applicable subdivision requirements, and other ordinances and resolutions of the City.*

The Project is consistent with the General Plan which has a General Plan designation of Business Park. The BP zone outside of the PVC allows warehousing and distribution facilities, subject to a Conditional Use Permit that determines compatibility with the surrounding area. The Project will also comply with the BP zone development standards, ordinance, and resolutions of the City. No subdivision is proposed as part of the Project.

- C. The proposed location of the conditional use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.*

As conditioned, the proposed Project will not be detrimental to the public health, safety or welfare, or injurious to property and improvements in the vicinity or to the general welfare of the City. The Project is surrounded by industrial developments and land uses and has been designed and conditioned to protect the public health, safety and welfare and other properties in the vicinity. Additionally, and Initial Study and

Mitigated Negative Declaration was prepared for the Project and reduced any potential impacts of the development to a less than significant level.

- D. The architecture proposed is compatible with community standards and protects the character of adjacent development.*

As conditioned, the proposed architecture for the Project meets or exceeds the design standards for the Business Park (BP) Zone. The building's design elements include a combination of varying rooflines, decorative metal cornice (roof cap) treatment, aluminum mullion system windows, corrugated metal panels, porcelain veneer, metal canopies and recessed panels to create both horizontal and vertical variations for visual interest. The proposed color palette includes shades of grey, white, beige and blue. The combination of the proposed colors, articulated building elevations, varying roof height, enhanced corrugated metal panels and porcelain veneer treatments provide visual interest to the building.

- E. The landscaping plan ensures visual relief and provides an attractive environment for the public's enjoyment.*

The proposed Project meets and exceeds the on-site and off-site landscape standards for the Business Park (BP) zoning district as outlined in the Municipal Code. A minimum of 10% coverage is required, and the Project is proposing 17%. It provides a mix of native and drought-tolerant trees, shrubs, ground cover, and annual color throughout the site to ensure visual relief and soften and embellish access points, building entries, parking areas, and trash enclosures.

Section 5. Based on the foregoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on November 14, 2023, the City Council hereby adopts Mitigated Negative Declaration No. 2387 and Mitigation Monitoring and Reporting Program attached hereto as Attachment B and incorporated herein by reference as if set forth in full.

Section 6. Based upon the foregoing and all oral and written statements and reports presented by City staff and members of the public, including, but not limited to, all such statements and reports (including all attachments and exhibits) presented at its public hearing on November 14, 2023, the City Council hereby determines that the Project is covered under Mitigated Negative Declaration No. 2387, approves the Project Conditional Use Permit (CUP) 22-05023) for the construction of a 395,500 square foot industrial warehouse building on 19.16 acres in the BP Zone located on the southwest corner of Mapes Road and Trumble Road; subject to the Planning Division, Building, Fire, Public Works and Engineering Departments' Conditions of Approval (COA) attached hereto as Attachment A, and incorporated herein by this reference).

Section 7. The City Council declares that should any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by any court of competent jurisdiction or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences, and words of this Resolution shall remain in full force and effect.

Section 8. The Mayor shall sign this Resolution, and the City Clerk shall certify the adoption of this Resolution.

ADOPTED, SIGNED, and APPROVED this 14th of November 2023.

Michael M. Vargas

ATTEST:

City Clerk, Nancy Salazar

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) §
CITY OF PERRIS)

I, Nancy Salazar, CITY CLERK OF THE CITY OF PERRIS, CALIFORNIA, DO HEREBY CERTIFY that the foregoing Resolution Number (next in order) was duly and regularly adopted by the City Council of the City of Perris at a regular meeting held on the 14th of November 2023, by the following called vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

City Clerk, Nancy Salazar

Exhibits:

- A. Conditions of Approval (Planning, Engineering, Public Works, Community Services and Building & Safety)
- B. Mitigation Monitoring and Reporting Program. *Due to the size of the MMRP, the file is available online at: https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-365#docan1206_1313_479*

EXHIBIT A

CONDITIONS OF APPROVAL
(PLANNING, ENGINEERING, PUBLIC WORKS,
COMMUNITY SERVICES AND
BUILDING & SAFETY)

**CITY OF PERRIS
DEVELOPMENT SERVICES DEPARTMENT
PLANNING DIVISION**

Conditional Use Permit 22-05023

November 14, 2023

PROJECT: A proposal to consider an appeal of the Planning Commission denial of CUP 22-05023 for the construction of a 396,000 square foot industrial warehouse building consisting of 12,000 square feet of office area and 384,000 square feet of warehouse area with 45 loading docks, and associated landscaping, parking, and street improvements, on 19.16 acres located at the southwest corner of Mapes Road and Trumble Road within the Business Park Zone. Applicant: Russell Pierce, RDP Development, Inc.

General Requirements:

1. **Municipal Code and Specific Plan Compliance.** The project shall conform to the standards of the Business Park (BP) Zone and Chapter 19 of the Perris Municipal Code.
2. **Future Obligation of Buyers and Lessees.** All future buyers and lessees shall be informed of their obligation to comply with these Conditions of Approval. The applicant shall provide a copy of these conditions and inform the buyer or lessee of their obligation to maintain compliance with all local and City ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.
3. **Expansion of Use.** No expansion of the site or the use shall occur without subsequent reviews and approvals from the Planning Division.
4. **Term of Approval.** This approval shall be implemented within three (3) years of the approval date; otherwise, it shall become null and void. By implemented, it meant the beginning of substantial construction contemplated by this approval within the three (3) year period, which is thereafter diligently pursued to completion, or the beginning of substantial utilization contemplated by this approval. A maximum of three (3) one-year time extensions shall be permitted in accordance with the Zoning Code.
5. **City Ordinances and Business License.** The subject business shall maintain compliance with all local and City Ordinances, including but not limited to an annual fire inspection and maintenance of a City business license.
6. **Notice of Determination.** Within five (5) days of City approval, the applicant shall work with Planning Staff on filing the Notice of Determination and application fee for the project Mitigated Negative Declaration to the Riverside County Clerk Recorder.
7. **Conformance to Approved Plans.** The proposed use will operate in accordance with the August 16, 2023, Planning Commission meeting approval or as amended by these conditions. Any deviation shall require appropriate Planning Division review and approval.
8. **Prior to occupancy.** The applicant shall work with staff to provide an electric vehicle charging station unit.

9. **Signage.** The applicant shall provide appropriate signage to direct passenger vehicles from entering the truck access drive aisle.
10. **Graffiti.** Graffiti located on-site shall be removed within 48 hours. The site shall be maintained in a graffiti-free state at all times. Graffiti shall be painted over in panels and not patches. In addition, paint shall match color of wall or material surface. Furthermore, the applicant shall apply an anti-graffiti coating on walls, including perimeter walls and fencing.
11. **Building & Safety Division.** The project shall comply with all Conditions of Approval by the Building and Safety Department dated February 8, 2022.
12. **ADA Compliance.** The project shall conform to all disabled access requirements in accordance with the State of California, Title 24, and the Federal Americans with Disabilities Act (ADA).
13. **Rooftop Solar.** The project does not propose rooftop solar panels at this time. However, should solar rooftop panels be proposed in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, subject to review and approval by the Airport Land Use Commission.
14. **Fire Department Conditions.** The project shall comply with all Conditions of Approval by the Fire Department dated March 22, 2023, consisting of the following requirements.
 - a. The project shall comply with all requirements set forth by the California Code of Regulations Title 24 Parts 1-12 respectively.
 - b. The adopted edition of the California Code of Regulations, Title 24, Parts 1 through 12, and the Perris Municipal Code shall apply at the time the architectural plans are submitted for construction permits.
 - c. Prior to the to the issuance of a grading permits a fire department access plan shall be submitted to the City of Perris for review and approval. The fire department access plan shall comply with the requirements specified by the City of Perris Guideline for Fire Department Access & Water Requirements for Commercial & Residential Development, and the California Fire Code, Chapter 5.
 - d. Prior to the to the issuance of a grading permits, evidence of sufficient fire flow of 4,000 GPM for 4- hours shall be provided to the City of Perris. The City of Perris Building and Fire Marshal Water Available/Fire Flow Form shall be utilized.
 - e. A fire department access road complying with the CFC, Chapter 5 and the approved fire department access plans shall be installed prior to building construction.

- f. All required fire hydrants shall be installed and operational prior to building construction. All fire hydrants shall remain operational during construction.
- g. All required fire hydrants shall be readily visible and immediately accessible. A clear space of not less than 3-feet shall be maintained at all times.
- h. A minimum of two points of connection to the public water shall be provided for the private fire-line water.
- i. The private underground fire-line system shall be a looped design.
- j. The private underground fire-line system shall have indicating sectional valves for every five (5) appurtenances.
- k. The Fire Department Connection (FDC) shall be located within 100 feet of a public fire hydrant. The fire hydrant shall be on the same side of the street. A vehicle access roadway/approach shall not be placed between the FDC and fire hydrant.
- l. Prior to construction a temporary address sign shall be posted and clearly visible from the street.
- m. The permanent building address shall be provided and either internally or externally lighted during hours of darkness. The address shall be clearly visible from the street fronting the property and comply with California Fire Code Section 505.1 for size and color.
- n. The building shall be provided with an automatic fire sprinkler system in accordance with NFPA 13. Construction plans shall be submitted for review and approval to the City of Perris prior to installation.
- o. Prior to building final, the building shall be provided with a Knox Lock key box located no more than seven-feet above the finished surfaced and near the main entrance door.
- p. Prior to the issuance of a Certificate of Occupancy the building shall be provided with an emergency radio communication enhancement system. The emergency radio communication enhancement system shall meet the requirements of CFC § 510 and all applicable subsection. The system shall be installed and inspected by the City of Perris Building Department before the Certificate of Occupancy is issued. The requirement can be waived by the Fire Marshal if the building is evaluated by an Emergency Radio Communication Specialist license by FCC, who certifies the building meets the emergency communications capability as specified by the California Fire Code § 510. The certification shall be in the form of a written report which outlines the analysis used in determining the building meets the emergency communications without an enhancement system.

- q. City of Perris approval shall be obtained prior to the storage and/or use of hazardous materials as defined by the California Fire Code.
 - r. City of Perris approval shall be obtained prior to any high pile storage (HPS) as defined by the CFC.
15. **Public Works.** The project shall adhere to the requirements of the Public Works Department as indicated in the attached Conditions of Approval dated June 2, 2022.
16. **City Engineering.** The Project shall comply with all requirements of the City Engineer's Conditions of Approval dated July 17, 2023.
17. **Community Services.** The Project shall comply with all requirements of the City Community Services Conditions of Approval dated July 19, 2023.
18. **Sign Application.** A separate sign application will be required for any signs.
19. **Indemnification.** The developer/applicant shall indemnify, protect, defend, and hold harmless the City and any agency or instrumentality thereof, and/or any of its officers, employees, and agents from any and all claims, actions, or proceedings against the City or any agency or instrumentality thereof, or any of its officers, employees, and agents, to attack, set aside, void, annul, or seek monetary damages resulting from an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voters of the City concerning **Conditional Use Permit (CUP) 22-05023**. The City shall promptly notify the applicant of any claim, action, or proceeding for which indemnification is sought and shall further cooperate fully in the defense of the action.
20. **Southern California Edison (SCE).** The developer/owner shall contact the Southern California Edison SCE area service planner (951 928-8323) to complete the required forms prior to the commencement of construction. No grading permits shall be issued until the City Engineer receives a letter from SCE indicating that electrical service will be placed underground.
21. **Waste Hauling and Disposal.** The project shall use only the City-approved waste hauler for all construction and other waste disposal.
22. **On-site & Off-site Utilities.** All utilities attached to buildings, including meters and utility boxes, shall be painted to match the wall of the building to which they are affixed. These facilities shall also be screened from the public right-of-way by landscaping or a physical barrier such as a wall.
23. **Site Lighting Plan.** The photometric study shall conform to the requirements of the City's adopted Mount Palomar Ordinance and be submitted to the Planning Division for final review and approval. Full cutoff fixtures shall be used to prevent light and glare above the horizontal plan of the bottom of the lighting fixture. A minimum of one (1) foot-candle of light shall be provided in parking and pedestrian areas. All lighting shall be shielded

downward to prevent light pollution from spilling over onto adjacent parcels and public rights of way.

24. **Trash Enclosure.** The trash enclosure shall be constructed as presented in the development plans approved by the Planning Commission.
25. **Screening of Roof-Mounted Equipment.** Proper screening shall prevent public views of all HVAC equipment.
26. **Outstanding Fees.** Any outstanding processing fees due to the Planning Division shall be paid.
27. **Preliminary Water Quality Management Plan (PWQMP).** A Preliminary WQMP was prepared for the proposed project site. All PWQMPs were determined to be in substantial compliance, in concept, with the Riverside County WQMP Manual requirements. The following conditions apply.
 - a. The development shall be subject to all provisions of City of Perris Ordinance Number 1194, which establishes stormwater/urban runoff management and discharge controls to improve water quality and comply with federal regulations and any subsequent amendments, revisions, or ordinances pertaining thereto.
 - b. The structural BMPs selected for this project have been approved in concept. The owner shall submit a final WQMP including plans and details providing the elevations, slopes, and other details for the proposed structural BMPs, including an underground CMP detention system, Modular Wetlands System, self-retaining landscape, and covered trash enclosures. The Public Works department shall review and approve the final WQMP text, plans, and details
28. **Construction Practices.** To reduce potential noise and air quality nuisances, the following items shall be listed as "General Notes" on the construction drawings:
 - a. Construction activity and equipment maintenance is limited to the hours between 7:00 a.m. and 7:00 p.m. on weekdays. Construction may not occur on weekends or State holidays without prior consent of the Building Official. Non-noise-generating activities (e.g., interior painting) are not subject to these restrictions.
 - b. Stationary construction equipment that generates noise in excess of 65 dBA at the project boundaries must be shielded and located at least 100 feet from occupied residences. The equipment area with appropriate acoustic shielding shall be designated on building and grading plans. Equipment and shielding shall remain in the designated location throughout construction activities.
 - c. Construction routes are limited to City of Perris designated truck routes.
 - d. Water trucks or sprinkler systems shall be used during clearing, grading, earth moving, excavation, transportation of cut or fill materials and construction

phases to prevent dust from leaving the site and to create a crust after each day's activities cease. At a minimum, this would include wetting down such areas in the later morning and after work is completed for the day and whenever wind exceeds 15 miles per hour.

- e. A person or persons shall be designated to monitor the dust control program and to order increased watering as necessary to prevent the transport of dust off-site. The name and telephone number of such persons shall be provided to the City. Also, a board shall be placed at the subject site to include a person and phone number for the public to call in case of dirt and dust issues.
- f. Project applicants shall provide construction site electrical hookups for electric hand tools such as saws, drills, and compressors to eliminate the need for diesel-powered electric generators or provide evidence that electrical hookups at construction sites are not practical or prohibitively expensive.

29. **Off-Site Tree Planting or Funding.** To promote the City's tree planting initiative currently underway to make Perris GREEN providing positive benefits to the local environment from air quality to shading, the developer will plant one tree per 5,000 square feet of building size to include irrigation lines and controllers at an off-site location to be determined by the City (i.e., City right-of-way, parks, etc.) or provide funding equivalent to such cost at the discretion of the City prior to issuance of the building permit.

30. **Property Maintenance.** The project shall comply with provisions of Perris Municipal Code 7.06 regarding Landscape Maintenance and Chapter 7.42 regarding Property Maintenance. In addition, the project shall comply with the one-year landscape maintenance schedule identified in the Public Works Department Condition of Approval No. 5, dated June 2, 2022.

31. **Cold Storage Floor Area.** The project shall have a maximum floor area of 50% for cold storage.

Prior to Grading Permit Issuance:

32. **SCE Letter.** No grading permits shall be issued until a letter from SCE is received by the City Engineer indicating that electrical service will be placed underground.

33. **Precise Grading Plans.** Precise grading plans shall be submitted to the City Engineer for review and approval. Grading plans shall be consistent with approved development plans.

34. **Final Water Quality Management Plan (FWQMP).** Prior to the issuance of grading permits, a FWQMP is required to be submitted. To mitigate impacts related to pollutant loading to receiving waters and/or increased erosion/siltation resulting from the long-term operation of the project, the applicant shall develop, receive approval from the City, and implement a FWQMP. The FWQMP shall contain measures that will effectively

treat all pollutants of concern and hydrologic conditions of concern, consistent with the Preliminary WQMP and developed in compliance with the MS4 permit. The FWQMP shall specifically identify pollution prevention, source control, treatment control measures, and other Best Management Practices (BMPs) that shall be used on-site to control predictable pollutant runoff to reduce impacts to water quality to the maximum extent practicable. The FWQMP shall substantially comply with site design, source control, and treatment control BMPs proposed in the approved Preliminary Water Quality Management Plan (PWQMP).

Prior to Building Permit Issuance:

35. **Fees.** The developer shall pay the following fees prior to the issuance of building permits:
 - a. Stephen's Kangaroo Rat Mitigation Fees of \$500.00 per acre;
 - b. Multiple Species Habitat Conservation Plan fees currently in effect;
 - c. Current statutory school fees to all appropriate school districts;
 - d. Any outstanding liens and development processing fees owed to the City.
 - e. Appropriate Road and Bridge Benefit District fees;
 - f. Appropriate City Permit Fees in effect at the time of development.

36. **Landscaping Plans.** Prior to the issuance of building permits, three (3) copies of Construction Landscaping and Irrigation Plans shall be submitted to the Planning Division for approval, accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a California registered landscape architect and conform to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. The landscaping shall be consistent with the conceptual landscape plan, except as required below.
 - a. **Passenger Vehicle Parking Areas.** A minimum of 30% of trees shall be a 36-inch box or larger in passenger vehicle parking areas. Also, a minimum of one 24-inch box tree per six (6) parking stalls shall be provided.
 - b. **Conceal parking lot area.** All parking areas along the street frontages shall be screened by a minimum 36-inch-high shrub border using a double-row of 5-gallon shrubs at 3.6 feet off center.
 - c. **Street Trees.** All street trees within the public right of way shall be 24-inch box size or larger and planted a maximum of 30 feet on center within the parkway. **Additionally, the street trees along Trumble Road shall be 36-inch box trees.**
 - d. **BMPs for Water Quality.** All BMPs (vegetated swales, detention basins, etc.) shall be indicated on the landscape plans with appropriate planting and irrigation.
 - e. **Employee Amenity Areas.** The outdoor employee break area shall be landscaped to include shade trees and shade structures architecturally similar in colors and materials to the warehouse building.

- f. **Enhanced Pavement.** Decorative pavement treatments (accent colors, textures, and patterns) shall be used for all driveway entrances and pedestrian pathways.
 - g. **Shade Tree.** The project shall provide shade trees throughout the parking lot.
 - h. **Maintenance.** All landscaping shall be maintained in a viable growth condition.
 - i. **Landscape.** The proposed African Sumac trees shall be replaced with an alternate evergreen tree species.
37. **Wall and Fence Plan.** An 8 foot high tubular steel fence with decorative pilasters every 100 feet shall be provided along the west side. A 14-foot high decorative tilt-up wall with decorative pilasters every 100 feet shall be provided along the south side to screen the truck loading and truck parking areas from public view. Eight (8) foot high rolling gates with metal privacy mesh shall be provided for the truck loading access areas.
38. **Construction Plans.** All Planning Division and Engineering Department Conditions of Approval, proposed employee amenities, and the Mitigation Monitoring and Reporting Plan shall be reproduced in full on construction drawings and grading plans, immediately following the cover sheet of such plans. Each Condition of Approval shall be annotated on the construction plans for ease of reference (i.e., sheet and detail numbers).
39. **Landscape Uplighting.** To accentuate the landscaping, uplighting shall be provided along Mapes Road, Trumble Road, Exceed Road, and I-215 street frontages.
40. **Bio-Retention Area.** A 4-foot high steel gate shall be provided at the northerly and southerly bio-retention areas for maintenance access.

Prior to Issuance of Occupancy Permits:

41. **Business Operator.** Business operator shall be responsible for providing a copy of the adopted truck routes to the truck drivers, in addition to posting a copy of the truck route in the employee break room and truck yard area.
42. **Employee Amenities.** At least two (2) indoor employee amenities and three (3) outdoor employee amenities shall be provided as shown on the Project plans.
43. **Truck Routes.** Signs shall be provided on-site and within public rights of way to direct all trucks to use designated truck routes, only as approved by the Engineering and Planning Departments. Truck routes are restricted to the I-215 Freeway by exiting the project site via Exceed Road to Trumble Road to State Route 74.
44. **Assessment and Community Facilities Districts.** The project shall be annexed into any assessment, community facilities, or similar district that provides funding for maintenance, services, or public improvements that benefit the project. The costs and benefits shall be described in the applicable district and annexation documents. The developer shall complete all actions required to complete such annexation prior to

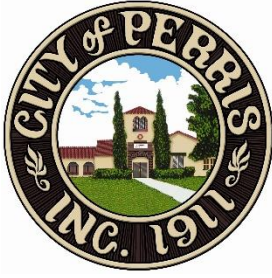
issuance of a Certificate of Occupancy. This condition shall apply only to districts existing at the time the project is approved (or all requirements have been met for a certificate of occupancy, as applicable). Such districts may include but are not limited to the following:

- a. Landscape Maintenance District No. 1
- b. Maintenance District No. 84-1
- c. Flood Control Maintenance District No. 1
- d. North Perris Public Safety Community Facilities Assessment District

45. **On-Site Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for final landscape inspection after all the landscaping and irrigation has been installed and is completely operational. Before calling for a final inspection, a "Certificate of Compliance" form shall be completed and signed by the designer/auditor responsible for the project, and submitted to the project planner for approval.

46. **Final Inspection.** The applicant shall obtain occupancy clearance from the Planning Division by scheduling a final Planning inspection after final sign-offs from the Building Division and Engineering Department. Planning Staff shall verify that all pertinent conditions of approval have been met. The applicant shall have all required paving, parking, walls, site lighting, landscaping and automatic irrigation installed and in good condition.

END OF CONDITIONS



CITY OF PERRIS

JOHN POURKAZEMI, INTERIM CITY ENGINEER

CONDITIONS OF APPROVAL

P8-1512

July 17, 2023

CUP 22-05023 (RDP Development)

Southwest Corner of Mapes Road and Trumble Road

(APN 329-020-033,034, 044 & 046)

With respect to the Conditions of Approval for the above referenced project, the City of Perris requires that the developer/property owner provides the following street improvements and/or road dedications in accordance with the City of Perris Municipal Code Title 18. It is understood that the site plan correctly shows all existing and proposed easements, traveled ways, rights-of-way, and drainage courses with appropriate Q's and their omission may require the site plan to be resubmitted for further consideration. These ordinances and the following conditions are essential parts and requirement occurring in ONE is as binding as though occurring in all. They are intended to be complimentary and to describe the conditions for a complete design of the improvements. Unless otherwise noted, all offsite improvements as conditioned shall be installed prior to issuance of any occupancy permits. All questions regarding the true meaning of the conditions shall be referred to the City Engineer's office.

In the event of a conflict between any conditions stated below, those imposed by Planning Department and others, and requirements identified in the approved Traffic impact Analysis, the most stringent in the opinion of the City shall prevail.

General Conditions:

1. The project grading shall be in a manner to perpetuate existing natural drainage patterns. Any deviation from this, concentration or increase in runoff must have approval of adjacent property owners and City Engineer. The developer/property owner shall accept the offsite runoff and convey to acceptable outlet.
2. The developer/ property shall secure City's and appropriate agencies clearances and approvals of the improvement plans.
3. Prior to commencement of any construction or installation of fencing in public right-of-way, an encroachment permit shall be obtained from the City Engineer's office.

4. Site circulation shall be such that auto and truck access, circulation, and parking are distinct and separate.
5. Truck freeway access from I-215 shall be restricted to SR-74, Trumble Road, Exceed Road, and vice versa.

Prior to issuance of Grading Permit:

6. A parcel merger and certificate of compliance shall be filed with the City for review and approval and subsequent recordation.
7. The developer/property owner shall submit the following to the City Engineer for review and approval:
 - Onsite Grading Plan and Erosion Control Plan – Plans shall show the approved WDID No.
 - Street Improvement Plan
 - Signing and Striping Plan
 - Final Drainage Plan, Hydrology and Hydraulic Report
 - Final WQMP (for reference)
 - Street Light Plan prepared by a registered Electrical Engineer per City of Perris Safety Lighting Standards.

The design shall be in conformance with EMWD, RCFCD, Riverside County Transportation Department, Caltrans, city of Perris and ADA most recent standards, criteria and requirements and in effect at the time of construction and shall be coordinated with the approved plans of the adjacent developments.

8. In order to reduce the total peak runoff generated from the proposed site, a 100-year storm with 1-hour, 3-hour, 6-hour, and 24-hour durations must be considered, and the results discussed with City Engineer to determine the detention volume.
9. The project site is within the limits of FEMA 100-year flood plain. Buildings shall be floodproofed by elevating the pads above the Base Flood Elevation. The developer/property owner shall process a CLOMR with FEMA.
10. Mapes Road is classified as a Major Collector (78'/56'). Adequate right-of-way shall be dedicated on Mapes Road along the property frontage to accommodate 39 feet full half-width right-of-way and required improvements as directed by the City Engineer.
11. The developer/property owner shall sign the consent and waiver from to join the City's Lighting and Landscape Districts and City Flood Control District as appropriate. The proposed streetlights and traffic signals shall be maintained by the city and cost paid by the developer/property owner through the said annexations.

