



2100 PATTERSON AVENUE  
PERRIS, CA 92571



PATTERSON & NANCE  
PERRIS, CA

PROJECT  
4TH PLANNING SUBMITTAL



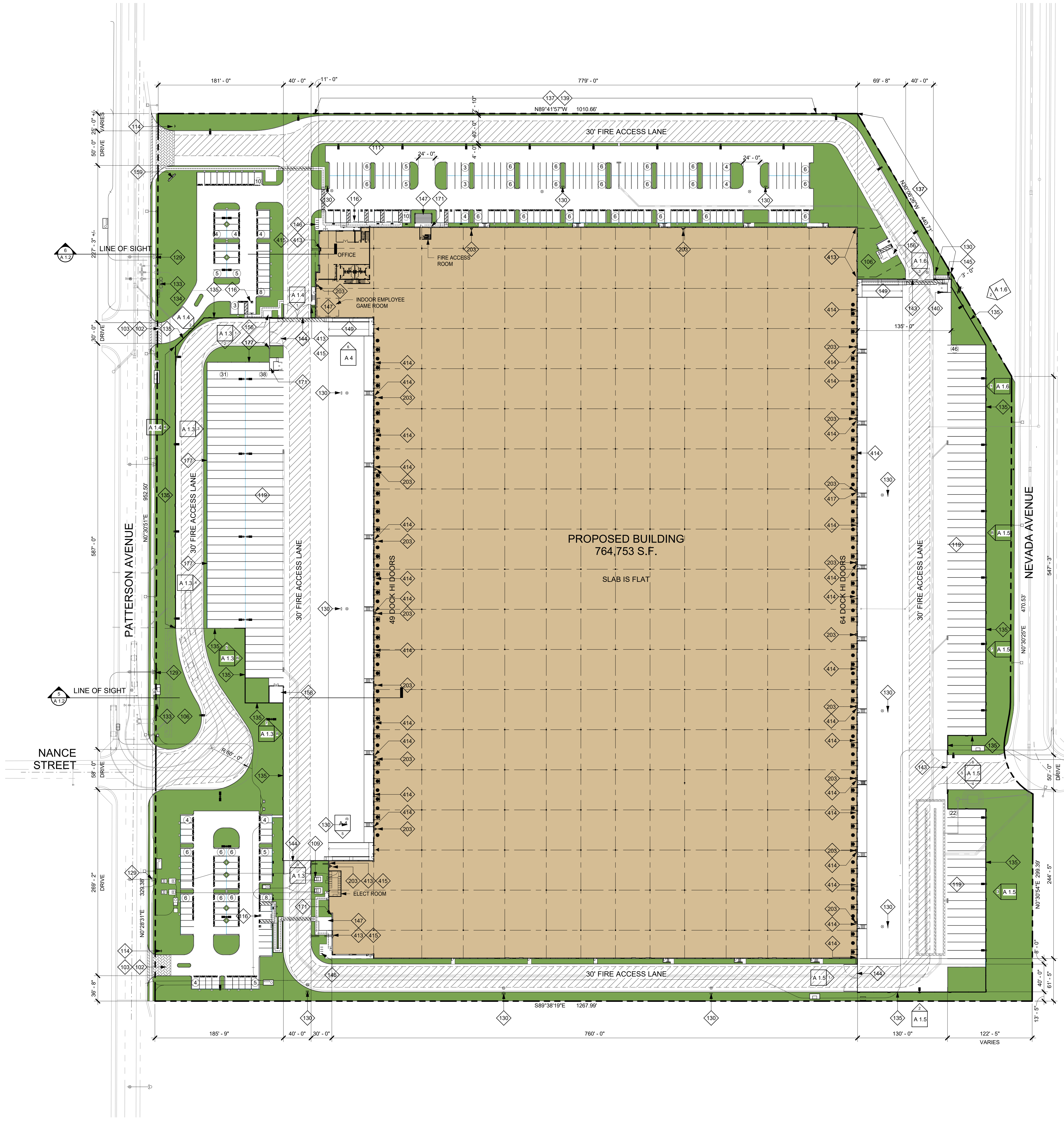
HERDMAN  
ARCHITECTURE + DESIGN

A21-2001  
07.21.2023

3D VIEW

A0

7/24/2023 9:17:28 AM



2 PROPOSED SITE PLAN  
1" = 60'-0"

DEVELOPER/OWNER	KEYNOTES
DUKE REALTY ADDRESS: 200 SPECTRUM CENTER DRIVE, SUITE 1600 CONTACT: D.J. ARELLANO PHONE: 865.776.1344 EMAIL: DJ.ARELLANO@DUKEREALTY.COM	102 PROPOSED DRIVEWAY, PER JURISDICTIONAL STANDARDS. 103 DECORATIVE PAVING, SEE LANDSCAPING DRAWINGS FOR ADDITIONAL INFORMATION. 106 @ SHADING, PROPOSED LANDSCAPING, SEE LANDSCAPE PLANS.
APPLICANT'S REPRESENTATIVE/ARCHITECT	109 (N) TRANSFORMER LOCATION. 111 TYP U.O.N., STANDARD PARKING STALL 9'-0" WIDE x 19'-0" DEEP. 114 ACCESSIBLE PARKING SITE ENTRANCE SIGN. 116 VAN ACCESSIBLE PARKING STALL, 12'-0" WIDE x 19'-0" OF STANDARD STALL. 119 TRUCK TRAILER PARKING STALL. 129 (E) FIRE HYDRANT. 130 (N) FIRE HYDRANT. 133 DETECTOR CHECK ASSEMBLY (DCA). 134 FIRE DEPARTMENT CONNECTION (FDC). 135 CONCRETE TILT-UP SCREEN WALL, MIN HEIGHT 14' ABOVE HIGHEST ADJACENT FINISHED GRADE, PAINT BOTH SIDES AND TOP OF WALL. SEE PLANS FOR COLOR SCHEDULE. 137 TUBE STEEL FENCE, MIN HEIGHT 9' ABOVE HIGHEST ADJACENT FINISHED GRADE. 139 RETAINING WALL. 140 TRASH ENCLOSURE w/ ROOF COVERING. 143 PAINTED STEEL ROLLING GATE(S), MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE OR AS SHOWN ON EXTERIOR ELEVATIONS. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY. 144 PAINTED STEEL SWINGING GATE(S), MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE OR AS SHOWN ON EXTERIOR ELEVATIONS. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY. 145 PAINTED STEEL SWINGING PEDESTRIAN GATE, WHEN OCCURS IN TUBE STEEL FENCE, ALIGN TOP w/ FENCE HEIGHT. WHEN OCCURS IN CONCRETE SCREEN WALL, U.O.N., ALIGN TOP w/ SCREEN WALL. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY.