12. Trumble Road is classified as a Secondary Arterial (94' / 64' with 12' painted median). Adequate right-of-way shall be dedicated on Trumble Road along property frontage to accommodate 47 feet full half-width right-of-way and required improvements as directed by the City Engineer.
13. Exceed Road is classified as a Local Road (60' / 40'). Adequate right-of-way shall be dedicated on Exceed Road along the property frontage to accommodate 30 feet full half-width right-of-way and required improvements as directed by the City Engineer. Dedicate additional right-of-way to accommodate the proposed offset cul-de-sac.
14. All easements and/or rights-of-ways shall be offered for dedication to the public or other appropriate agencies in perpetuity and shall continue in force until the city or appropriate agency accepts or abandons such offers. All dedications shall be free from all encumbrances as approved by the City Engineer.
15. The offset cul-de-sac at the end of Exceed Road shall be designed per County of Riverside Standard No. 800A.
16. The driveways shall be per County of Riverside Standard No. 207A and shall include wet set concrete truncated domes in compliance to ADA Standards.

Prior to issuance of Building Permit:

17. The project site is located within the limits of San Jacinto River and Homeland/Romoland Area Drainage Plan for which drainage fees have been adopted by City. Drainage fees shall be paid as set forth under the provisions of the "Rules and Regulations of Administration of Area Drainage Plan." Acreage for the project site's impervious area shall be provided.
18. Submit Water and Sewer Plans to the City Engineer for review and approval – fire department and EMWD approvals of on-site and off-site water and sewer plans are required prior to the City Engineer's approval of the plan.
19. The developer/property owner shall submit a compaction certification from the Soils Engineer in compliance with the approved geotechnical/soils report.

Prior to issuance of Certificate of Occupancy:

20. The developer/property owner shall file, process, and obtain LOMR from FEMA.
21. Mapes Road is classified as a Major Collector (78' / 56'). Within the dedicated right-of-way, the facility shall be improved to provide for

- a 8 inch curb and gutter 28 feet south of centerline, a 12-foot striped median plus a 12-foot-wide pavement on the north side (total 46 feet of pavement) using a TI of 8.0 and PG 70-10, with a 6-foot-wide sidewalk, and streetlights subject to the result of a photometric study prepared by a registered Electrical Engineer per City of Perris Safety Lighting standards, County of Riverside and Caltrans standards. If the existing pavement is in good condition, the developer/ property owner may use grind and overlay technique as determined by the City Engineer.
22. Trumble Road is classified as a Secondary Arterial (94'/ 64' with 12' painted median). Within the dedicated right-of-way, the facility shall be improved to provide for an 8 inch curb and gutter 32 feet west of centerline, a 12-foot striped median plus a 12-foot-wide pavement on the east side (total 50 feet of pavement) using a TI of 9.0 and PG 70-10, with 15' parkway consisting of a 6-foot-wide sidewalk and streetlights subject to the result of a photometric study prepared by a registered Electrical Engineer per City of Perris Safety Lighting standards, County of Riverside and Caltrans standards. If the existing pavement is in good condition, the developer/property owner may use grind and overlay technique as determined by the City Engineer.
 23. Exceed Road is classified as a Local Road (60'/40). Within the dedicated right-of-way, the facility shall be improved to provide for 30-foot half-width full improvements including 8-inch curb and gutter 20 feet north of centerline, 6-foot-wide sidewalk, and streetlights subject to the result of a photometric study prepared by a registered Electrical Engineer per City of Perris Safety Lighting standards, County of Riverside and Caltrans standards. If the existing pavement is in good condition, the developer/property owner may use grind and overlay technique as determined by the City Engineer.
 24. The cul-de-sac at the westerly end of Mapes Road shall be installed according to the County of Riverside Standard No. 800.
 25. The offsite cul-de-sac at the westerly end of Exceed Road shall be installed according to the County of Riverside Standard No. 800A.
 26. The driveway shall be per County of Riverside Standard No. 207A.
 27. The corner cutbacks shall be dedicated per County of Riverside Standard No. 805
 28. The developer/property owner shall provide for utility trench surface repair as directed by the City Engineer.

29. Associated existing signing and striping shall be refreshed and any appurtenances damaged or broken during the development of this project shall be repaired or removed and replaced by the developer/property owner to the satisfaction of the City Engineer. Any survey monuments damaged or destroyed shall be reset by a qualified professional land surveyor pursuant to the California Business and Professional Code 8771.

John Pourkazemi
Interim City Engineer



CITY OF PERRIS

COMMUNITY SERVICES

MEMO

Date: August 11, 2023

To: Lupita Garcia, Project Planner

From: Sabrina Chavez, Director of Community Services

Cc: Arcenio Ramirez, Community Services Manager
Arturo Garcia, Parks Supervisor
Joshua Estrada, Parks Coordinator

Subject: Conditional Use Permit 22-05023 New Warehouse at SW Trumble & Mapes
– Comments

Community Services Staff reviewed CUP 22-05023 and offer the following comment(s):

Development Impact Fees

- The Project is subject to payment of Industrial Park Development Impact Fees.
- The Project is subject to payment of Residential Park Development Impact Fees.
- This Project is subject to payment of Public Art Development Impact Fees.

Special Districts

- The project shall annex into the Community Facilities District No. 2018-02 (Public Services)



CITY OF PERRIS

PUBLIC WORKS DEPARTMENT

Weed Abatement

NPDES Services

Flood Control and Landscape Districts

MEMORANDUM

Date: June 02, 2022

To: Lupita Garcia, Planner

From: Michael Morales, CIP Manager

By: Chris Baldino, Landscape Inspector **CB**

Subject: CUP 22-05023 - Conditions of Approval

Proposal to construct a 395,500 square foot industrial building on the southwest corner of Trumble Rd. and Mapes Road.

-
- Dedication and/or Landscape Maintenance Easement.** Offer of Dedication and Landscape Maintenance Easement for City landscape maintenance district shall be provided as follows:
 - **Trumble Road** - Provide offer of dedication as needed to provide for full half width Street (94' ROW, 47' half width), curb gutter, sidewalk, and off-site landscaping requirements, per City General Plan, including minimum, plus an additional 5' easement, totaling a 20' public parkway from face of curb.
 - **Mapes Road** - Provide offer of dedication as needed to provide for full half width Street (78' ROW, 39' half width), curb gutter, sidewalk, and off-site landscaping requirements, per City General Plan, including minimum, plus an additional 4' easement, totaling a 15' public parkway from face of curb.
 - **Exceed Road** - Provide offer of dedication as needed to provide for full half width Street (60' ROW, 30' half width), curb gutter, sidewalk, and off-site landscaping requirements, per City General Plan, including minimum, plus an additional 5' easement, totaling a 15' public parkway from face of curb.
 - **Intersection of Trumble Road and Mapes Road (S/W Corner)** - Developments within this corridor have provided a visually enhanced corner cut-back area is to be provided at certain Secondary arterials. The developer shall provide a visually enhanced landscape design within a corner cut back area and provide an offer of dedication to the City of Perris within the visually enhanced corner cut-back area. The enhanced corner cut-back shall be contained within a minimum 26.5' area from face of curb.
 - Landscape Maintenance Easement and Landscape Easement Agreement.** The developer shall provide, for review and approval, a landscape easement, complete with legal plat map and legal description to the City of Perris. The Developer shall provide an additional five feet (5') landscape easement for Trumble Road, an additional four feet (4') landscape easement for Mapes Road, an additional five feet (5') landscape easement for Exceed Road, and an additional 12' easement for the S/W corner of Trumble Road and Mapes Road, and if applicable a landscape easement agreement, acceptable to the City of Perris for the frontage along these parkways. The City shall record the same with the Riverside County Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.

3. **Landscaping Plans.** Three (3) copies of Construction Landscaping and Irrigation Plans for the off-site landscaping, including any medians or other landscape areas along the dedications shall be submitted to the Planning Department for approval and shall be accompanied by the appropriate filing fee. The landscape and irrigation plan shall be prepared by a registered landscape architect and conform to the requirements of Chapter 19.70 of the Municipal Code. The location, number, genus, species, and container size of the plants shall be shown. This landscape plan shall be titled “Off-site Landscape Plan for **CUP 22-05023**” and shall be exclusive of any private property, on-site landscaping. Elements of the Landscape Plan shall include but not be limited to:
- a. **Landscape Limits** – Limits of right-of-way areas or easement areas, defined by concrete mow curb, fully dimensioned, that are to be annexed into the Landscape Maintenance District. A planting palette and hardscape plan intended to meet the design intent of the Landscape Guidelines in effect for the area; or if no such guidelines exist the design intent of neighboring development, as determined by the Engineering Administration and Special Districts Division, including:
- **Trumble Road** - Street Tree Primary: Platanus x acerfolia ‘London Plan Tree’ Secondary Tree Cercidium floridum ‘Blue Palo Verde’; Use drought resistant shrubs and ground cover intended to complement the existing parkways along Trumble Road, including but not limited to the following Kangaroo Paw, Nolia Grasses, Dasyliirion Wheeleri ‘Desert Spoon’, Red Yucca, and Red Hot Poker, Yucca flaccida ‘Gold Garland Yucca’ use of river rock mulch to match.
 - **Mapes Road** - Street Tree Primary: Pinus Eldarica-Afgan Pine; Use drought resistant shrubs and ground cover intended to complement the proposed parkways along Trumble Road, including but not limited to the following Kangaroo Paw, Nolia Grasses, Dasyliirion Wheeleri ‘Desert Spoon’, Lantana yellow/purple, Red Yucca, and Red Hot Poker, use of synthetic turf lawn, Boulders 3’ to 4’ in size and rock coble, and rock mulch to match what is in the parkway north of this site.
 - **Exceed Road** - Street Tree Primary: Ulmus Parvifolia. Shrubs and ground cover will consist of Senecia Serpens, Callistemon Citrinus ‘Little John’ and Baccharis Pilularis, use of forest floor wood mulch.
 - **Intersection of Trumble Road and Mapes Road (S/W Corner)** -- Streetscape Landscape design guidelines and planting pallet for Secondary Arterials. If the Developer proposes to install a corner sign, then a visual enhancement may include but shall not be limited to a three-tier masonry planter with stucco fascia in crescent shape to scale of setback. Install trees, (i.e. 36” Box) in a semi-circle or crescent shape on the upper level, with two levels of drought tolerant shrubs in mid- and foreground planters. Provide enhanced signage (i.e. Name of project shall be installed in 18-inch letters) along the face of the planter area on the second tier. Plants shall be low growth in front of sign to allow the sign to be visible to vehicles.
In the event there is no corner signage proposed then a visual enhanced corner with 3’ to 4’ bolder, 24” box trees and use of drought resistant shrubs and groundcover with rock cobble and rock much shall be used to complement the N/E corner of Trumble Road and Mapes Road.
- b. **Irrigation** – A list of irrigation system components intended to meet the performance, durability, water efficiency, and anti-theft requirements for Special District landscape areas as determined by the Engineering Administration and Special Districts Division. Components shall include, but not be limited to Salco or equal on flexible PVC risers, Sentry Guard Cable Guard and Union Guard, and backflow Wilkens Model 375 (or equal). Controller shall include an ET based controller with weather station that is centrally controlled capable and wi-fi ready (WeatherTrak ET Pro3 Smart Controller, or equal, with Rain Sensor). At the discretion of the Engineering Administration and Special Districts Division public landscape areas

utilizing no more than 6 valves/stations, programmed to irrigate consecutively, and none simultaneously, may propose the use of an alternative ET based controller with weather station that is centrally controlled capable and wi-fi ready, such as the Weathermatic System or equal. Proposed system shall be complete with wireless weather station, aircard with flow, one year bundle service, blade antenna and flow sensor.

- c. **Benefit Zone Quantities** – Include a Benefit Zone quantities table (i.e. SF of planting areas, turf, number of trees, SF. of hardscape, etc.) in the lower right hand corner of the cover sheet for off-site landscape areas, indicating the amount of landscaping the district will be required to maintain.
- d. **Meters** – Each District is required to be metered separately. All electrical and water meters shall be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene and away from street intersections. Show location of separate water and electrical utility meters intended to serve maintenance district areas exclusively. Show locations of water and electrical meter for landscape district. Show location of water and electrical meter for flood control district. Show location of electrical meter for Traffic signal and street lighting district, on respective plans. Coordinate location of meters on landscape and civil engineering plan.
- e. **Controllers** - The off-site irrigation controllers are to be located within the right of way (preferably within the off-site landscape area). All point of connection equipment including irrigation controller pedestals, electrical meter pedestals, and backflow preventers are to be located in locations that are easily accessible to maintenance staff while not visually obtrusive in the street scene, and away from street intersections. Backflow preventers are to be screened on at least three sides with (5) gallon plant material. The fourth side shall be open to the back of the landscape area in order to allow the backflow cage to be opened without interference with plant materials. Backflow cages shall meet the required City of Perris Engineering Standards in effect at the time of approval.
- f. **Recycled Water** - If applicable. The project landscape architect shall coordinate with EMWD to verify if the site will be served with recycled water and design all irrigation and landscape plans to meet the requirements of EMWD and provide additional irrigation components as needed.
- g. **EMWD Landscape Plan Approval** – The project landscape architect shall submit a copy of all irrigation plans and specifications to EMWD for approval. The project landscape architect must confirm with EMWD that the plans have been approved by EMWD and submit written proof of approval by EMWD prior to the City approving the final Landscape Plans. Until the final landscape plan has been approved by the City of Perris, the maintenance areas depicted cannot be accepted by the City for maintenance. The developer shall coordinate both reviews to ensure acceptability of plans by both EMWD and the City of Perris, prior to approval by either agency.
- h. **Landscape Weed Barrier** - Weed cloth with a minimum expected life of 10-years shall be required under all gravel, rock, or cobble areas.
- i. **Wire Mesh and Gravel at Pull Boxes**- Provide wire mesh and gravel layer within valve boxes to prevent rodent intrusion.
- j. **Concrete Maintenance Band at Medians and Mortar Cobble turn Land** – Provide 12” wide concrete

maintenance band (safety edge) around entire median. At turn pockets provide mortared cobble creek bed, round stone sized 6" to 12".

k. Perimeter Walls Graffiti Coating – Provide anti-graffiti coating at all perimeter walls. Acceptable products shall include Vitrocem Anti-Graffiti Coating or equal.

4. **Landscape Inspections.** The project applicant shall inform the on-site project manager and the landscape contractor of their responsibility to call for only "OFF-SITE" landscape and irrigation inspections at the appropriate stages of construction. Inspections shall be scheduled at least two-working days (Monday through Friday) prior to actual inspection. Contact Public Works-Engineering Administration/Special Districts at (951) 657-3280 to schedule inspections.

- **Inspection #1** - Trenches open, irrigation installed, and system pressurized to 150 PSI for four hours.
- **Inspection #2** - Soil prepared, and plant materials positioned and ready to plant.
- **Inspection #3** - Landscaping installed, irrigation system fully operational, and request for "Start of 1 year Maintenance Period" submitted, with all required turn-over submittal items provided to Public-Works Engineering Administration/Special Districts.
- **Turn-Over Inspection**– On or about the one-year anniversary of Inspection #3, Developer shall call for an inspection to allow the City to review and identify any potential irrigation system defects, dead plants, weed, debris or graffiti; stressed, diseased, or dead trees; mulch condition, hardscape or other concerns with the landscape installation; or to accept final turn over of the landscape installation. At his sole expense, the Developer shall be responsible for rectifying system and installation deficiencies, and the one-year maintenance period shall be extended by the City until all deficiencies are cured to the satisfaction of the City. If in the opinion of the City's Landscape Inspector the landscape installation is in substantial compliance with the approved landscaping plans, the irrigation and communication system is functioning as intended, and the landscape installation is found to be acceptable to the City, then the Inspector shall recommend to the City's Special District Coordinator to accept turn-over of water and electrical accounts, wi-fi communication contracts and the entire landscape installation.

5. **One Year Maintenance and Plant Establishment Period**-The applicant will be required to provide a minimum of a one (1) year maintenance and plant establishment period, paid at the sole expense of applicant. This one-year maintenance period commences upon the successful completion of Inspection #3 discussed above, and final approval by the City. During this one-year period the applicant shall be required to maintain all landscape areas free of weeds, debris, trash, and graffiti; and keep all plants, trees, and shrubs in a viable growth condition. Prior to the start of the one-year maintenance period, the Developer shall submit a weekly Landscape Maintenance Schedule for the review and approval by the City's Special Districts Division. City shall perform periodic site inspections during the one-year maintenance period. The purpose of these periodic inspections is to identify any and all items needing correction prior to acceptance by the City at the conclusion of the one-year maintenance period. Said items needing correction may include but are not limited to: replacement of dead or diseased plant materials, weeding, replenishment of mulches, repair of damaged or non-functioning irrigation components, test of irrigation controller communications, etc. During this period, the City shall begin the annual assessment of the benefit zone in preparation for the landscape installation turn-over to City maintenance staff.

6. **Street/Off-Site Improvements.** The applicant shall submit street improvement plans, accompanied by the appropriate filing fee to the City Engineering Department. Details of treatments off-site improvements, including lighting shall meet both the City Engineer's Design Guidelines, and the additional requirements of the

Engineering and Special Districts Division. Components shall include, but not be limited to:

- a. **Street Lighting**-If Street lighting is required, lighting shall meet the type, style, color and durability requirements, necessary for energy efficiency goals, maintenance and longevity of improvements of the City Engineer's Office. As determined by the City, new streetlights may be required to be deeded to City of Perris, and not SCE. Street lights deeded to City of Perris shall be constructed per LS-3 account billing standard, which shall include an individually metered pedestal for streetlights.
- b. **Acceptance By Public Works/Special Districts**- Lighting District facilities required by the City Engineer's Office shall be installed and fully operational and approved by final inspection by the City Engineer's Office, and the City's Consulting Traffic Signal Inspection Team (Riverside County TLMA) at (951) 955-6815. Prior to acceptance for maintenance of "Off-site" traffic signal and lighting facilities by the Public Works-Engineering and Administration Division/Special Districts, the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items. Prior to acceptance into Lighting District 84-1, coordinate turn-over information pertaining to Street Lights, and Traffic Signal Electrical/SCE Service Meters with Wildan Financial Services, the City's Special Districts Consulting Firm at (951) 587-3564. (i.e. Provide electrical meter number, photo of pedestal, and coordinate "request for transfer of billing information" with SCE and City for all new service meters). Developer shall pay 18-month energy charges to the City of Perris for all off-site street lighting. Call Wildan Financial Services, Inc. for amount due, and to obtain receipt for payment. Obtain and provide a clearance form from Riverside County TLMA indicating completion of all punch list items from traffic signal construction. Submit one large format photo-copy of Traffic Signal as-built plans and timing sheets.

7. **Water Quality Management Plans.** The applicant shall submit a Preliminary and Final WQMP, accompanied by the appropriate filing fee to the Planning Department and City Engineering Department, respectively. Details for treatment control facilities shall meet both the Riverside County WQMP Design Guidelines, and the additional requirements of the Engineering and Special Districts Division intended to reduce long term maintenance costs and longevity of improvements. Components shall include, but not be limited to:

- **Storm Drain Screens**-If off-site catch basins are required by the City Engineer's Office, connector pipe screens shall be included in new catch basins to reduce sediment and trash loading within storm pipe. Connector pipe screens shall the type, style, and durability requirements of the Public Work's Engineering Administration and Special Districts Division.
- **WQMP Inspections**- The project applicant shall inform the on-site project manager and the water quality/utilities contractor of their responsibility to call for both "ON-SITE" and OFF-SITE" WQMP Inspections at the appropriate stages of construction. Contact CGRM at (909) 455-8520 to schedule inspections.
- **Acceptance By Public Works/Special Districts**-Both on-site and off-site flood control/water quality facilities required for the project, as depicted in the Final WQMP, shall be installed and fully operational, and approved by final inspection by the City's WQMP Consultant, CGRM. The Developer shall obtain a final Clearance Letter from CGRM indicating compliance with all applicable Conditions of Approval for the approved WQMP. The developer shall deliver the same to the Public Works-Engineering and Administration Division/Special Districts. In addition, prior to acceptance by the City, the developer shall submit a Covenant and Agreement describing on-going maintenance responsibilities for on-site facilities per the approved WQMP, to the Public Works Engineering Administration and Special Districts Division. The Public Works Engineering Administration and Special Districts Division will review and approve the Covenant and Agreement. The City shall record the same with the Riverside County

Recorder's Office, and the recorded instrument shall be returned to the City Clerk of the City of Perris for filing.

8. **Flood Control District #1 Maintenance Acceptance.** Flood Control District facilities required by the City Engineer's Office shall be installed and fully operational, and approved by final inspection by the City Engineer's Office. Prior to acceptance for maintenance of "Off-site" flood control facilities by the Public Works-Engineering and Administration Division/Special Districts the developer shall contact the Public Works Special Districts Division at (951) 657-3280 to schedule the delivery of all required turn-over submittal items including as-built storm drain plans in electronic PDF format, one large format photo-copy of as-built plans, storm drain video report in electronic format, and hardcopy of video report with industry standard notations and still photos made during video runs (i.e. facilities sizes, off-sets or damage, facility type, dirt and debris, etc.). The flood control facilities shall be turned over in a condition acceptable to the City, and the developer shall make all necessary repairs and perform initial maintenance to the satisfaction of the City.
9. **Assessment Districts.** Prior to permit issuance, developer shall deposit \$5,250 per district, \$15,750 total due. Payment is to be made to the City of Perris, and the check delivered to the City Engineer's Office. Payment shall be accompanied by the appropriate document for each district indicating intent and understanding of annexation, to be notarized by property owner(s):
 - **Consent and Waiver for Maintenance District No. 84-1** - New street lighting proposed by the project, as determined by the City Engineer
 - **Consent and Waiver for Landscape Maintenance District No. 1** -New off-site parkway landscape proposed by the project on Trumble Road, Mapes Road and Exceed Road.
 - **Petition for Flood Control Maintenance District No. 1** -For Off-site Flood Control Facilities proposed by the project, as determined by the City Engineer.
 - Original notarized document(s) to be sent to:
Daniel Louie
Wildan Financial Services
27368 Via Industria, #200
Temecula, CA 92590
 - a. Prior to final map recordation or final certificate of occupancy the developer shall annex into the aforementioned districts, posting an adequate maintenance performance bond to be retained by the City as required by the City Engineer. Upon receipt of deposit and Consent and Waiver Forms, the developer shall work with City to meet all required milestones for annexations.
 - i. City prepares the Engineer's Reports which includes a description of the improvements to be maintained, an annual cost estimate and annual assessment amounts.
 - ii. Reports are reviewed and approved by the property owner. The assessment ballots will be based on these Reports.
 - iii. The Reports and corresponding resolutions are placed, for approval, on the City Council Meeting Agenda. City Council action will include ordering the assessment ballots and setting a Public Hearing for no sooner than 45 days. Property owner attendance at this City Council Meeting is not required.

- iv. The assessment ballots are sent to the property owner and are opened by the City Clerk at the close of the Public Hearing. With a "YES" vote by the property owner the City Council can move forward with the Resolution that Confirms the Annexation. Property owner attendance at this Public Hearing is not required.
- v. Confirmation by the City Council completes the annexation process and the condition of approval has been met.

SRC COMMENTS
***** BUILDING & SAFETY *****

Planning Case File No(s): CONDITIONAL USE PERMIT #22-05023

Case Planner: Lupita Garcia (951) 943-5003,

Applicant: Russel Pierce

Location: Southwest corner of Trumble Road and Mapes Road

Proposal to construct a 395,500 SF Industrial Building

Project:

Associated Cases: APN: 329-020-033-034-044 and 046

Reviewed By: David J. Martinez, CBO

Date: 02-08 -2022

SPECIFIC COMMENTS

1. None

GENERAL CONDITIONS

1. Shall comply with the latest adopted State of California 2019 editions of the following codes as applicable:
 - A. 2019 California Building Code
 - B. 2019 California Electrical Code
 - C. 2019 California Mechanical Code
 - D. 2019 California Energy Code
 - E. 2019 California Fire Code
 - F. 2019 California Green Building Standards Code
 - G. Proposed Project will have to comply with the Title 24 Access Regulations and ADA Access regulations
2. All signs if any shall be Underwriters Laboratories, or equal, approved.
3. You will have to comply with the new EV charging station requirements.
4. The entire site will have to have proper fire access.

5. Any proposed buildings cannot be built across any property lines. The parcels will have to be consolidated prior to any building permits being issued
6. Fire Sprinklers will be required

PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT

1. The following items shall be completed and/or submitted as applicable – prior to the issuance of building permits for this proposed project.
 - A. The following items shall be completed and/or submitted as applicable – prior to the issuance of building permits for this proposed project.
 - B. Precise grading plans shall be submitted and approved
 - C. Rough grading shall be completed
 - D. Compaction must be certified
 - E. The Pad elevations must be certified
 - F. The rough and finish grade must be inspected and signed off

FIRE CONDITIONS

1. Fire Conditions will be provided by Dennis Grubb and Associates

EXHIBIT B

MITIGATION MONITORING AND REPORTING PROGRAM

*Due to the size of the MMRP, the file is available
online at:*

[https://www.cityofperris.org/departments/
development-
services/planning/environmental-
documents-for-public-review/-folder-
365#docan1206 1313 479](https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-365#docan1206_1313_479)

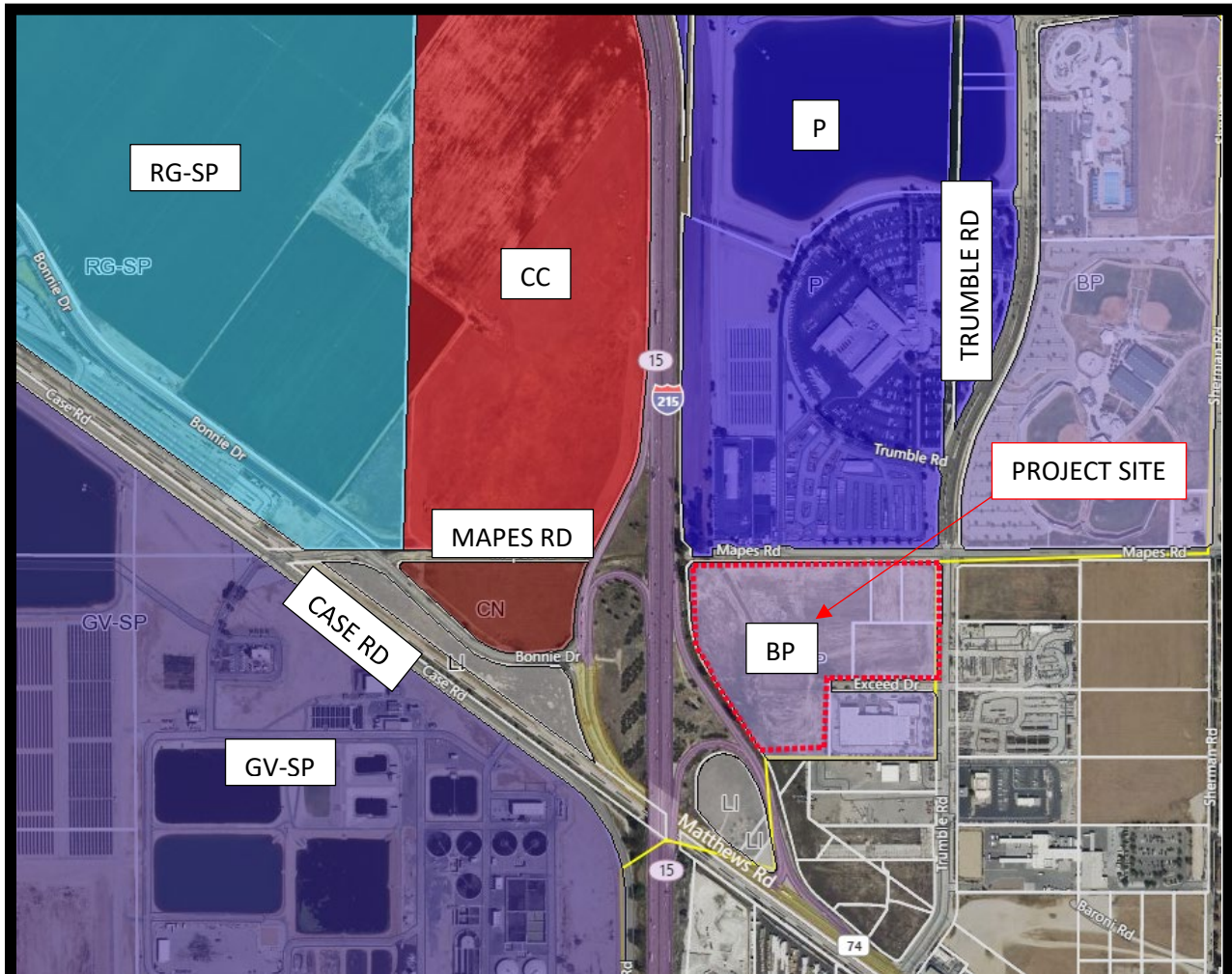
ATTACHMENT 3

Location/Aerial Map



ATTACHMENT 4

ZONING MAP



LEGEND

RG-SP: Riverglen Specific Plan

GV-SP: Green Valley Specific Plan

CC: Community Commercial

BP: Business Park

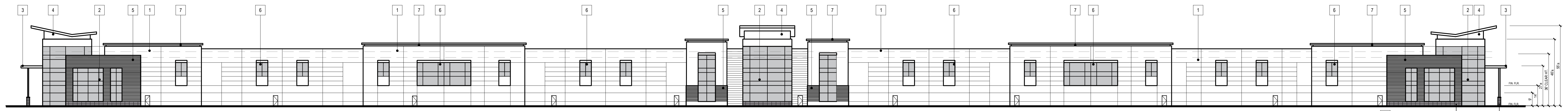
P: Public Facilities/Utilities



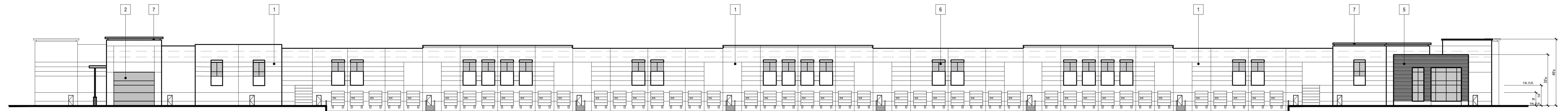
ATTACHMENT 5

PROJECT PLANS

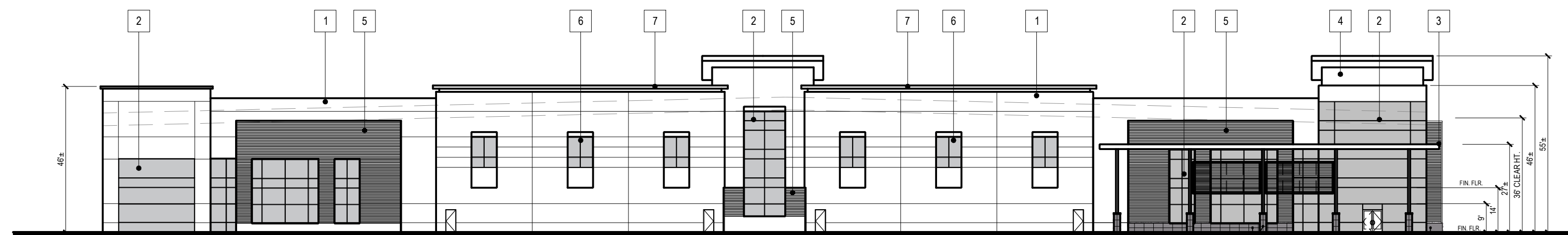
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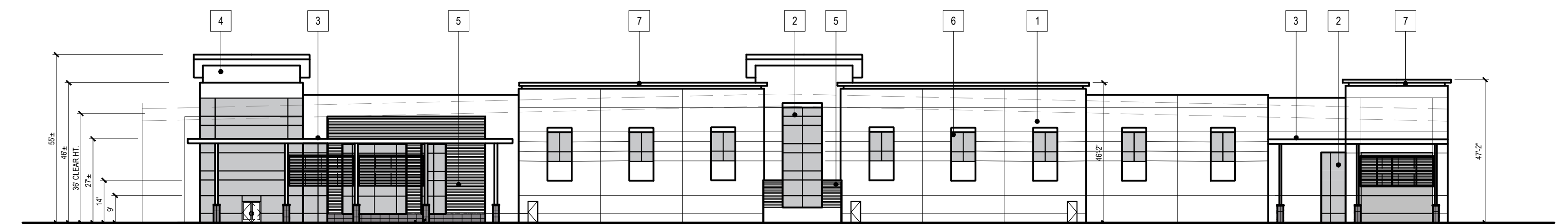
NORTH (MAPES ROAD) ELEVATION



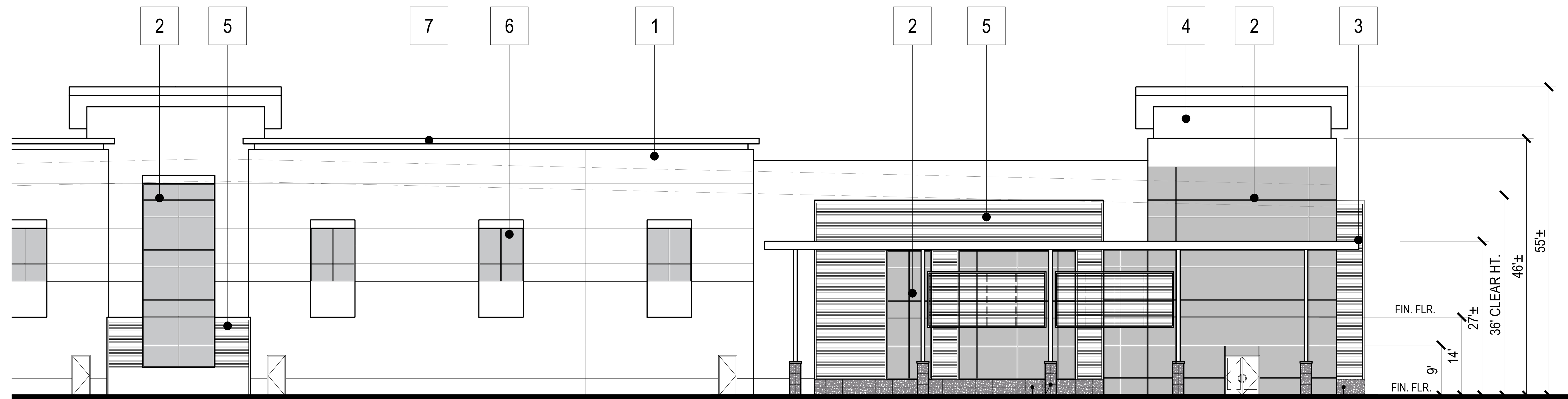
SOUTH ELEVATION



EAST (TRUMBLE ROAD) ELEVATION

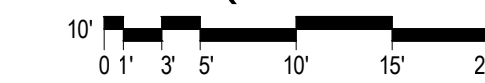


WEST ELEVATION



8 PORCELAIN VENEER AT BASE OF CORRUGATED METAL FORM AND AT TRELLIS COLUMNS
 8 PORCELAIN VENEER AT BASE OF CORRUGATED METAL FORM (BEYOND)

EAST (TRUMBLE ROAD) PARTIAL ENLARGED ELEVATION

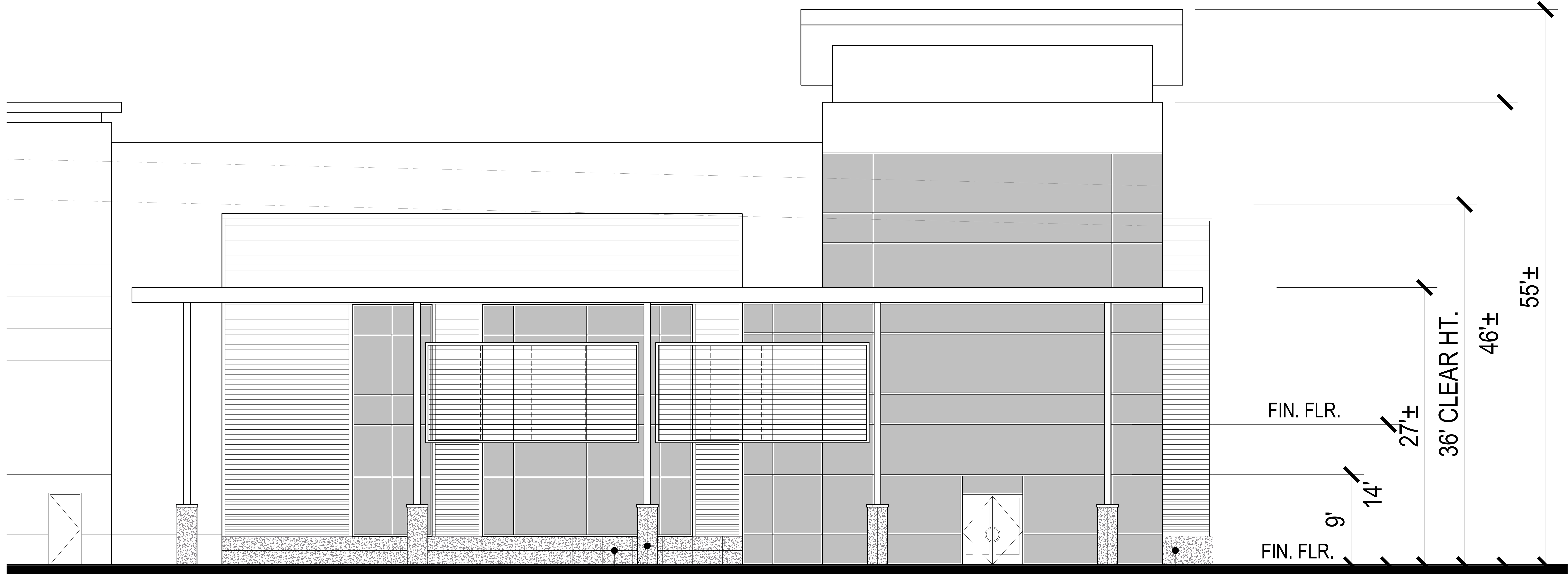


KEY NOTES:

- 1 CONCRETE TILT-UP PANEL WITH REVEALS
- 2 MEDIUM PERFORMANCE GLASS IN CLEAR ANOD. ALUM. MULLION SYSTEM.
- 3 TRELLIS CANOPY WITH LATTICE INFILL AND VERTICAL SUN SHADE DEVICE
- 4 SMOOTH METAL PANEL SYSTEM
- 5 CORRUGATED METAL PANEL SYSTEM
- 6 CLERESTORY MEDIUM PERFORMANCE GLASS IN CLEAR ANOD. ALUM. MULLIO SYSTEM
- 7 METAL CORNICE - COLOR TO MATCH KEYNOTE #4
- 8 PORCELAIN TILE (GRAY) TEXTURED STONE BY "PORCELAINO"

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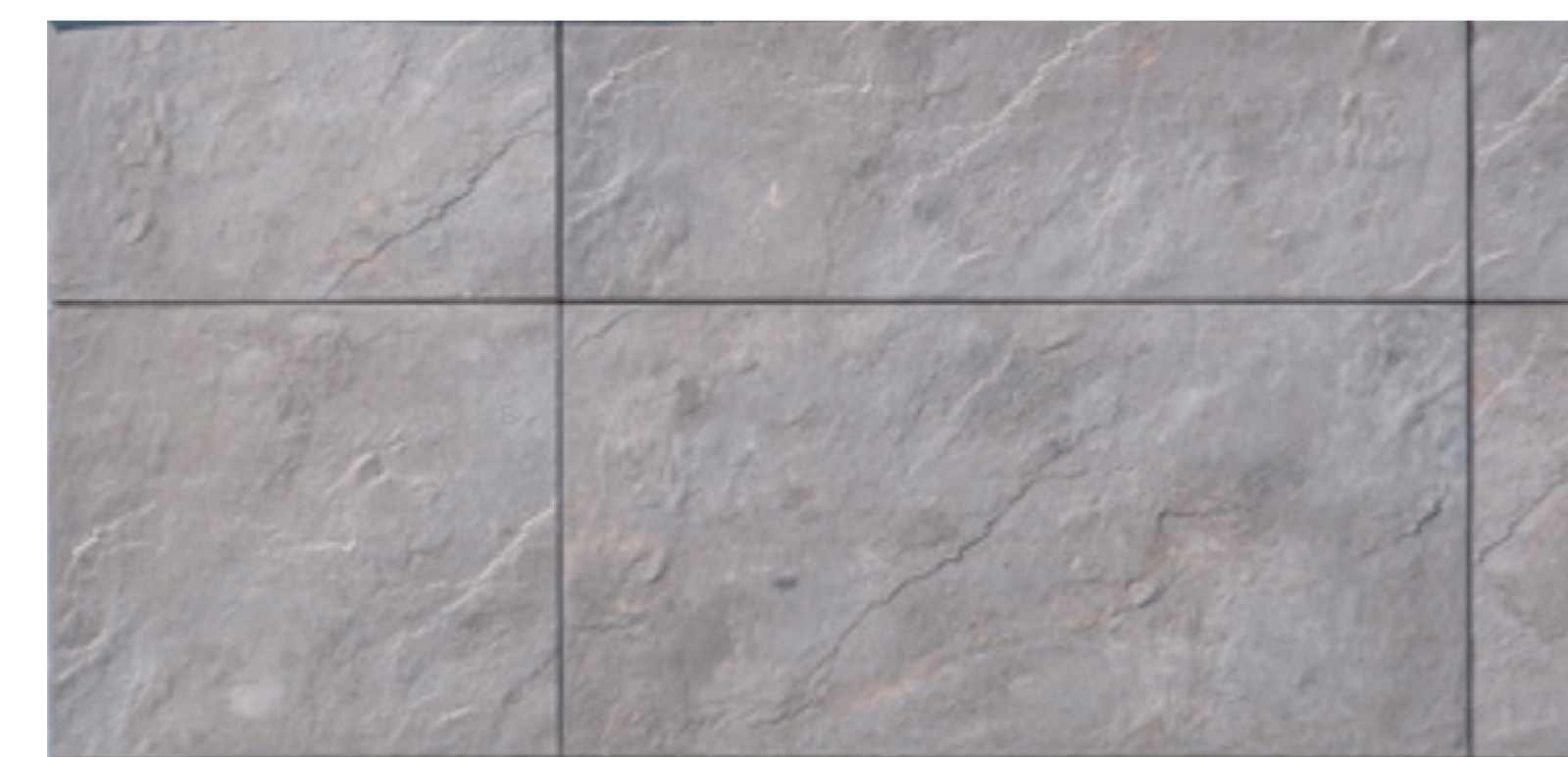
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PORCELAIN VENEER AT BASE OF CORRUGATED METAL FORM AND AT TRELIS COLUMNS

PORCELAIN VENEER AT BASE OF CORRUGATED METAL FORM (BEYOND)

EAST (TRUMBLE ROAD) ELEVATION



PORCELAIN VENEER BY "PORCELAINO"



CORRUGATED METAL BEFORE PAINT COLOR IS APPLIED (SEE COLOR RENDERING)



NORTH (MAPES ROAD) ELEVATION



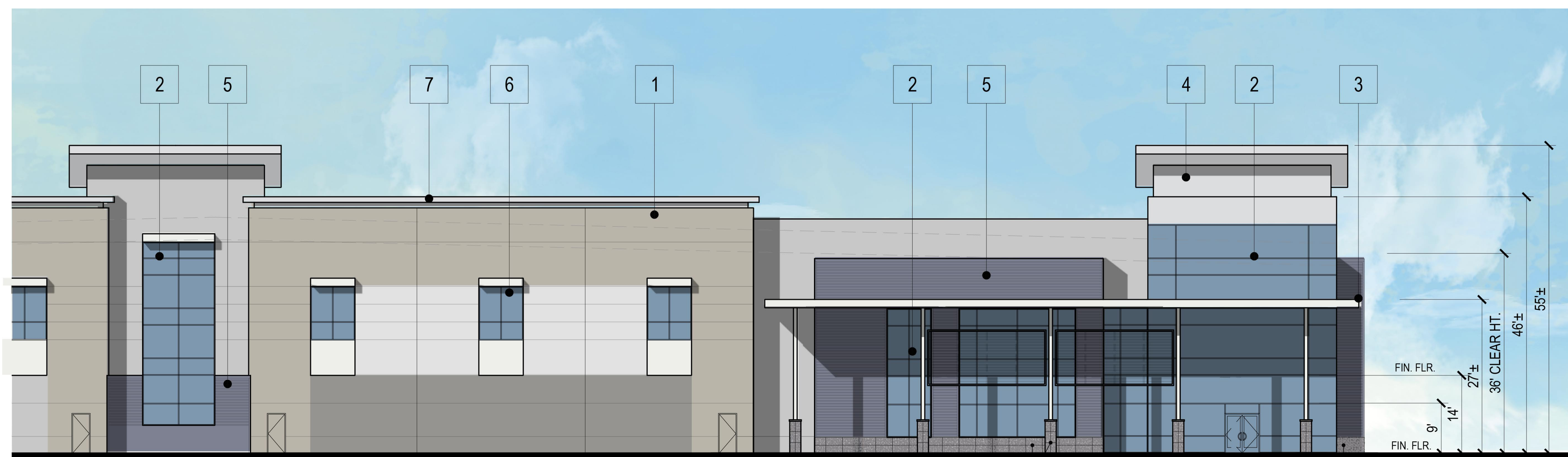
SOUTH ELEVATION



EAST (TRUMBLE ROAD) ELEVATION

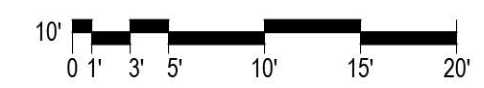


WEST ELEVATION



8 PORCELAIN VENEER AT BASE OF CORRUGATED METAL FORM AND AT TRELLIS COLUMNS
 8 PORCELAIN VENEER AT BASE OF CORRUGATED METAL FORM (BEYOND)

EAST (TRUMBLE ROAD) PARTIAL ENLARGED ELEVATION



KEY NOTES:

- 1 CONCRETE TILT-UP PANEL WITH REVEALS
- 2 MEDIUM PERFORMANCE GLASS IN CLEAR ANOD. ALUM. MULLION SYSTEM.
- 3 TRELLIS CANOPY WITH LATTICE INFILL AND VERTICAL SUN SHADE DEVICE
- 4 SMOOTH METAL PANEL SYSTEM
- 5 CORRUGATED METAL PANEL SYSTEM
- 6 CLERESTORY MEDIUM PERFORMANCE GLASS IN CLEAR ANOD. ALUM. MULLIO SYSTEM
- 7 METAL CORNICE - COLOR TO MATCH KEYNOTE #4

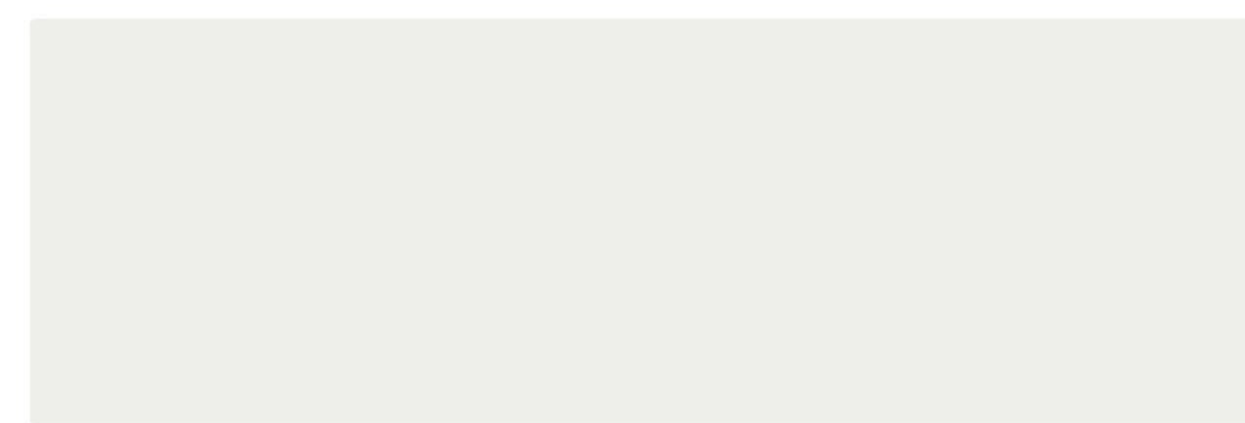
CONCEPTUAL COLORED ELEVATIONS



TEXTURED PORCELAIN TILE BY
"PORCELAINO"



CORRUGATED METAL CLADDING BEFORE PAINT
COLOR APPLIED SEE P3 FOR COLOR



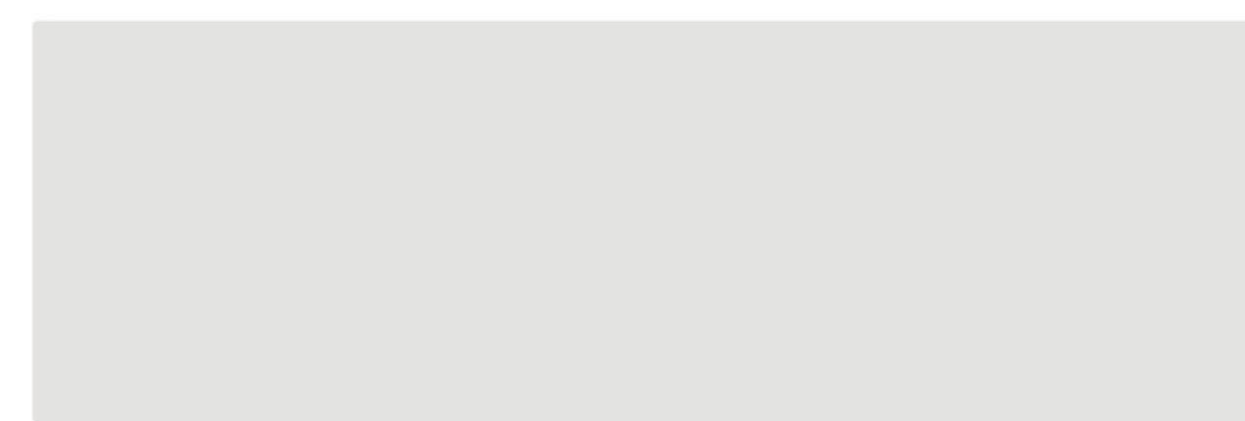
P1- SW 7006
EXTRA WHITE
BY SHERWIN WILLIAMS