SCOPE OF WORK	146 2 POSITION BIKE RACK. 147 EMPLOYEE BREAK AREA. 149 CONCRETE TRUCK RAMP w/ 42" HIGH CONCRETE TILT-UP GUARD ON OPEN SIDE(S), PAINT ALL SIDES OF GUARD WALLS AND HANDRAILS SEE ARCHITECTURAL DRAWINGS FOR COLOR SCHEDULE. 156 FUTURE GUARD SHACK. 158 PUMP HOUSE. 159 MONUMENT SIGN. 171 HOSE BIB. 177 CONCRETE TILT-UP SCREEN WALL, MIN HEIGHT 10' ABOVE HIGHEST ADJACENT FINISHED GRADE, PAINT BOTH SIDES AND TOP OF WALL. SEE PLANS FOR COLOR SCHEDULE. 203 FIRE SPRINKLER RISER, PROVIDE PIPE BOLLARD PROTECTION POSTS. 413 PRIMARY ROOF DRAIN FROM ABOVE, RUN BELOW GRADE TO FACE OF CURB. 414 PRIMARY ROOF DRAIN FROM ABOVE, DISCHARGE AT FACE OF BUILDING. 415 OVERFLOW ROOF DRAIN FROM ABOVE, DISCHARGE AT FACE OF BUILDING. 417 INTERIOR ROOF DRAIN w/ PAINTED OVERFLOW SCUPPER.
LEGAL DESCRIPTION & ZONING	ASSESSOR'S PARCEL NO: SEE SHEET C1 FOR LEGAL DESCRIPTION SPECIFIC PLAN LEGEND: SOUTHWEST INDUSTRIAL PARK ZONING: LIGHT INDUSTRIAL
SHEET INDEX	A0 COVER SHEET A1 SITE PLAN A1.1 ENLARGED SITE PLANS A1.2 ENLARGED SITE PLANS A1.3 ENLARGED SITE PLANS A1.4 ENLARGED SITE PLANS A1.5 ENLARGED SITE PLANS A1.6 ENLARGED SITE PLANS A2 GROUND LEVEL FLOOR PLAN A2.1 ENLARGED OFFICE PLANS A4 EXTERIOR ELEVATIONS A4.1 MATERIAL BOARD C1 PRELIMINARY GRADING C2 PRELIMINARY GRADING C3 PRELIMINARY GRADING ESL1 SITE LIGHTING PLAN L1 PRELIMINARY LANDSCAPE PLAN
VICINITY MAP	GROSS SITE AREA SQUARE FOOTAGE ACRES 1552069 SF 35.63
	FLOOR AREA RATIO BUILDING AREA   SITE AREA   FAR ALLOWABLE   FAR PROVIDED 764753 SF   1553709 SF   75%   49.2%
	BUILDING AREA SUMMARY NAME AREA GROUND FLOOR 754359 SF WAREHOUSE 5269 SF OFFICE 759628 SF MEZZANINE 5125 SF OFFICE 5125 SF GROUND LEVEL + MEZZANINE 754359 SF WAREHOUSE 10394 SF OFFICE 764753 SF TOTAL BUILDING AREA 764753 SF