P2- SW 9588
HIGH SIERRA
BY SHERWIN WILLIAMS



P3- SW 6250
GRANITE PEAK
BY SHERWIN WILLIAMS



P4- SW 6252
ICE CUBE
BY SHERWIN WILLIAMS



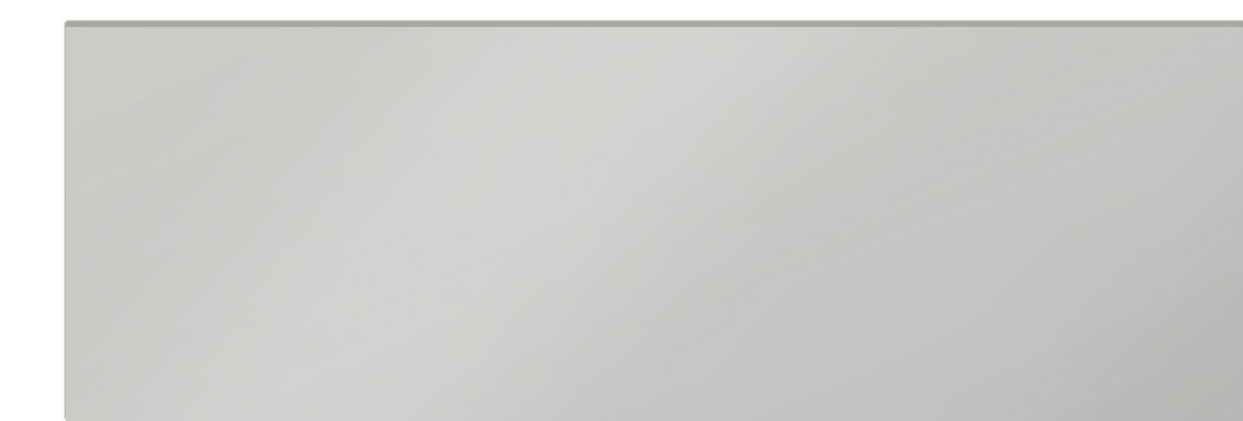
P5- SW 7064
PASSIVE
BY SHERWIN WILLIAMS



P6- SW 2850
CHELSEA GRAY
BY SHERWIN WILLIAMS



P7- SW 7650
ELLIE GRAY
BY SHERWIN WILLIAMS



M1- CLEAR ANODIZED



G- MEDIUM PERFORMANCE
REFLECTIVE GLAZING BLUE

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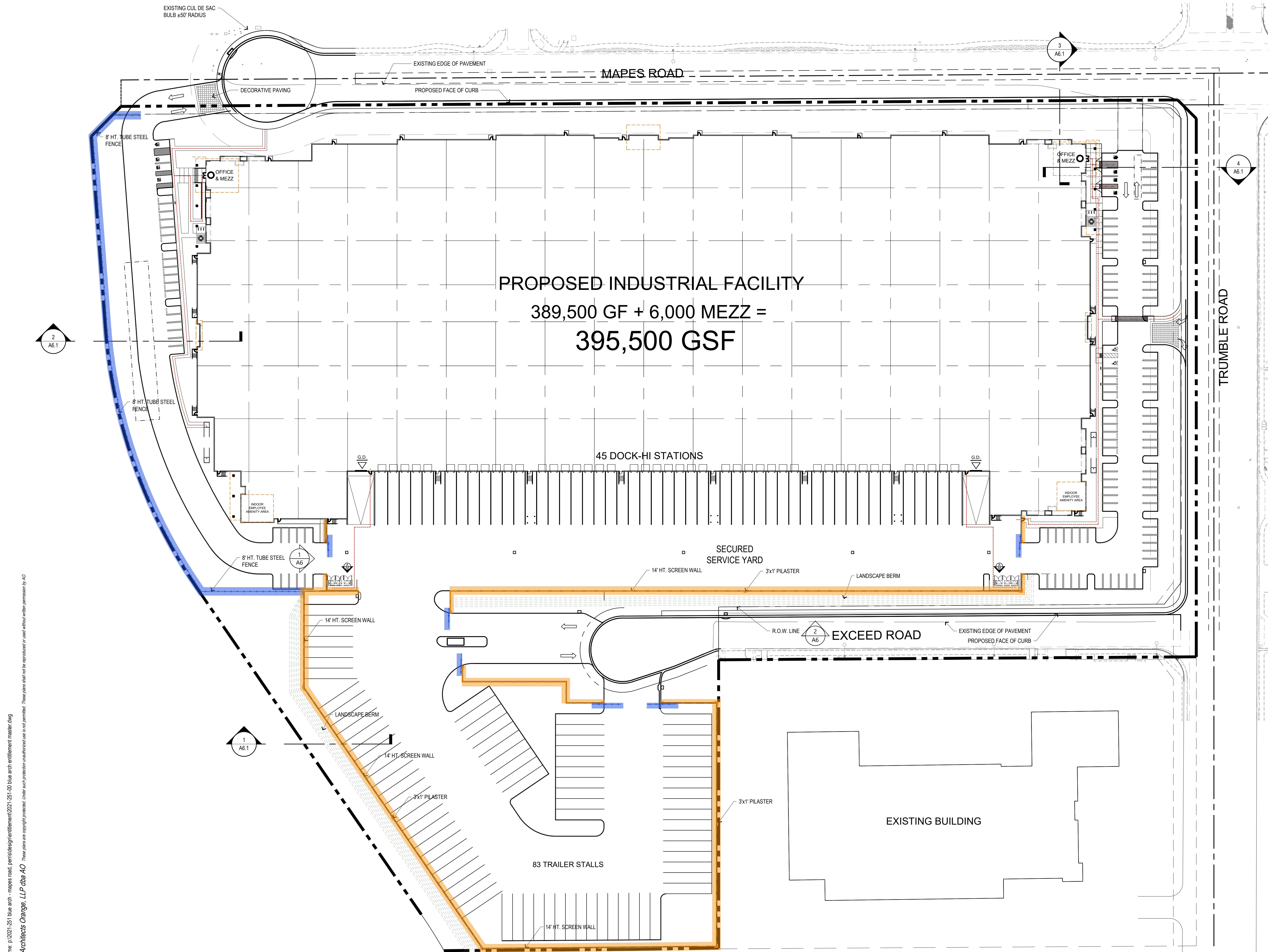
MAPES & TRUMBLE INDUSTRIAL FACILITY
PERRIS, CA

COLOR AND MATERIAL BOARD

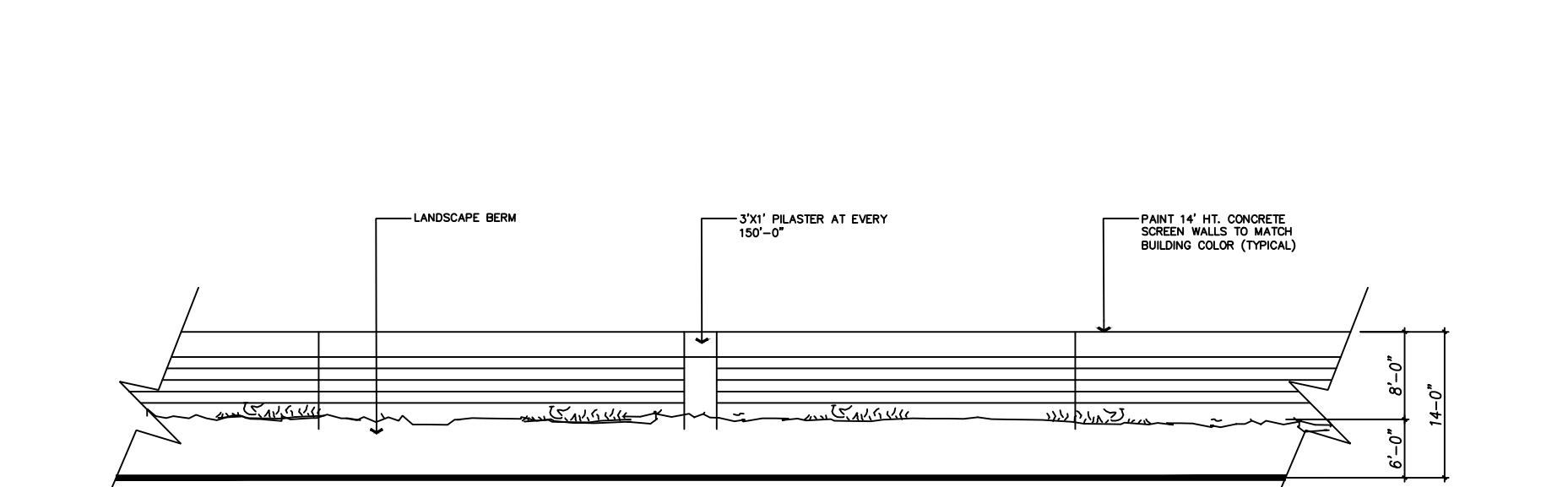
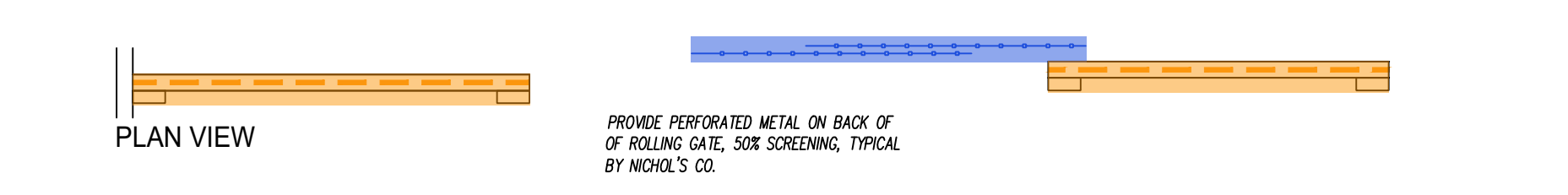
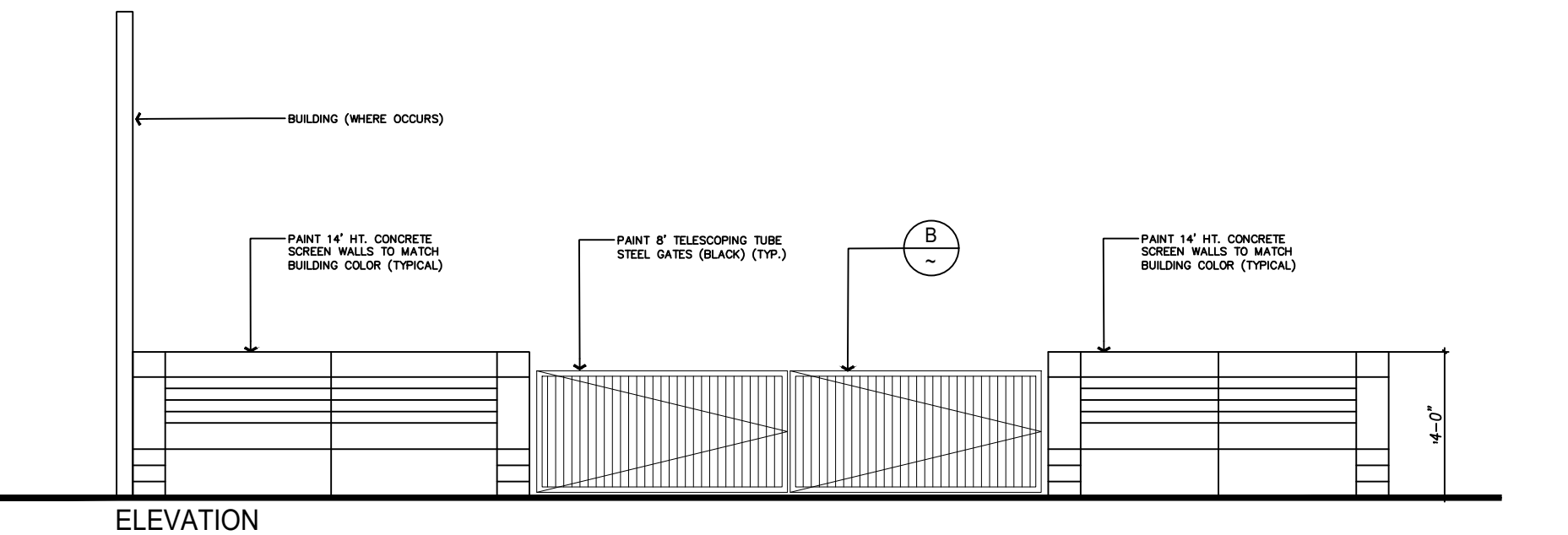
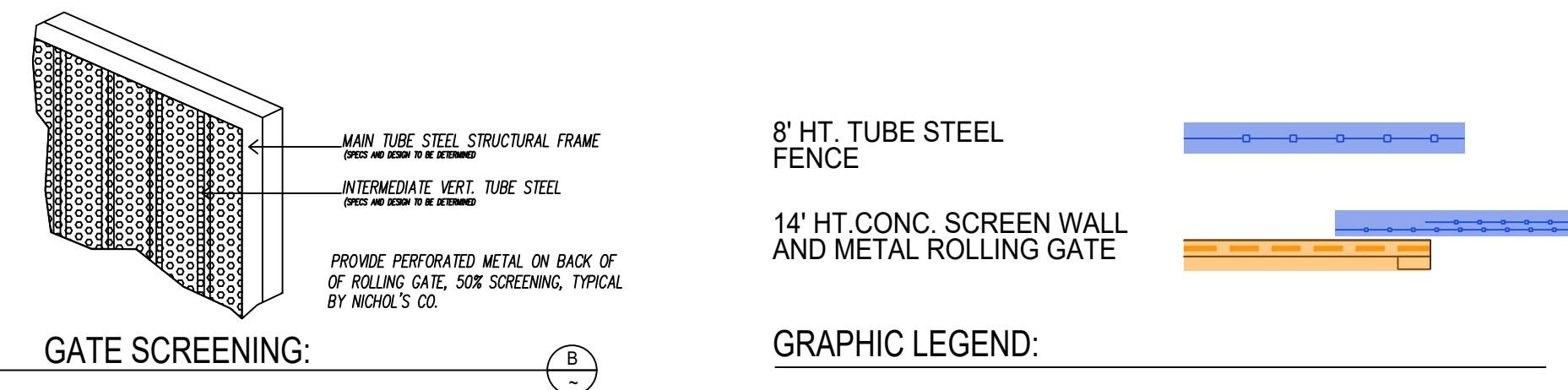
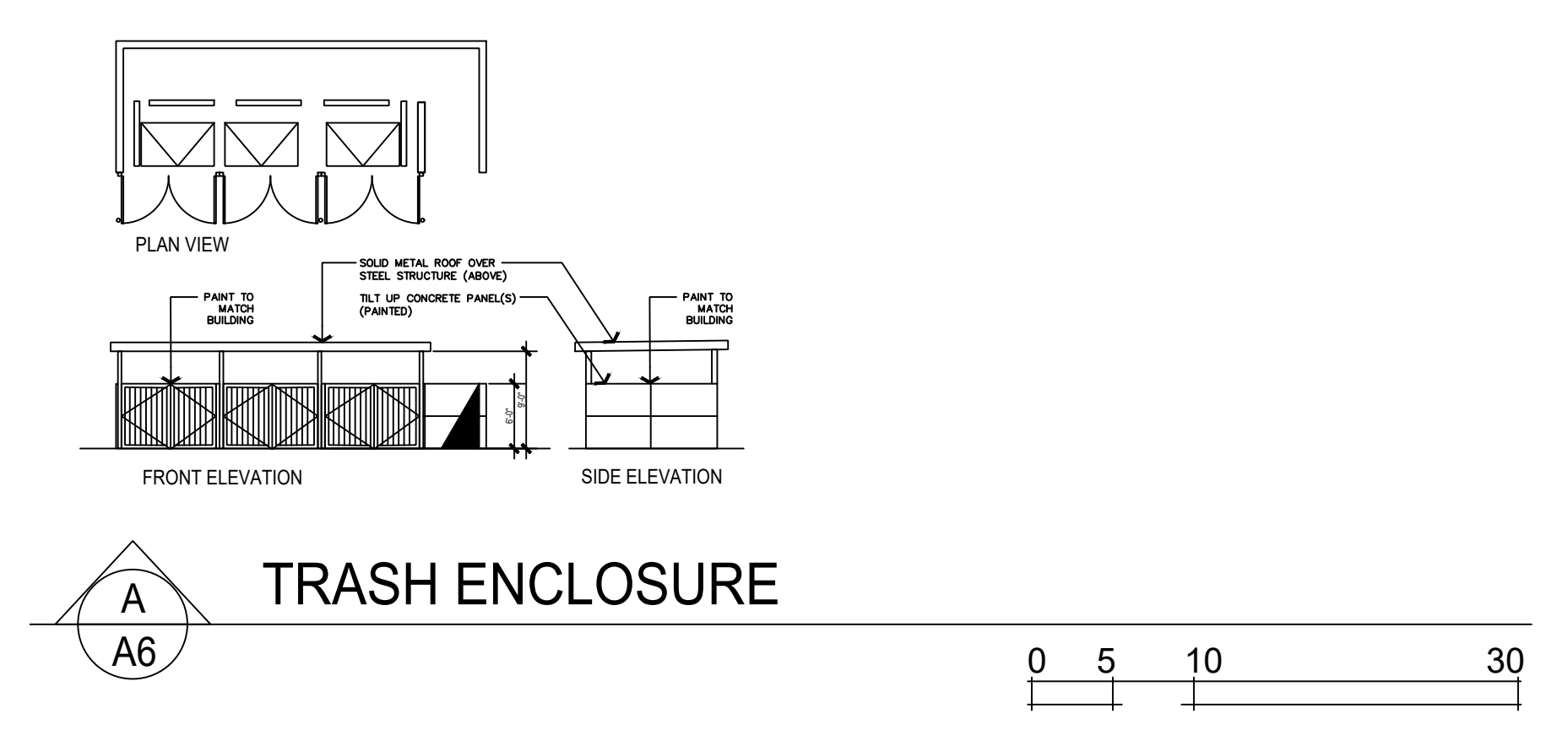


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PROPOSED INDUSTRIAL FACILITY
 389,500 GF + 6,000 MEZZ =
 395,500 GSF



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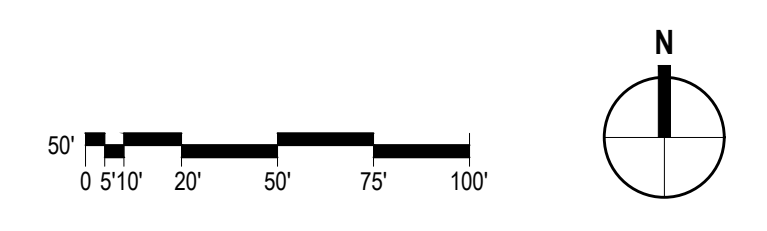
MAPES & TRUMBLE INDUSTRIAL FACILITY
 PERRIS, CA