SITE PLAN GENERAL NOTES	LANDSCAPE AREA SUMMARY LOT AREA % LANDSCAPING REQUIRED AREA LANDSCAPING PROVIDED % LANDSCAPING PROVIDED 1555709 SF 14% 202134 SF 13%
1. THE SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS. 2. GENERAL CONTRACTOR TO REVIEW THE SOILS REPORT AND ALL AMENDMENTS LISTED ON THE TITLE SHEET AND FOLLOW ALL RECOMMENDATIONS. 3. U.O.N., ALL DIMENSIONS TO CONCRETE WALLS AND CURBS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL OR CURB. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER LINE OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR THE FACE OF THE WALL FINISH. 4. REFER TO CIVIL AND MEP PLANS TO CONFIRM UTILITY INFORMATION SHOWN ON THE ARCHITECT'S SITE PLAN AND FOR ADDITIONAL UTILITY INFORMATION. GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION. 5. REFER TO CIVIL DRAWINGS FOR ALL FINISHED GRADES AND SLOPES. ALL FINISHED GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING. GENERAL CONTRACTOR TO FIELD VERIFY. 6. ALL ACCESSIBLE ROUTES IDENTIFIED ON THE SITE PLAN DRAWINGS SHALL CONFORM TO THE FOLLOWING: a) SLOPES IN THE DIRECTION OF TRAVEL DO NOT EXCEED 2%. b) THE CLEAR WIDTH OF ALL WALKWAYS IS 4'-0" MIN. c) CHANGES IN LEVEL UP TO 1/2" COMPLY w/ 1:100.2:1. CHANGES IN LEVEL GREATER THAN 1/2" IF THEY OCCUR ARE RAMPED. SEE PLANS. d) THE VERTICAL CLEARANCE ALONG THE ACCESSIBLE ROUTE IS 8' MIN. 7. ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY A MIN. 8" HIGH, 6" WIDE CONCRETE CURB U.O.N. 8. A CONCRETE MOW STRIP EXTENDING 12" BEYOND EA END OF THE OPENING SHALL BE PROVIDED @ ALL EXTERIOR GLAZING WHERE THE SILL IS WITHIN 3' VERTICAL OF THE FINISHED GRADE. SEE 2/A1.1 9. PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY UTILITY COMPANIES AND OR FIRE AUTHORITIES AT ALL EXTERIOR ELECTRICAL EQUIPMENT AND FIRE PREVENTION DEVICES. IF PIPE BOLLARD PROTECTION POST DETAILS ARE NOT PROVIDED BY UTILITY COMPANIES AND OR FIRE AUTHORITY SEE DETAIL 3/A1.1 10. ALL EXPOSED BIOTENSION DEVICE COVERINGS SHALL BE PAINTED FORREST GREEN. 11. WHERE OCCURS, GENERAL CONTRACTOR TO PROVIDE FLUID APPLIED DAMP PROOFING AT ALL RETAINING AND PLANTER WALLS WHERE THE SIDE OF THE WALL OPPOSITE THE SOIL SIDE IS EXPOSED TO VIEW AND ALL EXTERIOR WALLS WHERE THE ADJACENT FLOOR SLAB IS BELOW GRADE. SEE 6/A1.2 12. PROVIDE A HOSE BIB NEAR THE MAIN ENTRANCE AND IN THE TRASH ENCLOSURE. SEE PLAN FOR LOCATION.	TOTAL PARKING REQUIRED HIGH CUBE WAREHOUSE @ 1/1,000, <20K 20 STALLS HIGH CUBE WAREHOUSE @ 1/2,000, 20K - 40K 10 STALLS HIGH CUBE WAREHOUSE @ 1/5,000, >40K 145 STALLS <10% OFFICE = COUNTED AS WAREHOUSE 0 STALLS TOTAL: 175 STALLS
SITE LEGEND	REQUIRED PARKING BREAKDOWN SPACE TYPE SPACES REQUIRED STANDARD STALLS 125 STANDARD ACCESSIBLE STALLS 6 VAN ACCESSIBLE STALLS 2 FUTURE EV CHARGING ONLY STANDARD ACCESSIBLE STALLS 1 FUTURE EV CHARGING ONLY VAN ACCESSIBLE STALLS 1 FUTURE EV CHARGING ONLY AMBULATORY STALLS 1 FUTURE EV CHARGING ONLY STALLS 32 CLEAN AIR STALLS 7 TOTAL 175
	PARKING PROVIDED SPACE TYPE SPACES PROVIDED STANDARD STALLS 127 STANDARD ACCESSIBLE STALLS 7 VAN ACCESSIBLE STALLS 3 INSTALLED EV CHARGING ONLY STANDARD ACCESSIBLE STALLS 4 INSTALLED EV CHARGING ONLY VAN ACCESSIBLE STALLS 2 INSTALLED EV CHARGING ONLY AMBULATORY STALLS 4 INSTALLED EV CHARGING ONLY STALLS 4 FUTURE EV CHARGING ONLY STALLS 124 TOTAL 275
	TRAILER PARKING REQUIRED X SPACES / # TRAILER PARKING PROVIDED 134 TRAILER STALLS
	BICYCLE PARKING SHORT TERM PARKING @ 5% OF THE TOTAL PARKING SPACES REQUIRED 17 SPACES PROVIDED 18 LONG TERM PARKING @ 5% OF THE TOTAL PARKING SPACES REQUIRED 17 SPACES PROVIDED 18