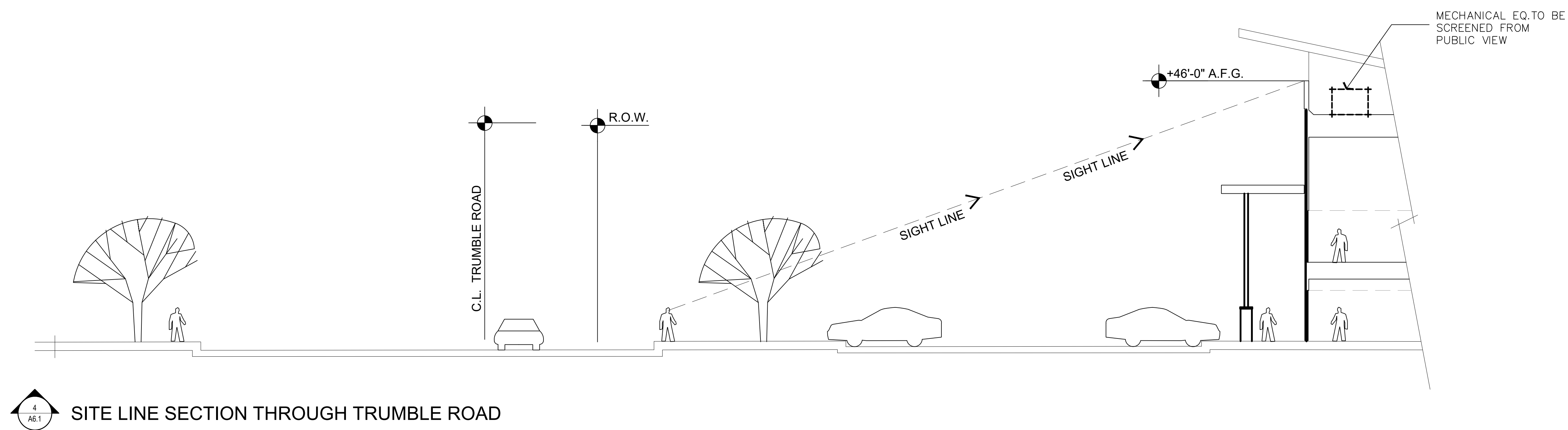
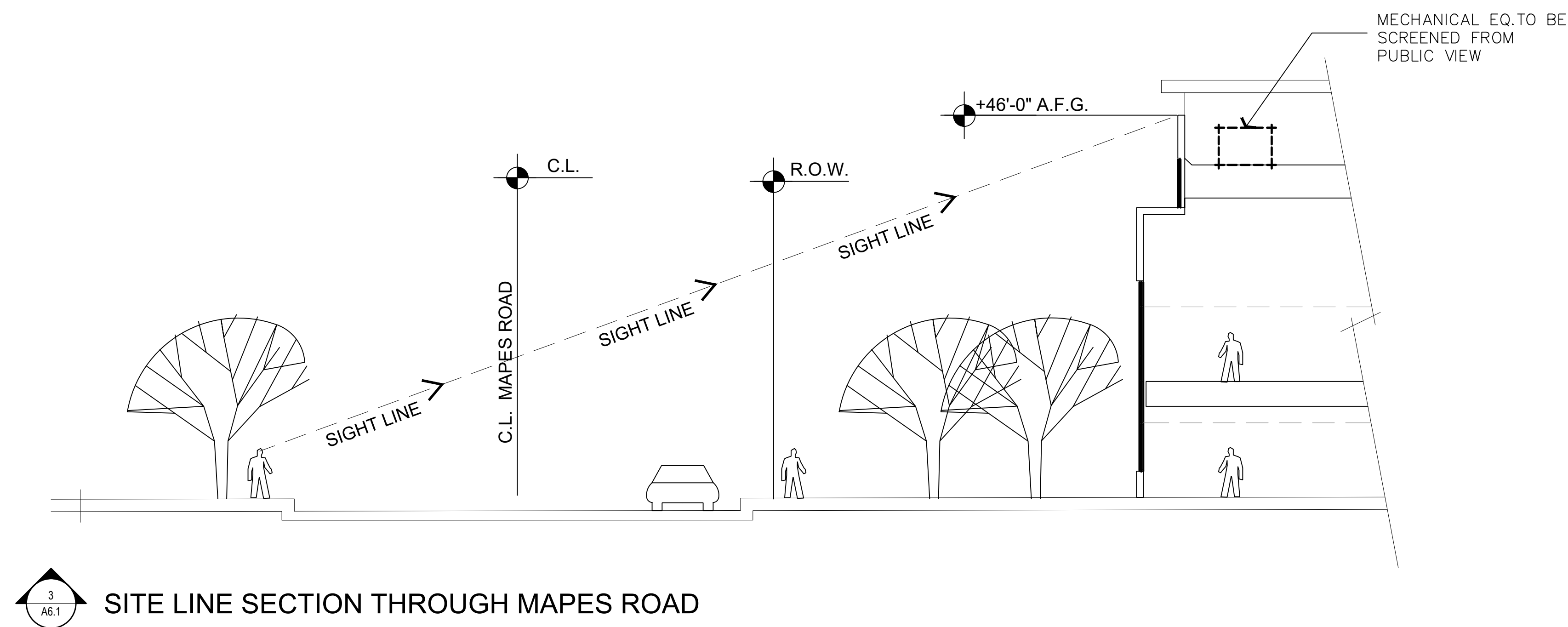
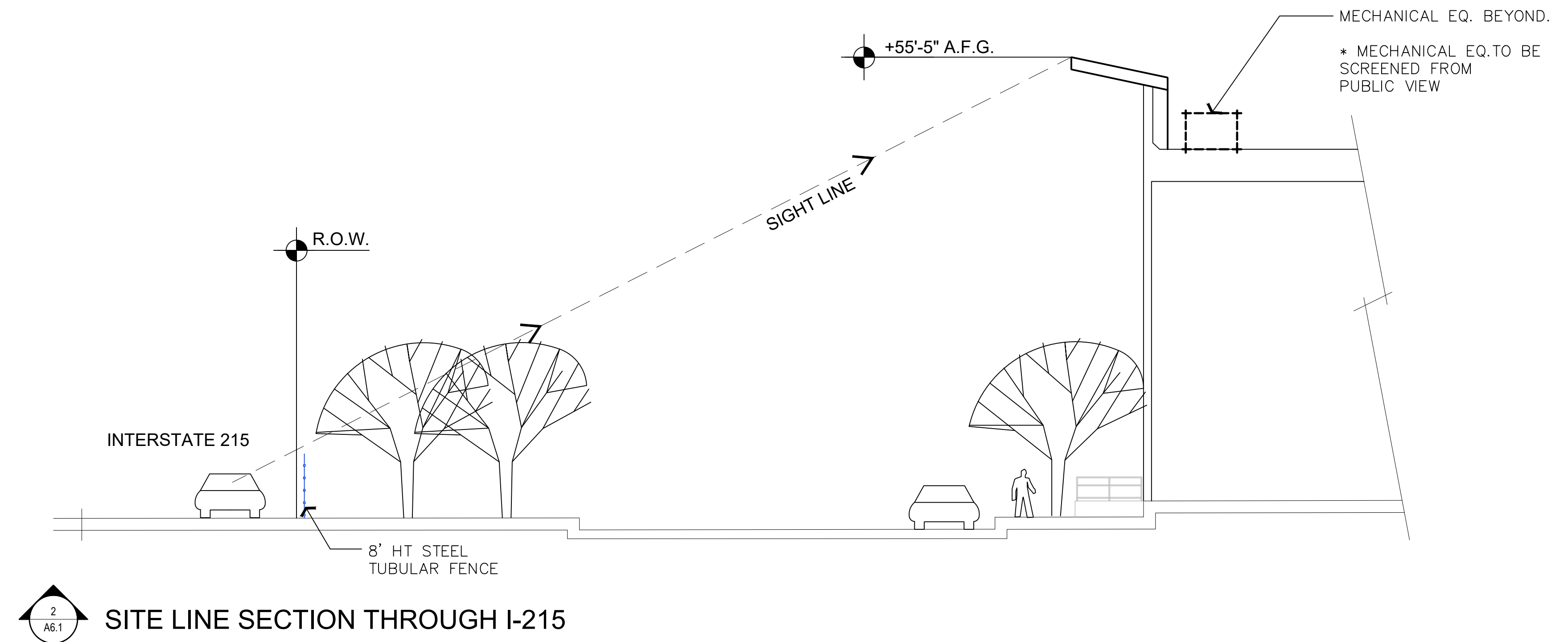
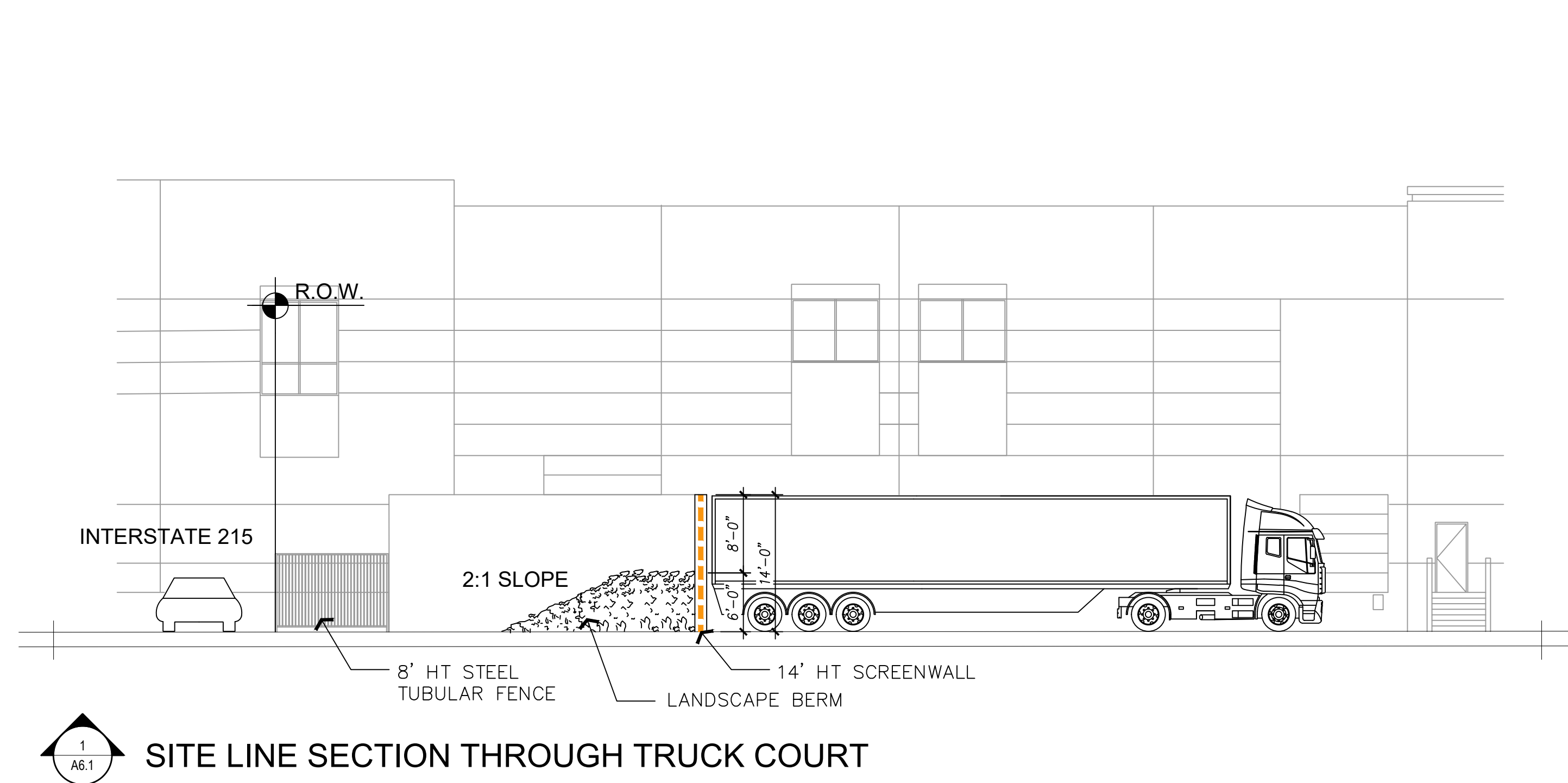
WALL & FENCE PLAN



A6

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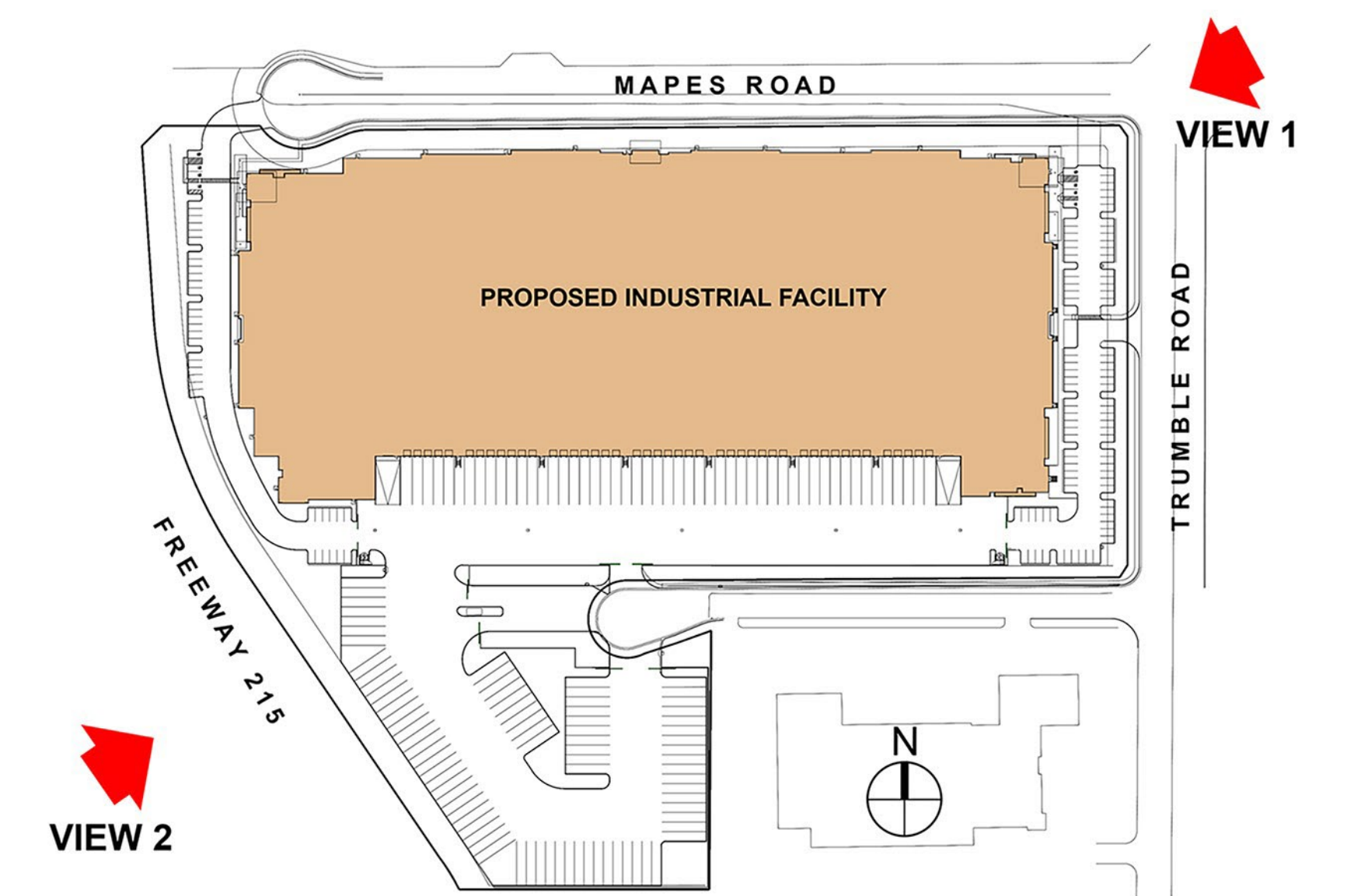
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1. VIEW FROM MAPLES RD AND TRUMBLE RD LOOKING SOUTHWEST



2. VIEW FROM FREEWAY 215 LOOKING NORTHEAST



KEY PLAN



MAPES & TRUMBLE INDUSTRIAL FACILITY
PERRIS, CA

CONCEPTUAL 3D RENDERING

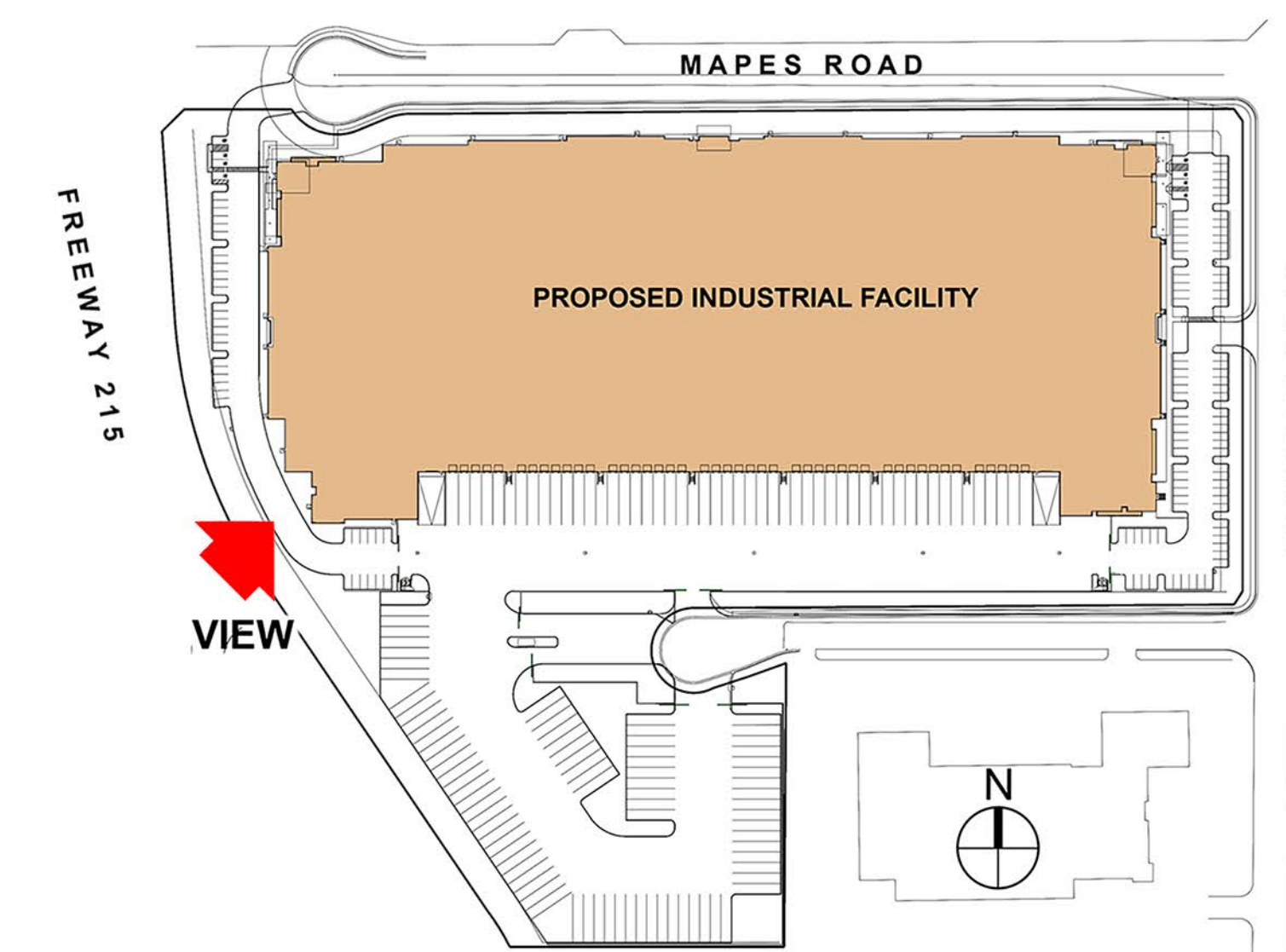


A7

2021-251
2022-08-18



VIEW FROM FREEWAY 215 LOOKING SOUTHWEST



KEY PLAN



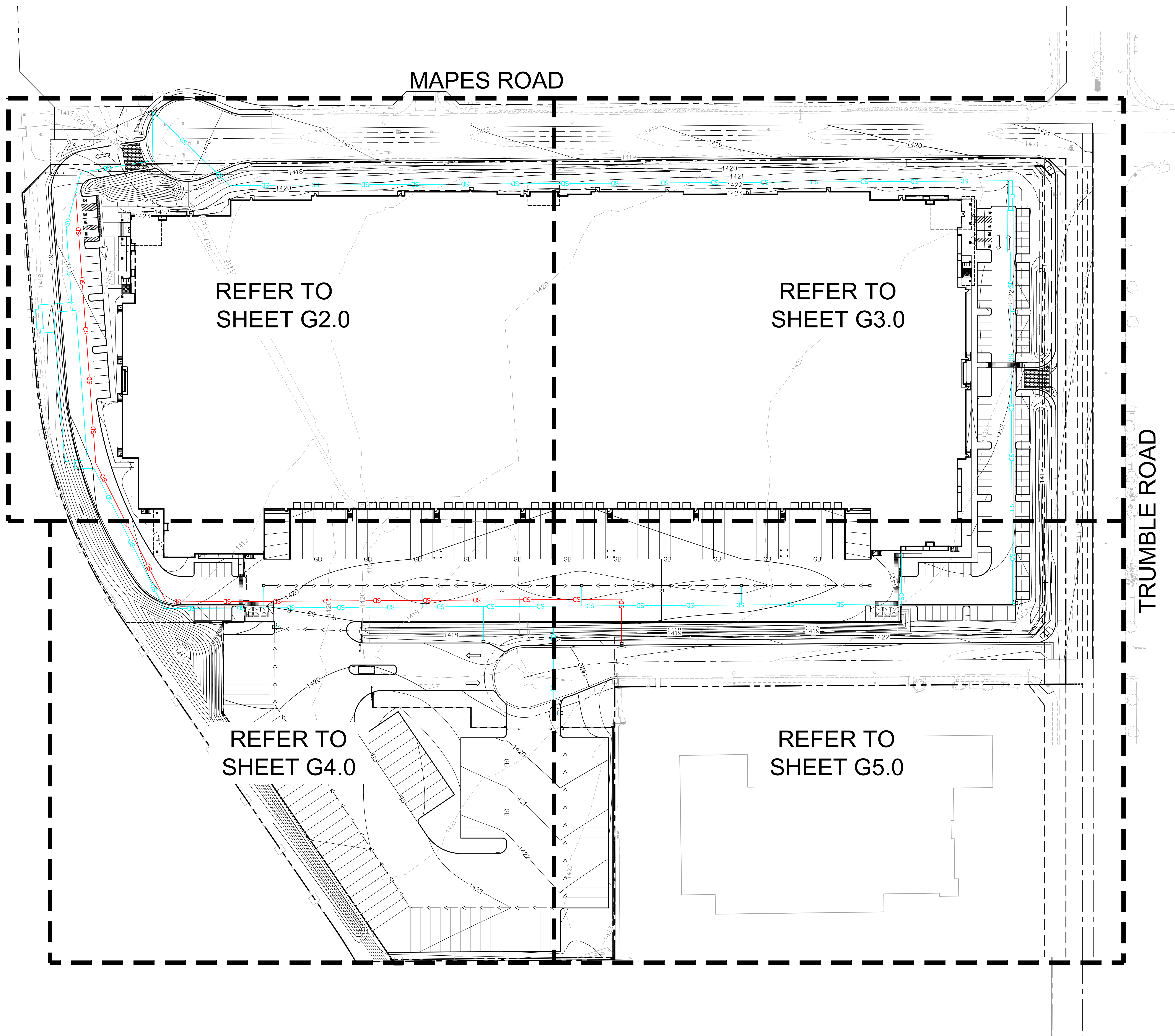
MAPES & TRUMBLE INDUSTRIAL FACILITY
PERRIS, CA

CONCEPTUAL 3D RENDERING



A8

2021-251
2022-09-29



LEGEND

	EXISTING PROPERTY LINE
	PROPOSED DEDICATED PROPERTY LINE
	EXISTING EASEMENT LINE
	STREET CENTERLINE
	SETBACK LINE
	PROPOSED ONSITE STORM DRAIN LINE
	PROPOSED OFFSITE STORM DRAIN LINE
	PROPOSED CONTOURS
	EXISTING CONTOURS
	TR TOP OF RAMP
	TW TOP OF WALL
	TC TOP OF CURB
	FS FINISHED SURFACE
	TS TOP OF STAIRS
	BS BOTTOM OF STAIRS
	EXISTING GRADE
	PROPOSED GRADE
	FLOW LINE
	GRADE BREAK LINE
	RIDGE LINE

REFER TO SHEET G2.0

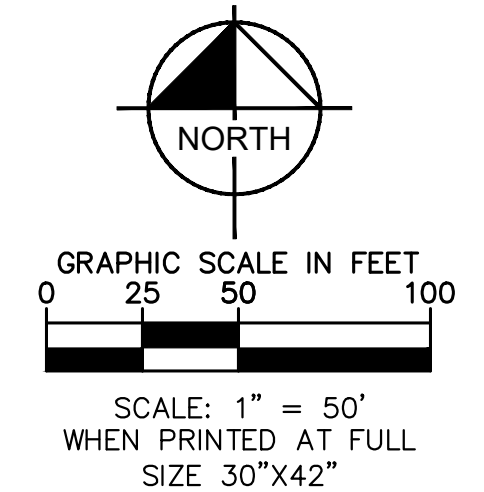
REFER TO SHEET G3.0

REFER TO SHEET G4.0

REFER TO SHEET G5.0

TRUMBLE ROAD

MAPES ROAD



No.	REVISIONS	DATE	BY

Kimley»Horn

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KHA PROJECT	MAPES & TRUMBLE INDUSTRIAL FACILITY
DATE	
SCALE	AS SHOWN
DESIGNED BY	JR
DRAWN BY	JR
CHECKED BY	JG

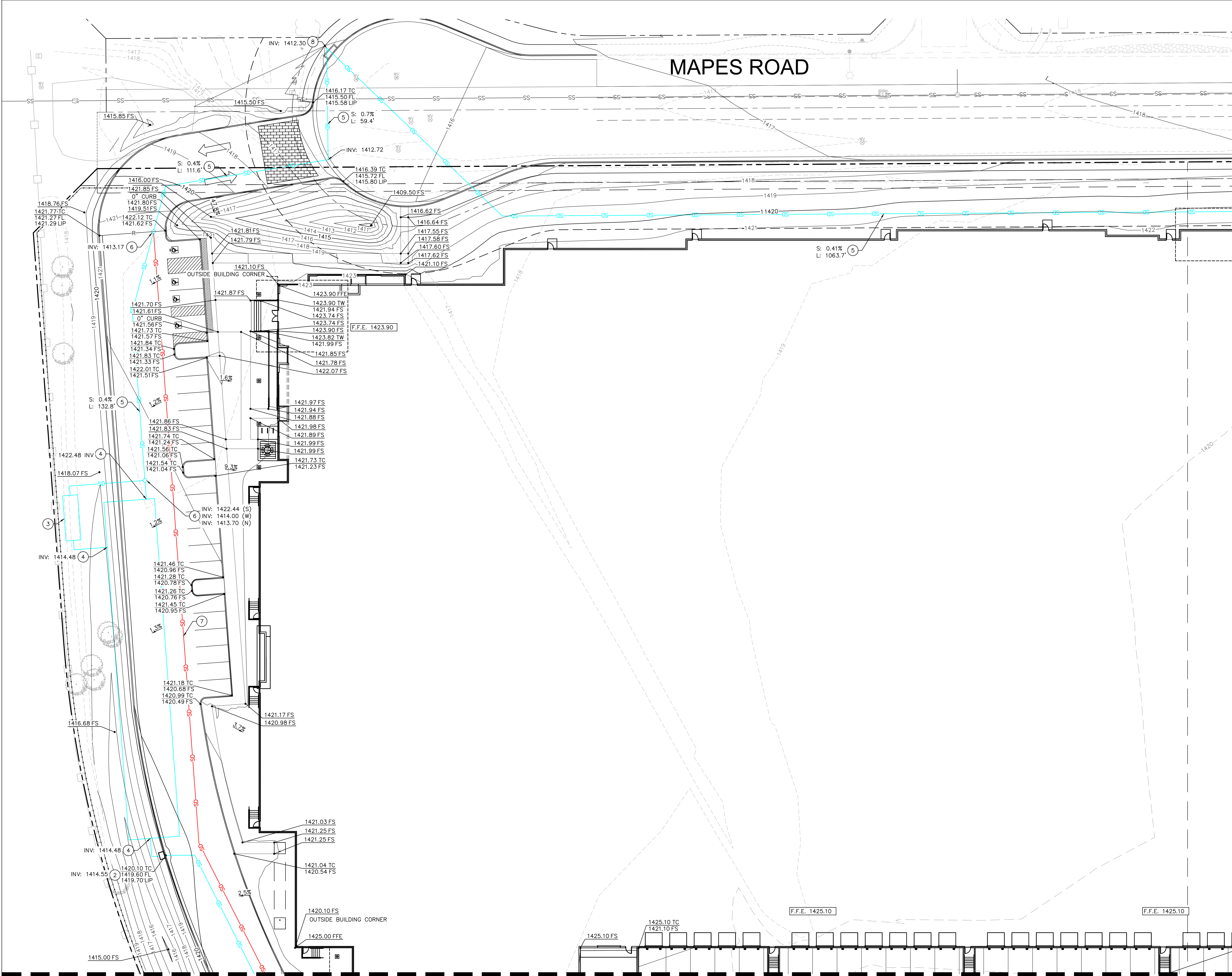
PREPARED FOR
BLUE ARCH INVESTMENTS

PERIS CA



PRELIMINARY OVERALL GRADING PLAN

SHEET NUMBER
G1.0



LEGEND

	EXISTING PROPERTY LINE
	PROPOSED DEDICATED PROPERTY LINE
	EXISTING EASEMENT LINE
	STREET CENTERLINE
	SETBACK LINE
	PROPOSED ONSITE STORM DRAIN LINE
	PROPOSED OFFSITE STORM DRAIN LINE
	PROPOSED CONTOURS
	EXISTING CONTOURS
	TR TOP OF RAMP
	TW TOP OF WALL
	TC TOP OF CURB
	FS FINISHED SURFACE
	TS TOP OF STAIRS
	BS BOTTOM OF STAIRS
	(1419.50 TC) EXISTING GRADE
	(1419.00 FS) PROPOSED GRADE
	→ FLOW LINE
	— GB GRADE BREAK LINE
	— R RIDGE LINE

DATUM NOTES

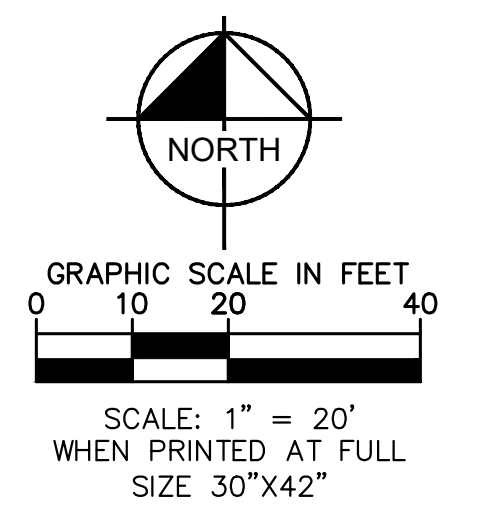
DATUM HAS BEEN ADJUSTED BY ORIGINAL SURVEYOR TO OPUS NAVD88 DATUM. DATUM HAS BEEN ESTIMATED TO BE ACCURATE TO THE 0.18' OF THE COUNTRY BENCHMARK.

DRAINAGE STATEMENT

STORMWATER RUNOFF GENERATED ONSITE WILL BE CAPTURED BY THE PROPOSED GRATE INLETS AND CATCH BASINS. FROM THERE WATER WILL BE ROUTED VIA PROPOSED STORM DRAIN PIPE INTO THE PROPOSED UNDERGROUND WATER TREATMENT/STORAGE TANKS. WATER AFTER LEAVING THE TANKS WILL DRAIN VIA PROPOSED STORM DRAIN PIPE INTO AN EXISTING OFFSITE CATCH BASIN THAT DRAINS OUT INTO AN EXISTING NATURALLY VEGETATED CHANNEL. THE FLOW TO THE EXISTING CATCH BASIN SHALL NOT EXCEED THE EXISTING HYDROLOGY CONDITIONS.

- ### DRAINAGE NOTES
- ① PROPOSED STORM DRAIN INLET.
 - ② PROPOSED CURB OPENING CATCH BASIN.
 - ③ PROPOSED MODULAR WETLAND SYSTEM.
 - ④ PROPOSED WATER STORAGE TANK.
 - ⑤ PROPOSED STORM DRAIN LINE.
 - ⑥ PROPOSED STORM DRAIN MANHOLE.
 - ⑦ PROPOSED OFFSITE STORM DRAIN LINE.
 - ⑧ PROPOSED CONNECTION TO EXISTING CATCH BASIN.
 - ⑨ PROPOSED TRAFFIC RATED TRENCH DRAIN.

REFER TO SHEET G3.0



REFER TO SHEET G4.0

No.	REVISIONS	DATE	BY

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KHA PROJECT	
DATE	
SCALE AS SHOWN	
DESIGNED BY	JR
DRAWN BY	JR
CHECKED BY	JG

MAPES & TRUMBLE INDUSTRIAL FACILITY
PREPARED FOR
BLUE ARCH INVESTMENTS























PRELIMINARY GRADING PLAN 1

SHEET NUMBER
G2.0

MAPES ROAD

LEGEND

-  EXISTING PROPERTY LINE
-  PROPOSED DEDICATED PROPERTY LINE
-  EXISTING EASEMENT LINE
-  STREET CENTERLINE
-  SETBACK LINE
-  PROPOSED ONSITE STORM DRAIN LINE
-  PROPOSED OFFSITE STORM DRAIN LINE
-  1419 PROPOSED CONTOURS
-  -1419 EXISTING CONTOURS
-  TR TOP OF RAMP
-  TW TOP OF WALL
-  TC TOP OF CURB
-  FS FINISHED SURFACE
-  TS TOP OF STAIRS
-  BS BOTTOM OF STAIRS
-  (1419.50 TC) EXISTING GRADE
-  (1419.00 FS) PROPOSED GRADE
-  FLOW LINE
-  GB GRADE BREAK LINE
-  R RIDGE LINE

DATUM NOTES

DATUM HAS BEEN ADJUSTED BY ORIGINAL SURVEYOR TO OPUS NAVD83 DATUM. DATUM HAS BEEN ESTIMATED TO BE ACCURATE TO THE 0.18' OF THE COUNTRY BENCHMARK.

DRAINAGE STATEMENT

STORMWATER RUNOFF GENERATED ONSITE WILL BE CAPTURED BY THE PROPOSED GRATE INLETS AND CATCH BASINS. FROM THERE WATER WILL BE ROUTED VIA PROPOSED STORM DRAIN PIPE INTO THE PROPOSED UNDERGROUND WATER TREATMENT/STORAGE TANKS. WATER AFTER LEAVING THE TANKS WILL DRAIN VIA PROPOSED STORM DRAIN PIPE INTO AN EXISTING OFFSITE CATCH BASIN THAT DRAINS OUT INTO AN EXISTING NATURALLY VEGETATED CHANNEL. THE FLOW TO THE EXISTING CATCH BASIN SHALL NOT EXCEED THE EXISTING HYDROLOGY CONDITIONS.

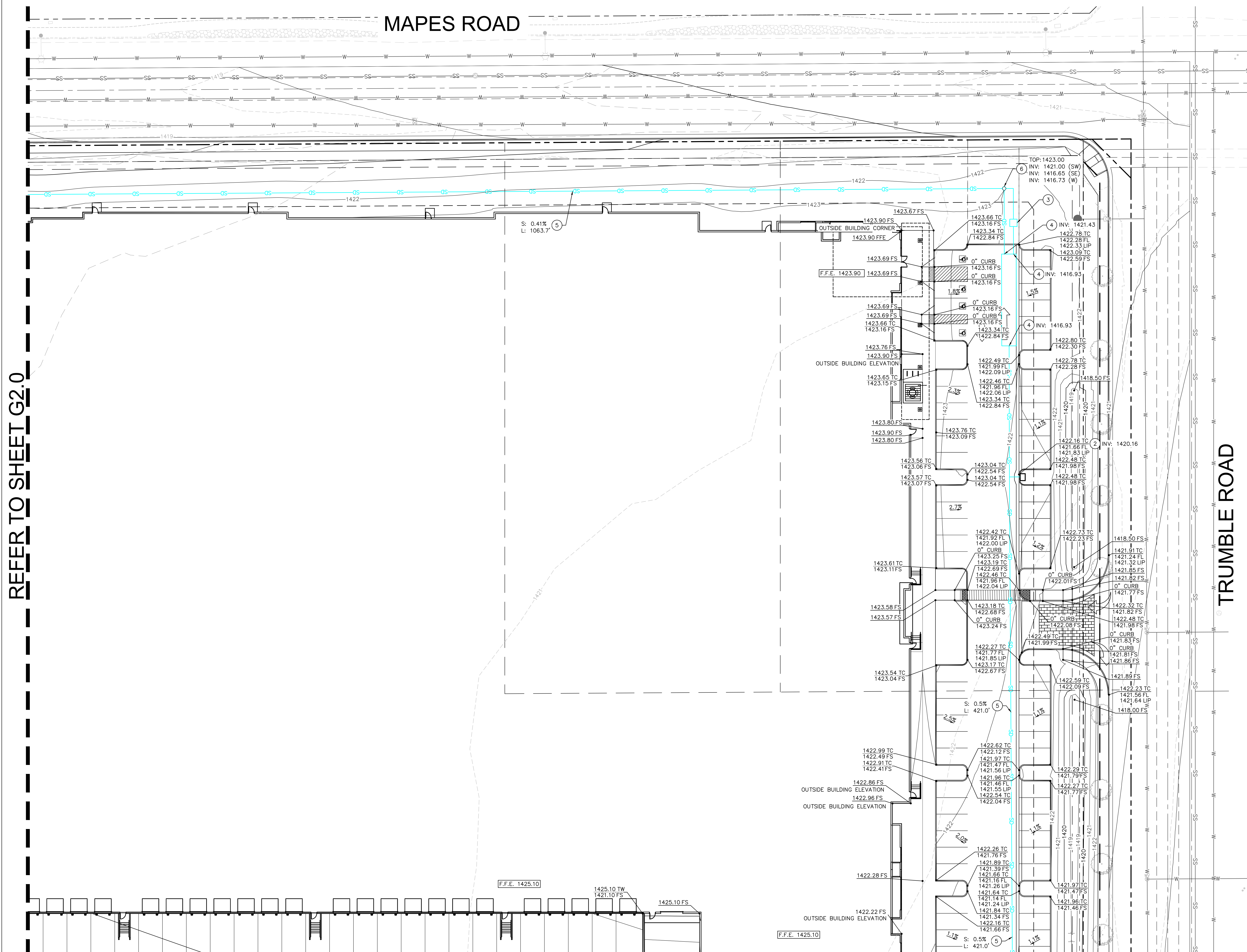
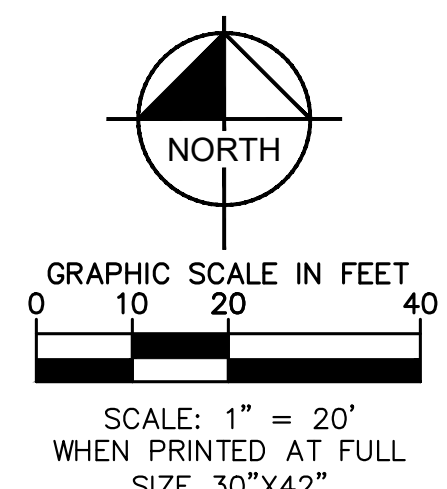
DRAINAGE NOTES

- 1 PROPOSED STORM DRAIN INLET.
- 2 PROPOSED CURB OPENING CATCH BASIN.
- 3 PROPOSED MODULAR WETLAND SYSTEM.
- 4 PROPOSED WATER STORAGE TANK.
- 5 PROPOSED STORM DRAIN LINE.
- 6 PROPOSED STORM DRAIN MANHOLE.
- 7 PROPOSED OFFSITE STORM DRAIN LINE.
- 8 PROPOSED CONNECTION TO EXISTING CATCH BASIN.
- 9 PROPOSED TRAFFIC RATED TRENCH DRAIN.

REFER TO SHEET G2.0

TRUMBULE ROAD

REFER TO SHEET G5.0



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KHA PROJECT	MAPES & TRUMBULE INDUSTRIAL FACILITY
DATE	
SCALE	AS SHOWN
DESIGNED BY	JR
DRAWN BY	JR
CHECKED BY	JG

MAPES & TRUMBULE INDUSTRIAL FACILITY
PREPARED FOR
BLUE ARCH INVESTMENTS
PERIS



PRELIMINARY GRADING PLAN 2

SHEET NUMBER

G3.0

REFER TO SHEET G3.0

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED DEDICATED PROPERTY LINE
- EXISTING EASEMENT LINE
- STREET CENTERLINE
- SETBACK LINE
- PROPOSED ONSITE STORM DRAIN LINE
- PROPOSED OFFSITE STORM DRAIN LINE
- PROPOSED CONTOURS
- EXISTING CONTOURS
- TR TOP OF RAMP
- TW TOP OF WALL
- TC TOP OF CURB
- FS FINISHED SURFACE
- TS TOP OF STAIRS
- BS BOTTOM OF STAIRS
- (1419.50 TC) EXISTING GRADE
- (1419.00 FS) PROPOSED GRADE
- FLOW LINE
- GB GRADE BREAK LINE
- R RIDGE LINE

DATUM NOTES

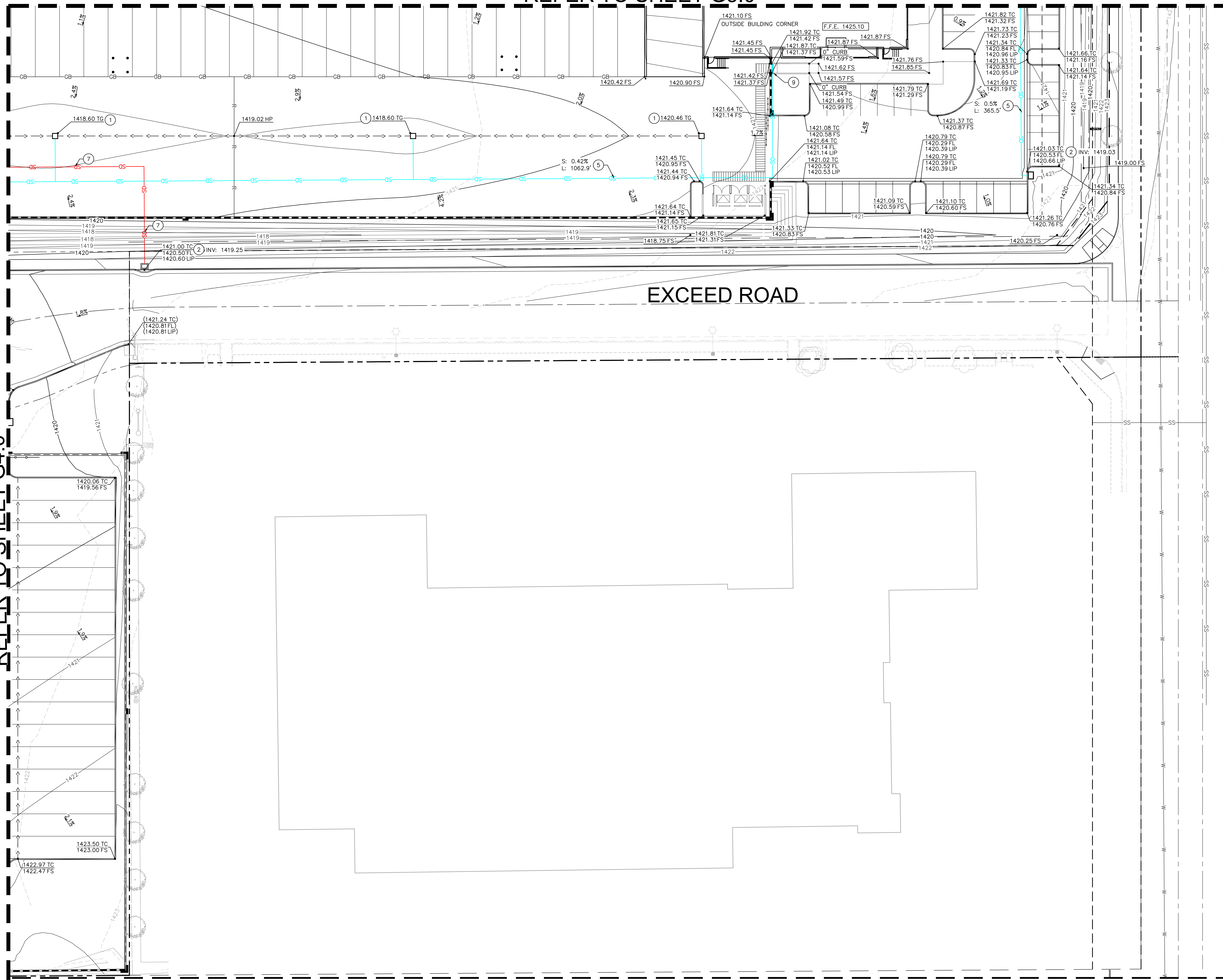
DATUM HAS BEEN ADJUSTED BY ORIGINAL SURVEYOR TO OPUS NAVD83 DATUM. DATUM HAS BEEN ESTIMATED TO BE ACCURATE TO THE 0.18" OF THE COUNTRY BENCHMARK.

DRAINAGE STATEMENT

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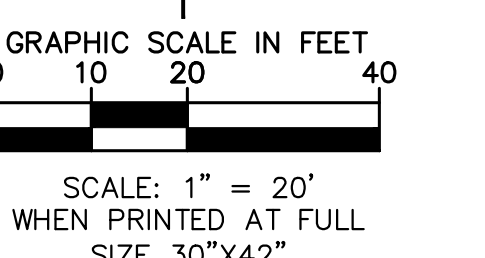
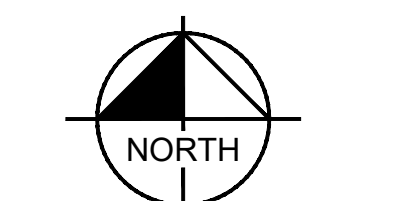
DRAINAGE NOTES

- ① PROPOSED STORM DRAIN INLET.
- ② PROPOSED CURB OPENING CATCH BASIN.
- ③ PROPOSED MODULAR WETLAND SYSTEM.
- ④ PROPOSED WATER STORAGE TANK.
- ⑤ PROPOSED STORM DRAIN LINE.
- ⑥ PROPOSED STORM DRAIN MANHOLE.
- ⑦ PROPOSED OFFSITE STORM DRAIN LINE.
- ⑧ PROPOSED CONNECTION TO EXISTING CATCH BASIN.
- ⑨ PROPOSED TRAFFIC RATED TRENCH DRAIN.



TRUMBLE ROAD

REFER TO SHEET G4.0



SCALE: 1" = 20'
WHEN PRINTED AT FULL
SIZE 30"x42"

No.	REVISIONS	DATE	BY

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KHA PROJECT	
DATE	
SCALE AS SHOWN	
DESIGNED BY	JR
DRAWN BY	JR
CHECKED BY	JG

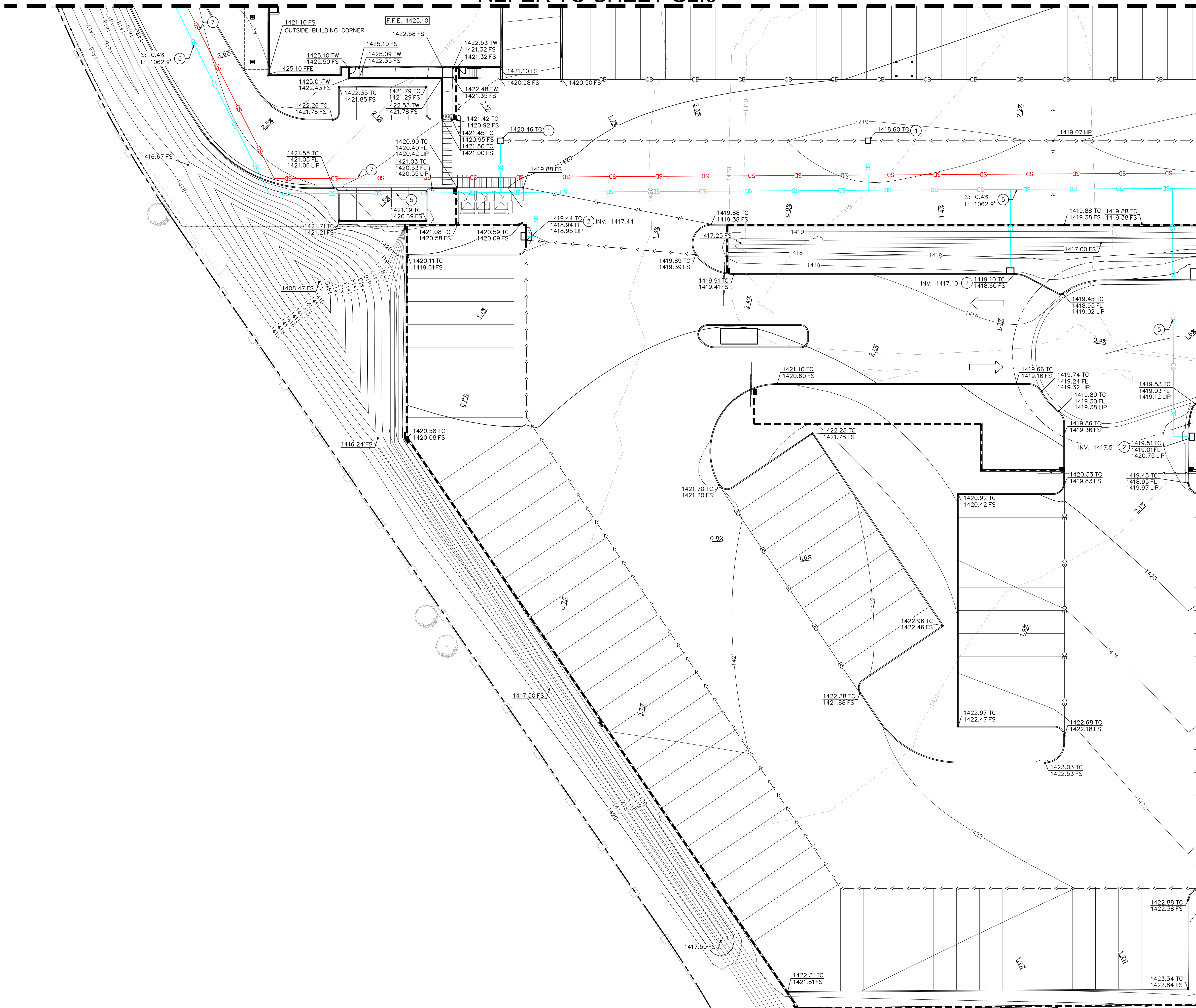
MAPES & TRUMBLE INDUSTRIAL FACILITY
PREPARED FOR
BLUE ARCH INVESTMENTS



LICENSED PROFESSIONAL
PRELIMINARY GRADING PLAN 4

SHEET NUMBER
G5.0

REFER TO SHEET G2.0



REFER TO SHEET G5.0

LEGEND

- EXISTING PROPERTY LINE
- - - PROPOSED DEDICATED PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - STREET CENTERLINE
- - - SETBACK LINE
- SD PROPOSED ONSITE STORM DRAIN LINE
- SD PROPOSED OFFSITE STORM DRAIN LINE
- - - PROPOSED CONTOURS
- - - EXISTING CONTOURS
- TR TOP OF RAMP
- TW TOP OF WALL
- TC TOP OF CURB
- FS FINISHED SURFACE
- TS TOP OF STAIRS
- BS BOTTOM OF STAIRS
- (1419.50 TC)
(1419.00 FS) EXISTING GRADE
- 1419.50 TC
1419.00 FS PROPOSED GRADE
- FLOW LINE
- GB GRADE BREAK LINE
- R RIDGE LINE

DATUM NOTES

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DRAINAGE NOTES

- ① PROPOSED STORM DRAIN INLET.
- ② PROPOSED CURB OPENING CATCH BASIN.
- ③ PROPOSED MODULAR WETLAND SYSTEM.
- ④ PROPOSED WATER STORAGE TANK.
- ⑤ PROPOSED STORM DRAIN LINE.
- ⑥ PROPOSED STORM DRAIN MANHOLE.
- ⑦ PROPOSED OFFSITE STORM DRAIN LINE.
- ⑧ PROPOSED CONNECTION TO EXISTING CATCH BASIN.
- ⑨ PROPOSED TRAFFIC RATED TRENCH DRAIN.