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SITE PLAN

A 1

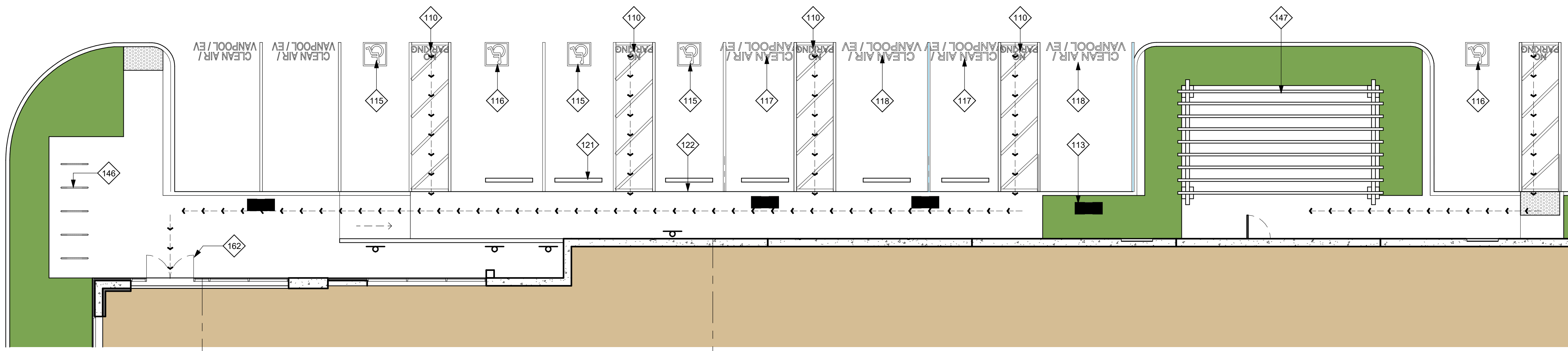
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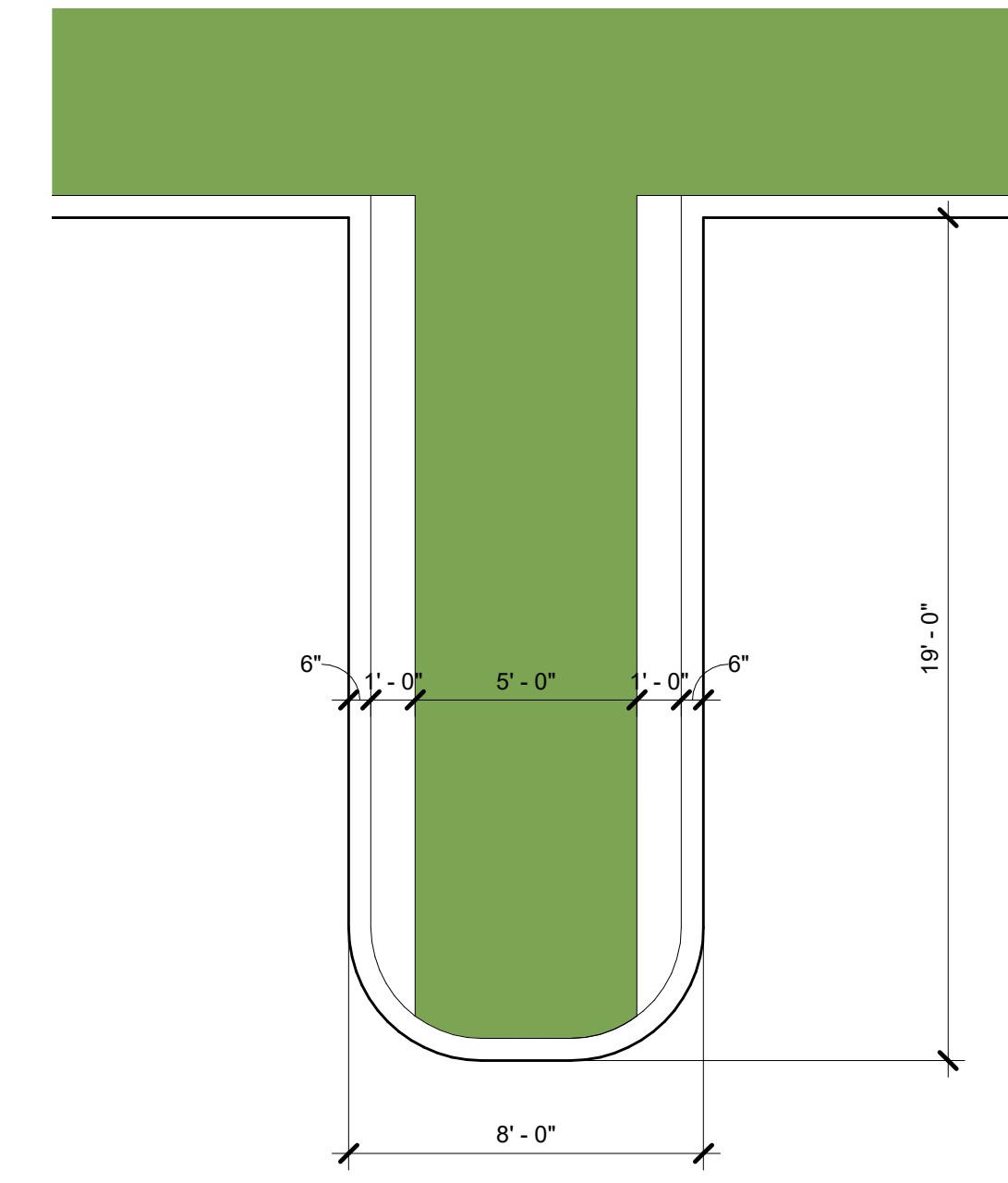
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ENLARGED  
SITE PLANS