No.	REVISIONS	DATE	BY

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KHA PROJECT	MAPES & TRUMBLE INDUSTRIAL FACILITY
DATE	
SCALE	AS SHOWN
DESIGNED BY	JR
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CHECKED BY	JG

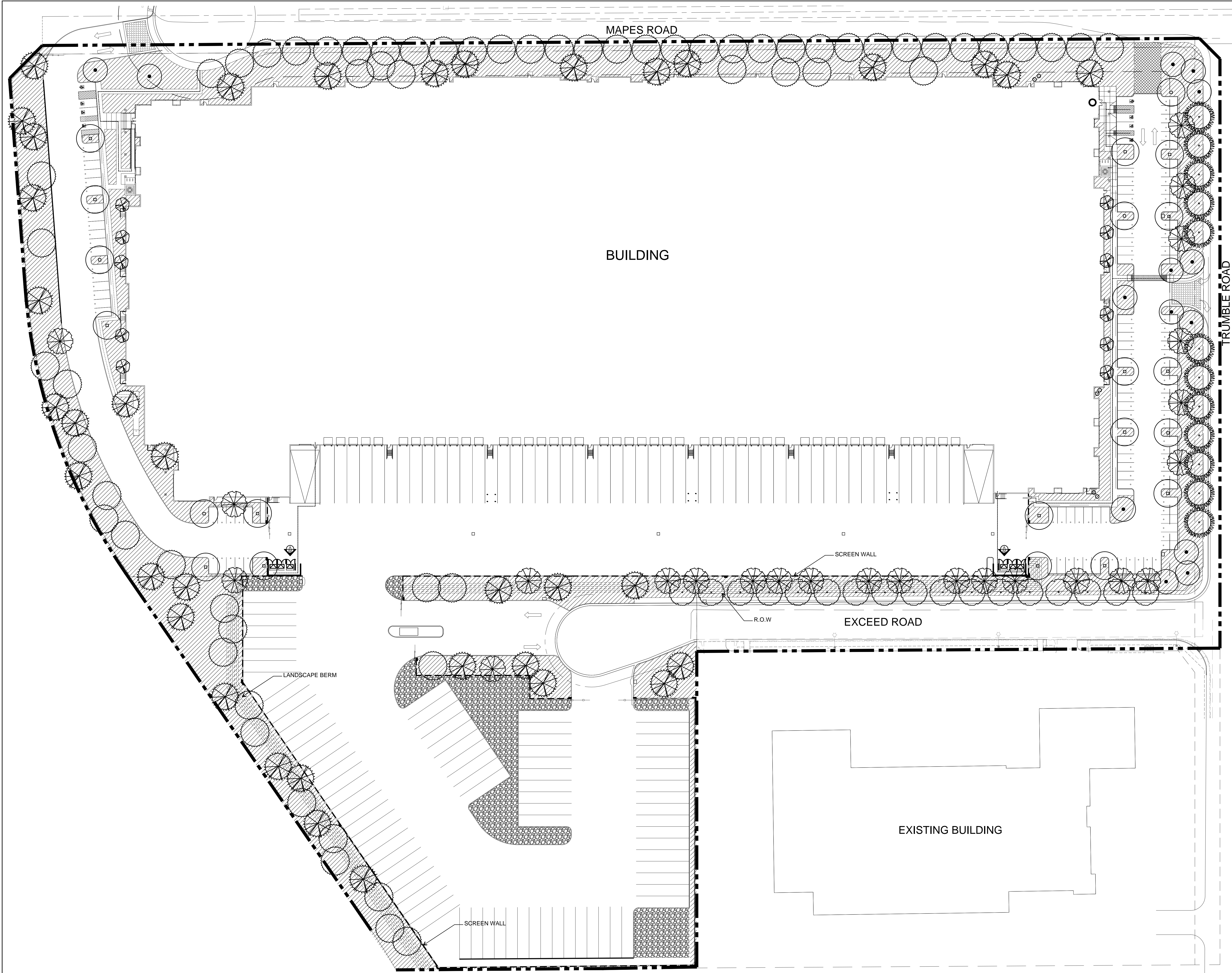
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 PREPARED FOR
BLUE ARCH INVESTMENTS

LICENSED PROFESSIONAL

 CIVIL ENGINEER

PRELIMINARY GRADING PLAN 3 **G4.0**

SHEET NUMBER



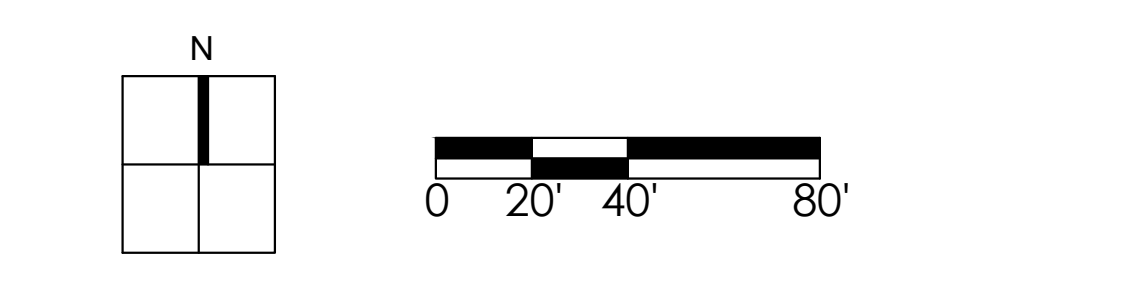
PLANTING LEGEND

TREES					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	REMARKS
	<i>Cercidium Desert Museum</i> Blue Palo Verde	36" Box	14	L	Multi
	<i>Chitalpa tashkentensis</i> Chitalpa	24" Box	24	L	Standard
	<i>Cupressus sempervirens</i> Italian Cypress	24" Box	6	M	Standard
	<i>Pinus edulis</i> Afghan Pine	24" Box	62	L	Standard
	<i>Platanus acerifolia</i> London Plane	24" Box	12	M	Standard
	<i>Prosopis chilensis</i> Chilean Mesquite	24" Box	37	M	Multi
	<i>Rhus lancea</i> African Sumac	24" Box	21	L	Standard
	<i>Trestaria conferta</i> Brisbane Box	15 Gal	11	M	Standard
	<i>Viburnum parvifolia</i> Chinese Elm	24" Box	17	M	Standard

SHRUBS					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	REMARKS
	<i>Baccharis p. Cernisif</i> Coyote Bush	5 Gal	127	L	
	<i>Cassia phytodesmia</i> Shepherd Cassia	5 Gal	73	L	
	<i>Heteromeles arbutifolia</i> Toyon	5 Gal	118	M	
	<i>Manihotera sp.</i> Dwarf Citrus	5 Gal	118	M	
	<i>Salvia c. Allen Chalkering</i> Allen Chalkering Sage	5 Gal	100	L	
	<i>Salvia angustifolia</i> Autumn Sage	5 Gal	262	L	
	<i>Salvia leucantha</i> Mexican Sage	5 Gal	67	L	
	<i>Westringia fruticosa</i> Coast Rosemary	5 Gal	74	L	
	<i>Westringia c. Gray Box</i> Dwarf Coast Rosemary	5 Gal	20	L	
	<i>Westringia Wynyabba Gem</i> Wynyabba Coast Rosemary	5 Gal	100	L	

GROUNDCOVER					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	SPACING	WUCOLS	REMARKS
	<i>Rosmarinus o. Handington Carpet</i> Prostrate Rosemary	1 Gal	48" O.C.	L	
	<i>Lonicera j. Halliana</i> Hall's Honeycreeper	1 Gal	48" O.C.	L	

- Gravel
- Turf block at fire lane

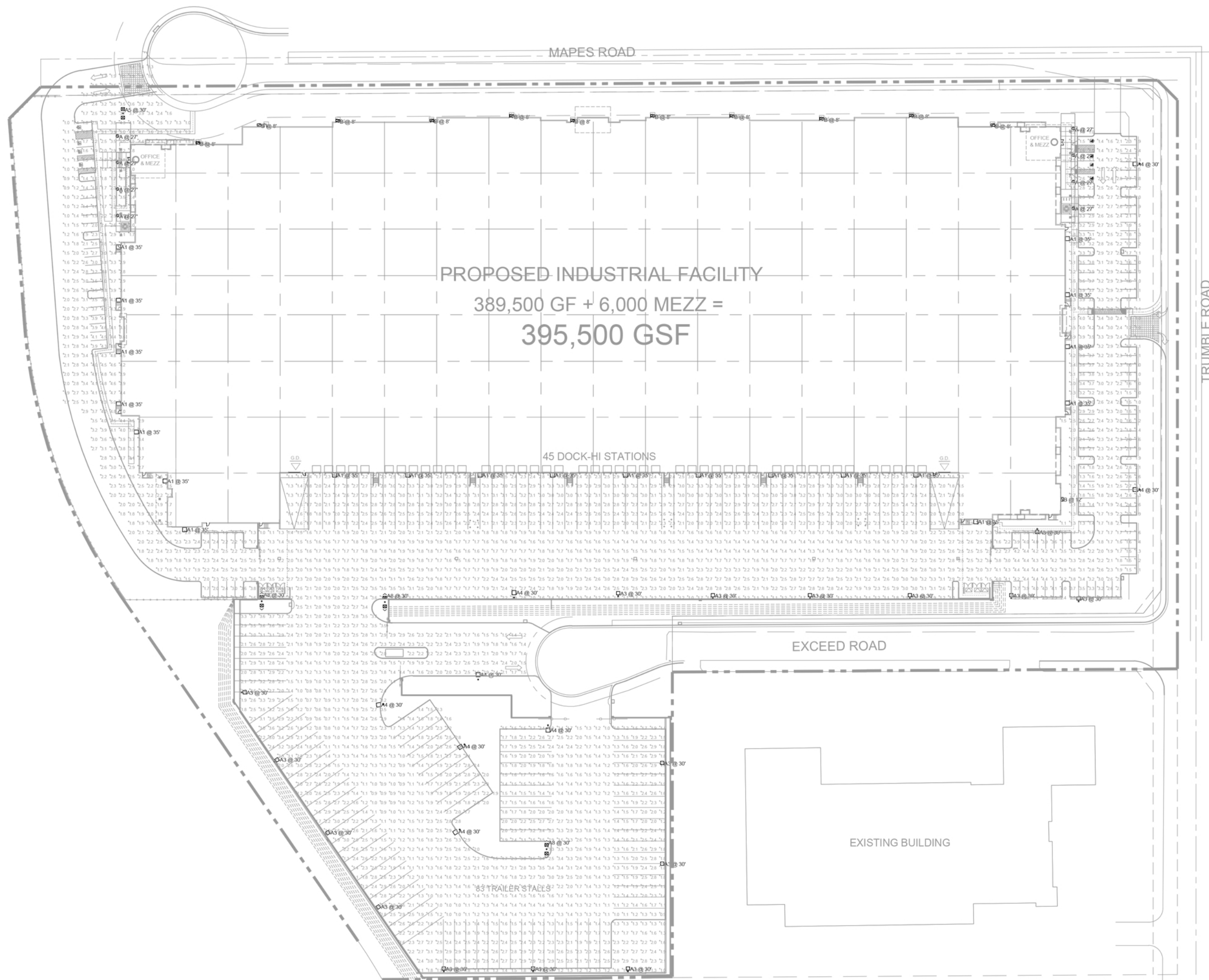


Mapes and Trumble Road Industrial Facility

22-007
01.24.22 08.11.22
05.03.22 12.07.22
05.12.22

Perris, California

HUNTER LANDSCAPE
711 FEE ANA STREET PLACENTIA, CA 92870
714.986.2400 FAX 714.986.2408



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone 1	+	10.8 fc	10.8 fc	10.8 fc	1.0:1	1.0:1
Calc Zone 2	+	10.6 fc	10.6 fc	10.6 fc	1.0:1	1.0:1
Calc Zone 3	+	10.5 fc	10.5 fc	10.5 fc	1.0:1	1.0:1
Calc Zone 4	+	10.6 fc	10.6 fc	10.6 fc	1.0:1	1.0:1
Calc Zone 5	+	10.0 fc	10.0 fc	10.0 fc	1.0:1	1.0:1
Calc Zone 6	+	10.7 fc	10.7 fc	10.7 fc	1.0:1	1.0:1
Calc Zone 7	+	10.6 fc	10.6 fc	10.6 fc	1.0:1	1.0:1
Calc Zone 8	+	10.4 fc	10.4 fc	10.4 fc	1.0:1	1.0:1
Calc Zone 9	+	10.5 fc	10.5 fc	10.5 fc	1.0:1	1.0:1
Calc Zone 10	+	10.8 fc	10.8 fc	10.8 fc	1.0:1	1.0:1
Calc Zone 11	+	10.3 fc	10.3 fc	10.3 fc	1.0:1	1.0:1
SITE LIGHTING	+	2.2 fc	6.2 fc	0.6 fc	10.3:1	3.7:1

SITE PHOTOMETRICS
SCALE: 1" = 50'-0"



MAPES & TRUMBULE INDUSTRIAL FACILITY
PERRIS, CA




SITE PHOTOMETRICS



E-2

D-Series Size 1 LED Area Luminaire



Specifications

- EPA: 1.01 sq ft
- Length: 33"
- Width: 13"
- Height H1: 17 1/2"
- Height H2: 3 1/2"
- Weight: 27 lbs

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAR2 FIRN DOBX

Series	Options	Color Temperature	Finish	Mounting	Notes
DSX1 LED	Forward optics	30K, 3500K, 40K, 4800K	T5, T5 (short), T5 (long)	SP, SP (short), SP (long)	SP (short), SP (long)
	Rotated optics	30K, 3500K, 40K, 4800K	T5, T5 (short), T5 (long)	SP, SP (short), SP (long)	SP (short), SP (long)
	Rotated optics	30K, 3500K, 40K, 4800K	T5, T5 (short), T5 (long)	SP, SP (short), SP (long)	SP (short), SP (long)
	Rotated optics	30K, 3500K, 40K, 4800K	T5, T5 (short), T5 (long)	SP, SP (short), SP (long)	SP (short), SP (long)


Shipping/Installation

Code	Description	Code	Description
SHIPPED	Shipped included	SHIPPED	Shipped separately
SHIPPED	Shipped included	SHIPPED	Shipped separately

LITHONIA LIGHTING COMMERCIAL OUTDOOR One Lithonia Way • Corning, Georgia 30012 • Phone 1-800-755-SERV (7278) • www.lithonia.com © 2011-2022 Acuity Brands Lighting, Inc. All rights reserved. DSX1 LED Rev. 11/2022 Page 1 of 3

SITE LIGHTING FIXTURE ON WALLS AND POLES

WST LED Architectural Wall Sconce



Specifications

- Height: 6 1/2"
- Width: 13"
- Depth: 10 3/4"
- Weight: 20 lbs

Optional Back Box (PBBW)

- Height: 6 1/2"
- Width: 17 1/2"
- Depth: 1 3/4"

Optional Back Box (BBW)

- Height: 4"
- Width: 5 1/2"
- Depth: 1 1/2"

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.

This luminaire is A+ Certified when ordered with DTL+ controls marked by a shaded background. DTL+ equipped luminaires meet the A+ specification for luminaire to photocell interoperability.

This luminaire is part of an A+ Certified solution for ROAM or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background.


To learn more about A+, visit www.acuitybrands.com/a+. See ordering tree for details.

A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. Link to Store: [Link to DTL+ DLL](#)

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MANDOOR LIGHT FIXTURE

WDGE2 LED Architectural Wall Sconce Visual Comfort Optic



Specifications

- Depth (D1): 7"
- Depth (D2): 1.5"
- Height: 9"
- Width: 11.5"
- Weight: 13.5 lbs (without option)

WDGE LED Family Overview

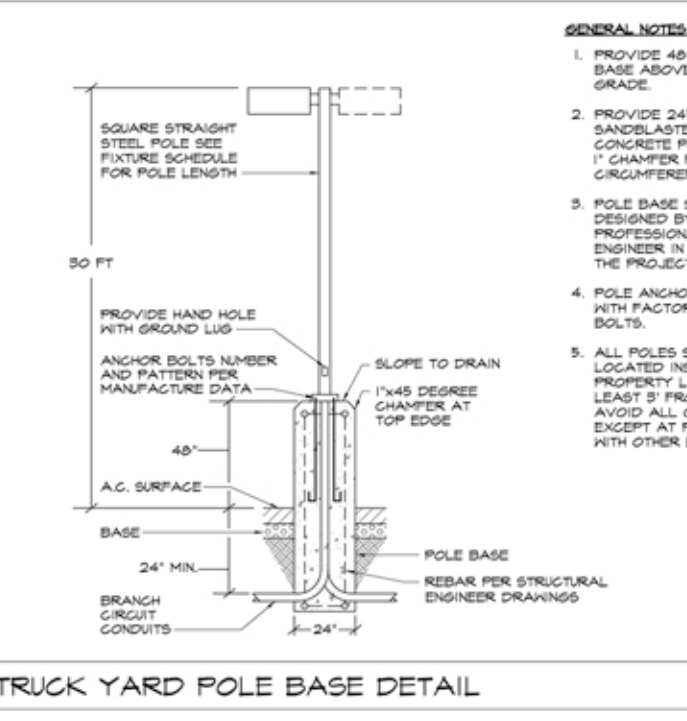
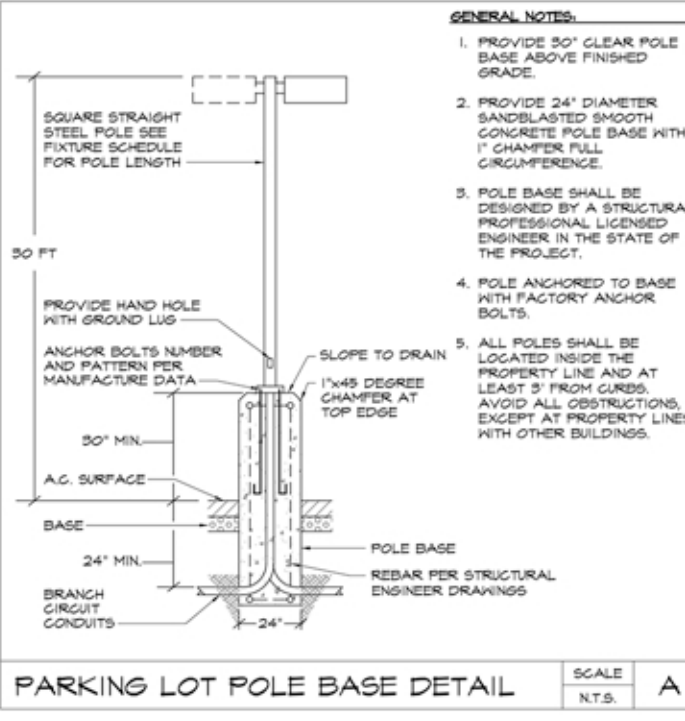
Luminaire	Optic	Standard	DLG	DLG	DLG	DLG	DLG	DLG	DLG	DLG	DLG
WDGE2 LED	Visual Comfort	40	100	100	100	100	100	100	100	100	100
WDGE2 LED	Visual Comfort	100	100	100	100	100	100	100	100	100	100
WDGE2 LED	Precision Reflector	100	100	100	100	100	100	100	100	100	100
WDGE2 LED	Precision Reflector	100	100	100	100	100	100	100	100	100	100
WDGE2 LED	Precision Reflector	100	100	100	100	100	100	100	100	100	100

Ordering Information EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DOBX

Series	Options	Color Temperature	Finish	Mounting	Notes
WDGE2 LED	P1	30K, 3500K, 40K, 4800K	T5, T5 (short), T5 (long)	SP, SP (short), SP (long)	SP (short), SP (long)
	P2	30K, 3500K, 40K, 4800K	T5, T5 (short), T5 (long)	SP, SP (short), SP (long)	SP (short), SP (long)
	P3	30K, 3500K, 40K, 4800K	T5, T5 (short), T5 (long)	SP, SP (short), SP (long)	SP (short), SP (long)
	P4	30K, 3500K, 40K, 4800K	T5, T5 (short), T5 (long)	SP, SP (short), SP (long)	SP (short), SP (long)

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(949) 450-0431 (949) 450-0432 FAX

LIGHTING DETAILS & CUT SHEETS



E-3

ATTACHMENT 6

PLANNING COMMISSION STAFF REPORT WITHOUT EXHIBITS – DATED: AUGUST 16, 2023

Due to the size of the documents, only the staff report is included as a hard copy. The entire staff report packet is available online at the City's website:

[https://www.cityofperris.org/departments/
development-
services/planning/environmental-
documents-for-public-review/-folder-
365#docan1206_1313_479](https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-365#docan1206_1313_479)

ATTACHMENT 7

INITIAL STUDY/MITIGATED NEGATIVE DECLARATION, MITIGATION MONITORING AND REPORTING PROGRAM, PUBLIC COMMENTS, AND ASSOCIATED TECHNICAL STUDIES

*Due to the size of the document, the file is available
online at:*

[https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-365#docan1206 1313 479](https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-365#docan1206_1313_479)



CITY OF PERRIS

PLANNING COMMISSION

AGENDA SUBMITTAL

MEETING DATE:

August 16, 2023

SUBJECT:

Conditional Use Permit 22-05023 – *Continued from the August 2, 2023 meeting.* A proposal to allow the construction of a 395,500 square-foot industrial warehouse building on a 19.16-acre site located on the southwest corner of Mapes Road and Trumble Road within the Business Park (BP) Zone. Applicant: Russell Pierce of RPD Development, Inc.

REQUESTED ACTION:

Adopt Resolution 23-25, adopting Mitigated Negative Declaration No. 2392 and the Mitigation Monitoring and Reporting Program, and approve Conditional Use Permit 22-05023 to facilitate the construction of a 395,500-square foot industrial warehouse building, based on the findings and subject to the Conditions of Approval.

CONTACT:

Kenneth Phung, Director of Development Services

PROJECT SITE BACKGROUND:

The project site consists of four parcels totaling 19.16 acres (APNs: 329-020-033, -034, -044, and -046). The site is generally flat and is currently unimproved. Additionally, the site was previously graded and contains a basin for erosion and sediment control. The basin contains an emergency outlet onto Mapes Road. Surrounding uses include Eastern Municipal Water District (EMWD) headquarters to the north across Mapes Road, industrial development with outdoor storage yards and vacant land in the City of Menifee to the east across Trumble Road, industrial development to the south across Exceed Drive in the City of Menifee and Perris, and Interstate 215 freeway to the west.

The site is also located in Zone D (Flight Corridor Buffer) of the March Air Force Base/Inland Port Airport Land Use Compatibility Plan (MARB/IPA ALUCP), which discourages uses that attract very high concentrations of people in confined areas, including major spectator-oriented sport stadiums, amphitheatres, and concert halls.

The project was presented to the Ad-Hoc Committee on June 2, 2022. The Ad-Hoc Committee provided feedback, which included enhancing the building elevation with additional treatments, including a metal awning on the southwest corner of the building, as the building will be visible from the I-215 freeway. In addition, the truck access should be on Exceed Road to be further away from the Big League Dreams Sports park at the northeast corner of Trumble Road and

Mapes Road. The applicant revised the plans to reflect the Ad-Hoc 'Committee's recommendations.

As a matter of information, the project was scheduled for Planning Commission for August 2, 2023; however, a continuance was requested for the next Planning Commission meeting on August 16, 2023, to allow additional time to work on technical matters related to the project.

PROJECT DESCRIPTION:

The applicant is requesting approval of a Conditional Use Permit for the construction of a 395,500-square-foot industrial warehouse building on 19.16 acres in the Business Park (BP) zone located outside of the Perris Valley Commerce Center Specific Plan (PVCCSP). The BP zone outside of the PVCCSP allows warehousing/distribution facilities, subject to a Conditional Use Permit that determines compatibility with the surrounding area. In this particular case, there is an EMWD facility to the north that uses Mapes Road for access to their construction yard. The building to the south of the site is a manufacturer of custom off-road vehicles and parts, and the land use to the east is an outdoor storage yard of construction materials in the City of Menifee.

The proposed industrial warehouse building consists of 6,000 square feet of ground floor office area, 6,000 square feet of mezzanine office area, and 389,500 square feet of warehouse area. A total of 45 dock-high loading doors and two at floor grade level doors are located on the south side of the building within the truck loading area.

A total of 125 parking spaces are proposed for employees and visitors along the east and west sides of the site and 83 parking spaces for semi-trucks are proposed on the southerly side of the site. Access to passenger vehicles is provided via two separate driveways, one on Mapes Road to the north and one on Trumble Road to the east of the project site. Truck access is provided via a separate driveway on Exceed Road to the south. Trucks are anticipated to access the I-215 freeway by exiting the project site via Exceed Road, Trumble Road, State Route 74, consistent with the City's adopted truck route.



To facilitate this project, a parcel Merger is required as a condition of approval to consolidate the four parcels into one 19.16-acre parcel.

PROJECT ANALYSIS:

The table below summarizes the project's consistency with the General Plan, Zoning Code, and March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan:

	Consistent	Inconsistent
<p>Consistency with the General Plan</p> <p>The project is located in Planning Area 9 (Southeast Commercial). This area of the General Plan allows business/professional offices, storage, light manufacturing, warehousing/distribution, wholesaling, large-scale warehouse, retail, auto dealerships, service commercial activities, and public uses. As proposed, the project will be consistent with the General Plan and will further the following General Plan Circulation Element goals:</p> <ul style="list-style-type: none"> ○ <u>Goal II</u> – A well planned, designed, constructed, and maintained street and highway system that facilitates the movement of vehicles and provides safe and convenient access to surrounding developments. ○ <u>Goal V</u> - Efficient goods movement. <ul style="list-style-type: none"> - V.A.8: Provide adequate off-street loading areas for all commercial and manufacturing land uses. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Consistency with the Zoning Code</p> <p>The project site is zoned BP-Business Park, which is intended for uses generally served by arterial roadways and freeways. Uses permitted in the BP Zone include business/professional offices, storage, light manufacturing, warehousing/distribution, wholesaling, large-scale warehouse, retail, auto dealerships, service commercial activities, and public uses. However, warehousing/distribution uses in the Business Park zone are subject to a Conditional Use Permit to determine compatibility with the surrounding area, which in this case is surrounded by industrial land uses, so the project could be determined to be compatible with the surrounding area.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Consistency with the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (MARB/IPA ALUCP)</p> <p>The Project site is located within Zone D (Flight Corridor Buffer Zone) of the MARB/IPA ALUCP. The proposed project was analyzed for consistency with Zone D and was determined to be consistent with the Airport Plan (Exhibit D).</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

COMPLIANCE WITH APPLICABLE DEVELOPMENT STANDARDS

The table on the following page summarizes compliance with the Development Standards of the Business Park (BP) Zone and Chapter 19.69 – Parking Development Standards of the Zoning Code.

Development Standards Section 19.44.030 - Business Park Zone					
Standard		Proposed	Consistent	Inconsistent	
Lot Coverage	50 percent	47 percent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
FAR (Floor Area Ratio)	0.75	0.48	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Minimum Lot Size	20,000 square feet (0.45 acres)	19.16 acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Building Height	50 feet	55 feet*	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Setbacks	Front Yard: Mapes Rd (north)	25 feet	30 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Street Side Yard: Trumble Rd (east)	25 feet	103 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Interior Side Yard: (west)	0 feet	73 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Rear Yard Exceed Rd (south)	0 feet	101 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Landscape Coverage	10 percent	17 percent	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

*The building's northeast, northwest, and southwest sides include an architectural projection which is 55 feet tall. Section 19.02.030 Exceptions to Building Heights, allows for parapet walls to exceed the allowable building height provided it is less than 20 feet than the height prescribed for the industrial zone.

Parking Standards Chapter 19.69 – Parking Development Standards					
Use	Standard	Required	Proposed	Consistent	Inconsistent
Industrial	Warehouse: 20,000 s.f. (1 space/1,000 s.f.)	20 spaces	125 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	20,000 – 40,000 (1 space /2,000 s.f.)	10 spaces			
	40,000 – and up (1 space/5,000)	71 spaces			
Total Parking		101 spaces	125 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Total Surplus Parking			24 spaces	<input checked="" type="checkbox"/>	<input type="checkbox"/>

COMPLIANCE WITH OTHER APPLICABLE REQUIREMENTS

- **Building Elevations/Architecture**

The proposed building elevations reflect the current industry standard and style for concrete tilt-up construction. It utilizes varying complementary colors and materials to distinguish the building's base, body, and cap, as required by Chapter 19.44 Industrial Zones of the Perris Municipal Code. The building's design elements include a combination of varying rooflines, decorative metal cornice (roof cap) treatment, aluminum mullion system windows, corrugated metal panels, porcelain veneer, metal canopies and recessed panels to create both horizontal and vertical variations for visual interest. The proposed color palette includes shades of grey, white, beige and blue. The combination of the proposed colors, articulated building elevations, varying roof height, enhanced corrugated metal panels and porcelain veneer treatments provide visual interest to the building. (Exhibit E).

- **Employee Amenity and Recreation area**

Buildings over 100,000 square feet must have at least one (1) indoor employee amenity and one (1) outdoor employee amenity. The proposed project currently includes three (3) outdoor employee amenities and two (2) indoor employee amenities. The outdoor employee amenity consists of two landscaped, concrete lunch patios with seating areas covered with trellis structures, located on the westerly and easterly sides of the site. Additionally, a horseshoe pit is located on the easterly side of the site. The indoor employee amenities consist of a basketball half-court and a pickleball court for the warehouse facility and will be located on the westerly and easterly sides of the building. (Exhibit E).

- **Landscaping**

The proposed conceptual landscape plan has been designed to provide a mix of Chilean Mequite, Blue Palo Verde, and Brisbane Box on the north side boundary adjacent to Mapes Road. London Plane, Blue Palo Verde, African Sumac, and Chitalpa are planted on the east boundary adjacent to Trumble Road. Chinese Elm, Chitalpa, African Sumac, and Chilean Mequite are planted on the south side boundary adjacent to Exceed Road. African Sumac, and Brisbane Box trees are planted throughout the parking lot on the eastern and western boundaries. As African Sumac trees can be messy when the flowers and seeds drop on the ground, staff is recommending a condition of approval requiring this tree to be replaced with an alternate evergreen tree.

Overall, the on-site landscaping area totals approximately 156,100 square feet or 17%, which exceeds the minimum landscape requirement of 10%. Therefore, the conceptual landscaping complies with the landscape requirements of Section 19.70.060 Landscape Design Guidelines (Exhibit E). To accentuate the landscaping from the street, staff is recommending a condition of approval requiring uplighting to be provided along the Mapes Road, Trumble Road, Exceed Road, and I-215 frontages, subject to staff approval.

- **Fencing/Walls**

A combination of decorative tilt-up screen walls, tubular steel fencing, and decorative pilasters are proposed for screening, privacy, noise control, and security as follows:

- West Side: An 8-foot-high tubular steel fence with decorative pilasters at every 100 feet is proposed.
- South Side: A 14-foot-high decorative tilt-up wall with decorative pilasters at every 100 feet is proposed to screen the truck loading and truck parking area from public view.
- East/West Emergency Access Gates: 8-foot-high tubular steel rolling gates are located at the easterly and westerly sides of the loading area to screen the truck loading area from public view. The gates are for emergency vehicles only and will include a Knox box. Staff is recommending a condition of approval requiring privacy mesh on the gates to screen the truck loading area from public view.
- Truck Access Gates: 8-foot-high tubular steel rolling gates are located on the south side of the site adjacent to Exceed Road. Staff is recommending a condition of approval requiring privacy mesh on the gates to screen the truck parking area from public view.

ENVIRONMENTAL CONSIDERATIONS AND CEQA PROCESS

An Initial Study was prepared for the project in accordance with the California Environmental Quality Act (CEQA), which concluded that all potential significant effects on the environment can be reduced to less than significant levels with mitigation measures. In accordance with the California Environmental Quality Act (CEQA), a Notice of Intent to adopt a Mitigated Negative Declaration (NOI) was published with a 30-day public review period starting on March 31, 2023, and ending on May 1, 2023. The NOI was also posted on the City's website and at City Hall and sent to public agencies and property owners within a 300-foot radius of the Project site. The IS/MND 2392 has been available for public review at the Development Services public counter, and on the City's website.

During the 30-day comment period, the City received six (6) comment letters from the following interested party (Exhibit F):

1. Lozeau Drury LLP – Commented that the Initial Study and Mitigated Negative Declaration prepared for the project is improper.
2. Eastern Municipal Water District (EMWD) – Commented that the project proponent needs to consult with the EMWD's Development Services Department to compare proposed and existing water demands and sewer flows, and prepare a Design Conditions report (DC), prior to final design and plan check.
3. Freedom Properties LP – Commented that they are in total agreement with the proposed industrial project.

4. Riverside County Flood Control and Water Conservation District – Provided a general comment requiring the applicant to enter into a cooperative agreement with the district. The project is located within the Homeland/Romoland drainage plan for which drainage fees have been adopted.
5. South Coast Air Quality Management District (SCAQMD) – Requested an electronic copy of any live modeling and emission calculation files that were used to quantify the air quality impacts from construction and operation for the project. The electronic files were sent to SCAQMD via email on April 11, 2023, and as of the preparation of the staff report no additional correspondence from SCAQMD has been received.
6. Blum, Collins & Ho LLP – Commented on the 'project's Air Quality, Energy, and Greenhouse Gas emissions, stating the studies are inadequate and an EIR should be required.

Responses to comments were prepared and included in the Final MND 2392. None of the comments received raised additional environmental concerns that have not already been addressed in the IS/MND 2392 or constitute "significant new information," or meet any of the conditions in Section 15088.5 of the State CEQA Guidelines that would require recirculation of the IS/MND 2392 (Exhibit G).

PUBLIC HEARING NOTICE:

A notice of public hearing for the Planning Commission meeting was published in the local newspaper and sent to agencies and property owners within 300 feet of the project site. As of the preparation of the staff report, no additional comments have been received by staff.

RECOMMENDATION:

The Planning Commission adopt Resolution 23-25 adopting Mitigated Negative Declaration No. 2392 and the Mitigation Monitoring and Reporting Program and approve Conditional Use Permit 22-05023 to allow the construction of a 395,500 square foot industrial warehouse building in the Business Park (BP) Zone, based on the findings and the Conditions of Approval.

BUDGET (or FISCAL) IMPACT: There is no fiscal impact associated with this project since all project costs are borne by the applicant.

Prepared by: Lupita Garcia, Associate Planner
Reviewed by: Patricia Brenes, Planning Manager

EXHIBITS:

- A. Resolution 23-92, including Conditions of Approval (Planning, Engineering, Public Works, Community Services, and Building & Safety) and the Mitigation Monitoring and Reporting Program.
Due to the size of the file, the documents are available online at:

https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-365#docan1206_1313_479

- B. Location/Aerial Map
- C. Zoning Map
- D. MARB/IPA ALUCP Map
- E. Project Plans (Site Plan, Floor Plan, Building Elevations, Fence and Wall Plan, Line of Sight, 3-D Renderings, Preliminary Grading Plan, Conceptual Landscape Plan, and Site Photometric Plan)
- F. Public Comments and Response to Comments

Due to the size of the file, the documents are available online at:

https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-365#docan1206_1313_479

- G. Initial Study/Mitigated Negative Declaration, Mitigation Monitoring and Reporting Program, Associated Technical Studies.

Due to the size of the files, the documents are available online at:

https://www.cityofperris.org/departments/development-services/planning/environmental-documents-for-public-review/-folder-365#docan1206_1313_479

Consent:

Public Hearing: x

Business Item:

Presentation:

Other:

ATTACHMENT 8

APPLICANT'S APPEAL LETTER – DATED
AUGUST 23, 2023



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August 23, 2023

Lupita Garcia, Associate Planner
City of Perris Planning Department
135 N. D Street
Perris, CA 92570

Via Email: lgarcia@cityofperris.org

RE Response to Planning Commission’s Resolution Number 23-27, Denial of CUP 22-05023 and IS/MND

Dear Lupita,

Please accept our General Response, Response to the Cited Findings (Section 2 a - d) in the subject Resolution and Response to Planning Commission Comments at the Public Hearing..

General Response:

The proposed project **is** a conforming use pursuant to the City of Perris General Plan and Zoning Ordinance 19.44.010 stating: **“PURPOSE Three industrial Zoning Districts are provided. Their purposes are as follows: BP Business Park. This zone is provided for uses generally served by arterial roadways and freeways. They include business/professional offices, storage, light manufacturing, warehousing/distribution, wholesaling, large-scale warehouse, retail, auto dealerships, service commercial activities, and public uses. This Zone correlates with the ‘Business Park’ General Plan Land Use designation.”**

The applicant submits that the underlying purpose of the Conditional Use Permit (“CUP”) process is not to give the governing body the discretion to “deny” otherwise conforming uses but to reasonably “condition” the conforming use to enhance the compatibility with surrounding uses as stated in the City of Perris Municipal Code:

Sec. 19.61.010. – CONDITIONAL USE PERMITS Purpose and intent.

(2) Conditions. In granting any conditional use permit, the planning commission shall affix those conditions which it determines will tend to safeguard the public health, convenience and general welfare in the city. (Code 1972, § 19.61.010; [Ord. No. 1369, § 4\(att. 2\), 8-28-2018](#))

Per the Planning Commission Staff Report, the Project is consistent with the General Plan and Zoning Code (see following page):



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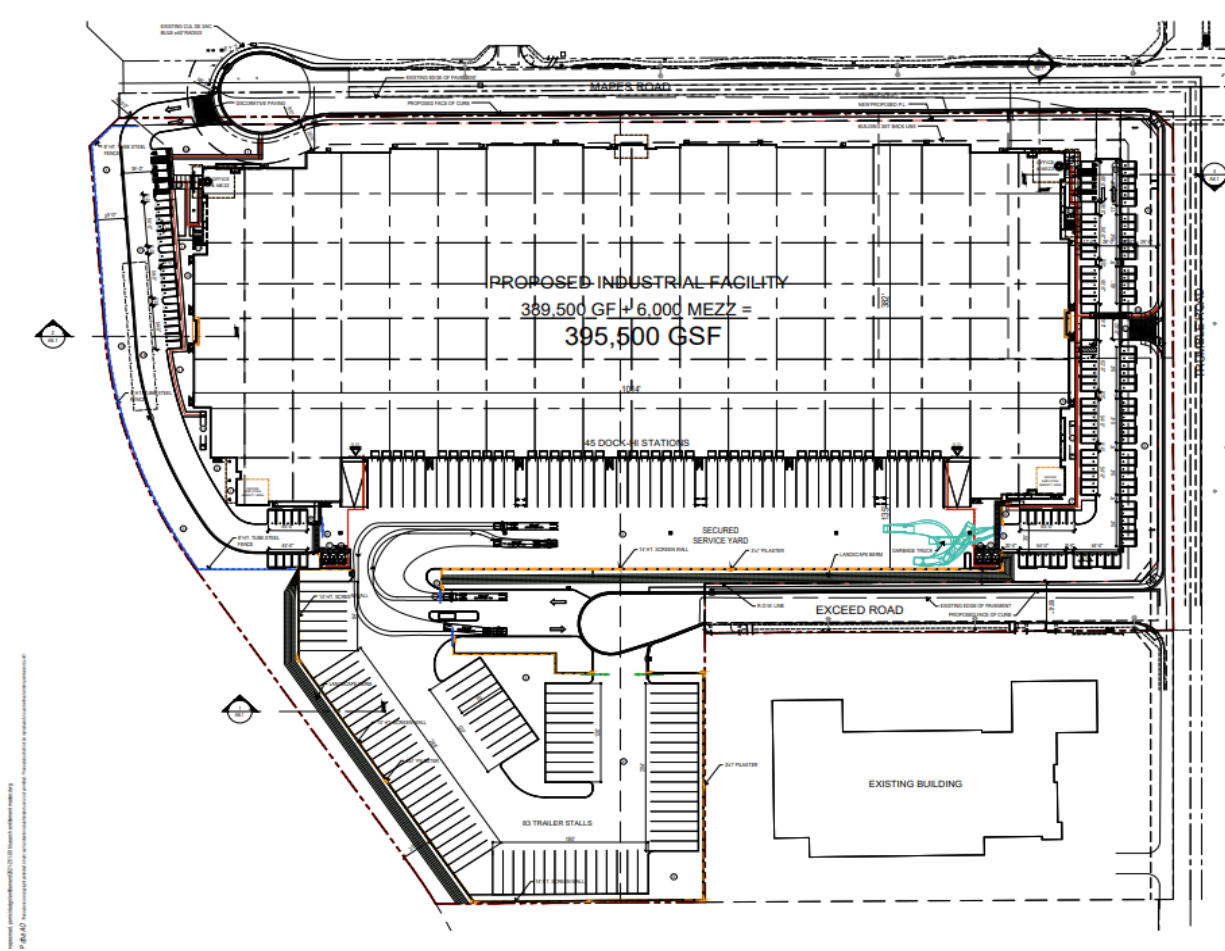
	Consistent	Inconsistent
<p>Consistency with the General Plan</p> <p>The project is located in Planning Area 9 (Southeast Commercial). This area of the General Plan allows business/professional offices, storage, light manufacturing, warehousing/distribution, wholesaling, large-scale warehouse, retail, auto dealerships, service commercial activities, and public uses. As proposed, the project will be consistent with the General Plan and will further the following General Plan Circulation Element goals:</p> <ul style="list-style-type: none"> o <u>Goal II</u> – A well planned, designed, constructed, and maintained street and highway system that facilitates the movement of vehicles and provides safe and convenient access to surrounding developments. o <u>Goal V</u> - Efficient goods movement. <ul style="list-style-type: none"> - V.A.8: Provide adequate off-street loading areas for all commercial and manufacturing land uses. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Consistency with the Zoning Code</p> <p>The project site is zoned BP-Business Park, which is intended for uses generally served by arterial roadways and freeways. Uses permitted in the BP Zone include business/professional offices, storage, light manufacturing, warehousing/distribution, wholesaling, large-scale warehouse, retail, auto dealerships, service commercial activities, and public uses. However, warehousing/distribution uses in the Business Park zone are subject to a Conditional Use Permit to determine compatibility with the surrounding area, which in this case is surrounded by industrial land uses, so the project could be determined to be compatible with the surrounding area.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>Consistency with the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (MARB/IPA ALUCP)</p> <p>The Project site is located within Zone D (Flight Corridor Buffer Zone) of the MARB/IPA ALUCP. The proposed project was analyzed for consistency with Zone D and was determined to be consistent with the Airport Plan (Exhibit D).</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Response to Specific Resolution (Section 2) Findings:

a) *The proposed industrial warehouse building is not compatible in scale, massing, and appearance with the surrounding development pattern, which consists of open space, recreational sports complex, water park, and office headquarters for Eastern Municipal Water District.*

Response: The proposed industrial warehouse building is a conforming use and is not only compatible with the surrounding development pattern, it is a vast improvement in architectural appearance (scale, massing, etc.) to the aging industrial and heavy industrial uses currently existing in the immediate area. Furthermore, pursuant to Planning Commission ad hoc committee request, the architectural features of the building resemble a business park with significant (and rather costly) architectural articulation. The surrounding uses consists of wastewater treatment and 1970’s vintage headquarters facilities (EMWD) to the north, Big League Dreams

recreational facilities to the NE, two planned/approved industrial warehouse/manufacturing buildings totaling 335,500 square feet (fronting Mapes between Trumble and Sherman Way) and other heavy industrial uses with outdoor storage to the east and south east and existing industrial manufacturer of offroad vehicles and parts (Brenthel Industries) to the south in Perris. To the west is the I-215 freeway with more wastewater treatment facilities and settling ponds and agriculture to the west of the freeway. Additionally, **all truck traffic** from the proposed project avoids the intersection of Mapes/Trumble (abutting the EMWD facilities parking lot/construction equipment yard and Big League Dreams, north of that intersection) by accessing the proposed project via Exceed Road approximately 600 feet to the south of that intersection.



b) *Future industrial warehouse use on the project site will not be compatible with the character of the surrounding uses. The immediate surrounding area consists of light industrial and commercial uses, including a baseball sports complex, water park, and offices, whereas the closest existing heavy industrial use is located 0.34 miles from the Project.*



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Response: The proposed industrial warehouse building is a conforming use and is not only compatible but is a vast improvement to the character of the surrounding uses. The closest “heavy industrial” uses, as typically defined, are actually less than a ¼ mile to the north and west and contiguous to the subject proposed project to the south and to the east, across the street from the proposed project. “Heavy industrial”, uses are typically characterized by large scale manufacturing and/or materials and manufacturing/refining and storage processes that take place outdoors using heavy equipment. Warehouse/Distribution is not characterized as “heavy industrial”, rather it is more consistent with the terms “industrial” or “light industrial”.





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c) *The proposed industrial warehouse building will not be compatible with the existing commercial, recreational, and office uses in the area, which are consistent with the city's General Plan.*

Response: The proposed industrial warehouse building **is** a conforming use and is compatible with the surrounding uses. First, there is no “commercial” use to conflict with the proposed project. Second the recreational facilities (Big League Dreams and Drop Zone Waterpark) are within the city’s General Plan designation of “BP” which is the same designation as the subject property. The Planning Commission has failed to show how the two uses would not be compatible. Lastly, the City’s General Plan has the Public (“P”) zone designation contiguous to (immediately to the north of) the subject property’s “BP” zone and there is no conflict between the two designations/uses of the EMWD facilities and the proposed project. The site’s design, including the location of the driveways and loading dock orientation, are all calculated to assure compatibility with all adjacent uses.

d) *The proposed industrial warehouse Project will be detrimental to the public's general welfare as the necessary infrastructure such as fully improved roadways do not exist in the area to support the truck traffic generated by the proposed industrial warehouse project.*

Response: Once again, the proposed industrial warehouse building **is** a conforming use, would be compatible with the surrounding uses and **would not be detrimental to the public’s general welfare**. The necessary infrastructure such as fully improved roadways **will** exist pursuant to the Conditions of Approval and CEQA mitigation measures. In addition to the roadway improvements conditioned, it should be noted that the approved route for truck traffic is an extremely short distance to the I-215 freeway and is only in the City of Perris at the project frontage where south of Exceed Road it transitions to the City of Menifee, then less than ¼ mile to Hwy 74 and less than 700 feet to I-215. Also, the project applicant has agreed to stipulate a “fair share” contribution to installing a new traffic signal at the intersection of Mapes Road and Trumble Road. The project applicant has also agreed to cooperate and contribute its “fair share” to certain improvements as requested by the City of Menifee at the intersection of Trumble Road and Hwy 74.

Response to Other Comments Made by Planning Commissioners at the Public Hearing:

1. Commissioner Hammond requested that the street trees on Trumble Road be increased from 24” box trees to 36” box trees.

Response: The Applicant/Developer agrees to this request.

2. Commissioner Hammond also mentioned the possibility of a hotel on the site to support the Big League Dreams for out-of-town guests.

Response: “hotel/motel” is not a listed permitted or conditionally permitted use within the BP zone (or any of the industrial zones for that matter). In fact, in 2012 a 100-room hotel was proposed on 2.5 acres of the subject site and an operator was never secured and/or the project was denied/abandoned. Currently, there is another 120-room hotel planned at the northwest corner of SR-74 and Trumble Road in the City of Menifee, however to date there is no hotel operator secured for that site. This does call to question the viability of the subject location for a hotel use.



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3. Commissioner Gomez mentioned that “a preferred use” might be some sort of mixed-use commercial use where a “family utilizing the nearby recreational facilities could grab some lunch or an ice cream cone”.

Response: First, although mixed-use commercial (restaurant and retail) may be permitted uses in the BP zone, that is not what is being proposed and the Planning Commission does not (or should not) have the discretion to deny a conforming use that **is** being proposed in order to “hold out” for a “preferred” use that **is not** being proposed. As a practical matter, both the Big League Dreams and the Drop Zone Waterpark have food and beverage restaurants (“Stadium Club” and “Fill Station” respectively) and there is another fast food operator going in on the northwest corner of Trumble Road and SR-74 in Menifee opposite the existing Jack-in-the-Box restaurant. There is simply not enough demonstrated demand (limited mostly to weekends) to support more food and beverage or retail uses on the subject site.

The Applicant believes the Commission acted beyond the scope of their discretion and without reasonable consideration of all the facts surrounding the project as presented. Therefore, we are hereby exercising our right to appeal the decision by the Planning Commission to the City Council.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Russell D. Pierce', is written over a light blue horizontal line.

Russell D. Pierce
President
RDP Development, Inc.
Development Manager for Blue Marquise, LLC

CC: Kamran Benji, Blue Marquise Investments, LLC via email: kamran@fluearchinv.com
Kenneth Phung, Planning Director via email: Kphung@cityofperris.org
Patricia Brenes, Planning Manager via email: pbrenes@cityofperris.org

ATTACHMENT 9

PLANNING COMMISSION RESOLUTION 23-27 TO DENY THE PROJECT

RESOLUTION NUMBER 23-27

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DENYING CONDITIONAL USE PERMIT 22-05023 FOR THE CONSTRUCTION OF A 395,500 SQUARE FOOT INDUSTRIAL BUILDING ON APPROXIMATELY 19.16 ACRES OF LAND LOCATED ON THE SOUTHWEST CORNER OF MAPES ROAD AND TRUMBLE ROAD, AND MAKING FINDINGS IN SUPPORT THEREOF.

WHEREAS, the Project applicant, Russell Pierce, of RPD Development, Inc proposes to construct a 395,500 square foot industrial building on approximately 19.16 acres of land located on the southwest corner of Mapes Road and Trumble Road and which is located in the Business Park (BP) Zone ("Project"); and

WHEREAS, the applicant submitted a Conditional Use Permit application (CUP 22-05023) for the Project for consideration of architectural design and site layout; and

WHEREAS, proposed Conditional Use Permit 22-05023 ("CUP 22-05023") is considered a "project" as defined by the California Environmental Quality Act ("CEQA"); and

WHEREAS, pursuant to CEQA and State CEQA Guidelines, an Initial Study (IS) was prepared for the proposed Project and, based upon thereof, Mitigated Negative Declaration 2392 was prepared for the Project; and

WHEREAS, the Planning Commission held a duly noticed public hearing on August 2, 2023, at which time all interested persons were given full opportunity to be heard and to present evidence, and at which time the Planning Commission continued the Project to August 16, 2023, to allow the applicant additional time to work on technical matters related to the Project; and

WHEREAS, on August 16, 2023, Planning Commission held a duly noticed public hearing, at which time all interested persons were given full opportunity to be heard and to present evidence; and

WHEREAS, prior to taking action, the Planning Commission has heard, been presented with, and/or reviewed all of the information and data which constitutes the administrative record for the above-mentioned approvals, including all oral and written evidence presented to the City during all Project meetings and hearings; and

WHEREAS, now the Planning Commission desires, by this Resolution, to deny Conditional Use Permit No. 22-05023; and

WHEREAS, pursuant to California Environmental Quality Act (Public Resources Code Section 21000, et seq. (“CEQA”)), Pub. Res. Code Sec. 21080(b)(5) and the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000, et seq.) Section 15270, a project that is denied or rejected is exempt from the requirements of CEQA; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF PERRIS does resolve as follows:

Section 1. The above recitals are all true and correct and are incorporated herein by this reference.

Section 2. Based on the forgoing, and all written and oral testimony presented at the public hearing on August 16, 2023, which are all incorporated herein by this reference, the Planning Commission finds as follows regarding Conditional Use Permit 22-05023:

- a) The proposed industrial warehouse building is not compatible in scale, massing, and appearance with the surrounding development pattern, which consists of open space, recreational sports complex, water park, and office headquarters for Eastern Municipal Water District.
- b) Future industrial warehouse use on the project site will not be compatible with the character of the surrounding uses. The immediate surrounding area consists of light industrial and commercial uses, including a baseball sports complex, water park, and offices, whereas the closest existing heavy industrial use is located 0.34 miles from the Project.
- c) The proposed industrial warehouse building will not be compatible with the existing commercial, recreational, and office uses in the area, which are consistent with the city’s General Plan.
- d) The proposed industrial warehouse Project will be detrimental to the public’s general welfare as the necessary infrastructure such as fully improved roadways do not exist in the area to support the truck traffic generated by the proposed industrial warehouse project.

Section 3. Based on the findings set forth above, and all written and oral testimony presented at the public hearing on August 16, 2023, which are all incorporated herein by this reference, the Planning Commission hereby denies Conditional Use Permit 22-05023 to facilitate construction of a 395,500 square foot industrial building on approximately 19.16 acres of land located on the southwest corner of Mapes Road and Trumble Road.

Section 4. The Planning Commission declares that should any provision, section, paragraph, sentence, or word of this Resolution be rendered or declared invalid by

any court of competent jurisdiction or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences, and words of this Resolution shall remain in full force and effect.

Section 5. The Chairperson shall sign, and the Secretary shall certify to the passage and adoption of this Resolution.

ADOPTED, SIGNED, and APPROVED this 16th day of August 2023.

CHAIRPERSON, PLANNING COMMISSION

ATTEST:

Secretary, Planning Commission

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) §
CITY OF PERRIS)

I, Patricia Brenes, SECRETARY OF THE PLANNING COMMISSION OF THE CITY OF PERRIS, DO HEREBY CERTIFY that the foregoing Resolution Number 23-27 was duly adopted by the Planning Commission of the City of Perris at a regular meeting of said Planning Commission on the 16th day of August 2023 and that it was so adopted by the following vote:

AYES: 5
NOES: 0
ABSTAIN:
ABSENT:

Secretary, Planning Commission