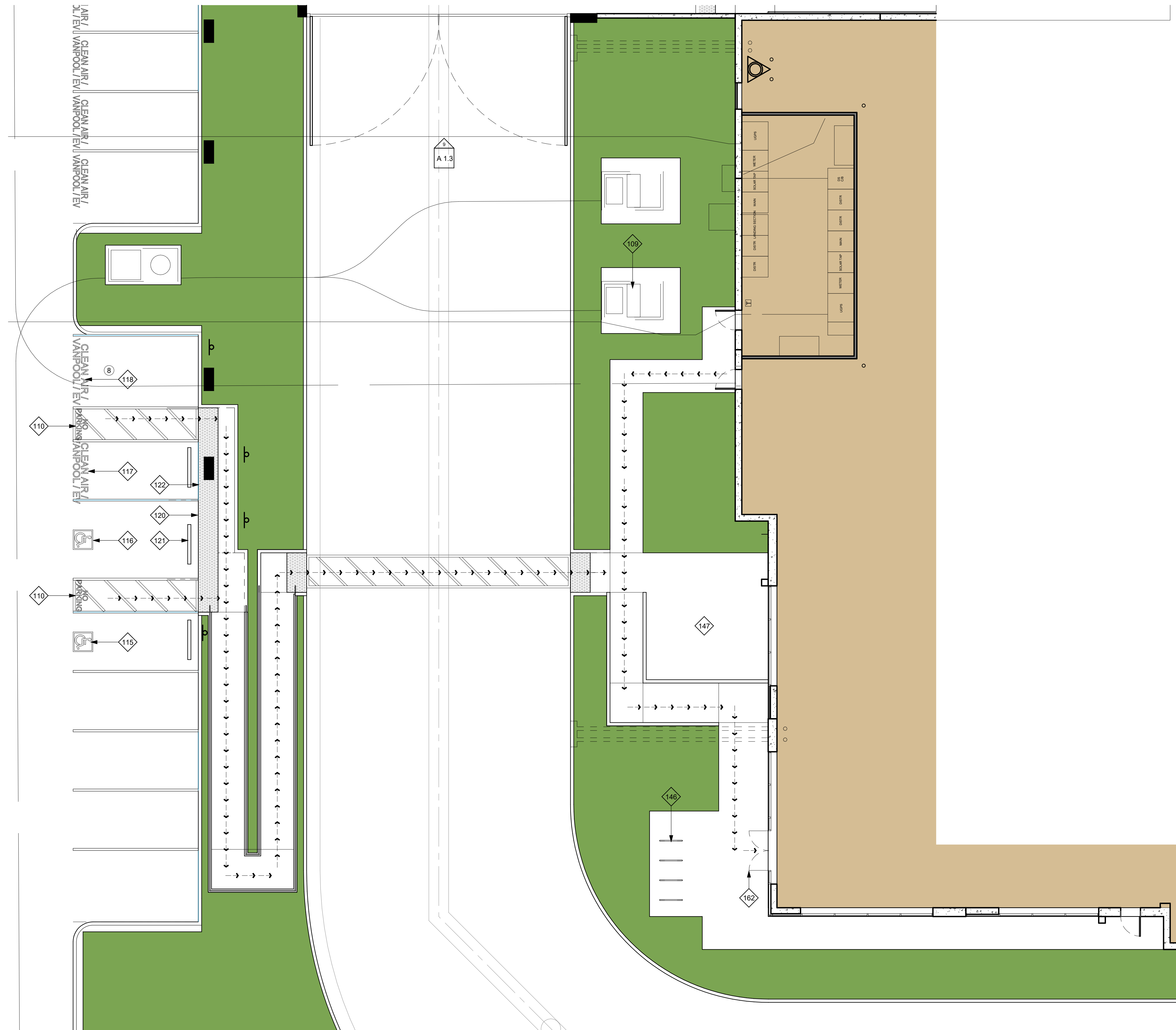
A 1.1



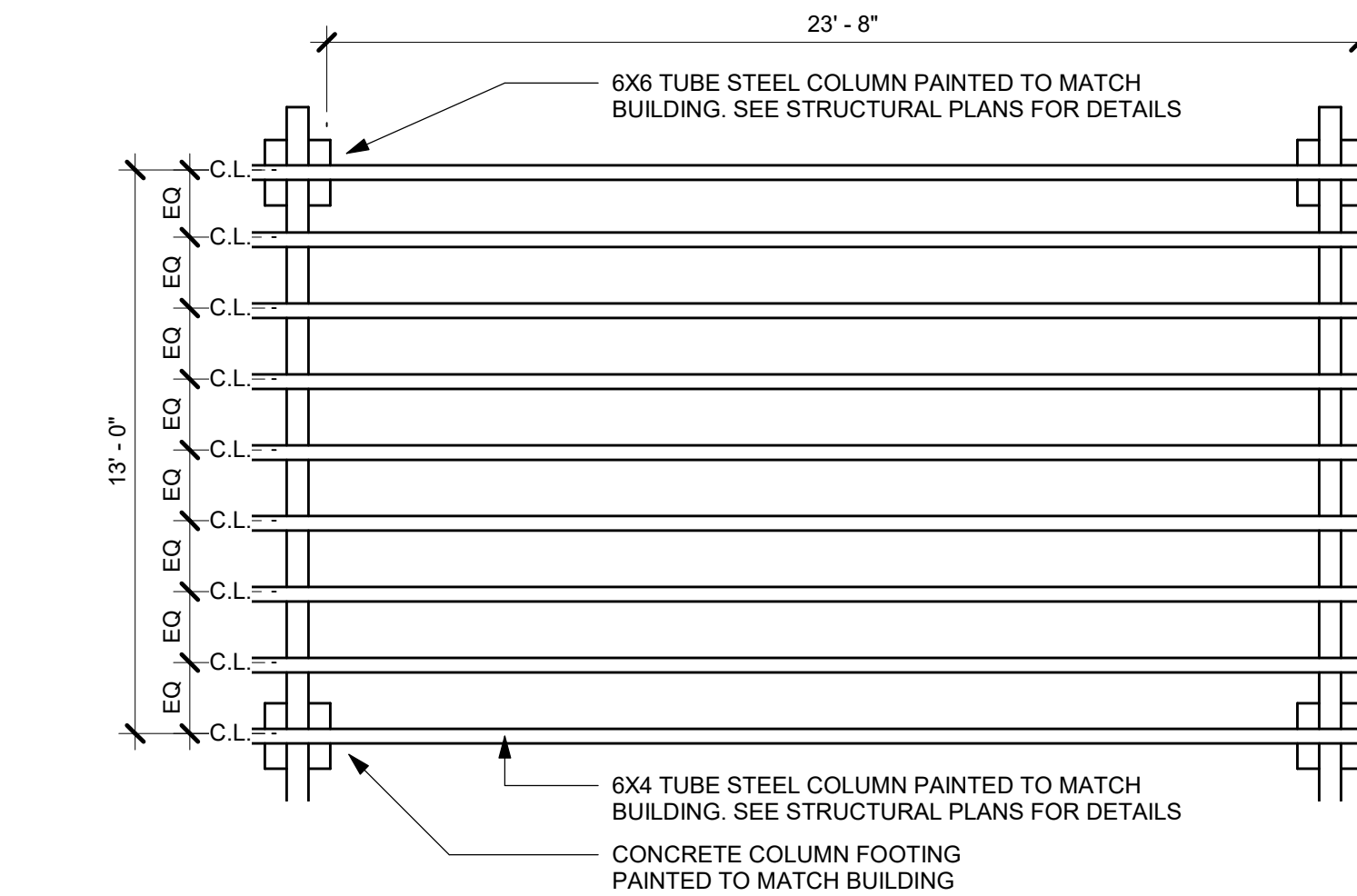
1 ENLARGED NORTHWEST ACCESSIBLE PARKING  
1/8" = 1'-0"



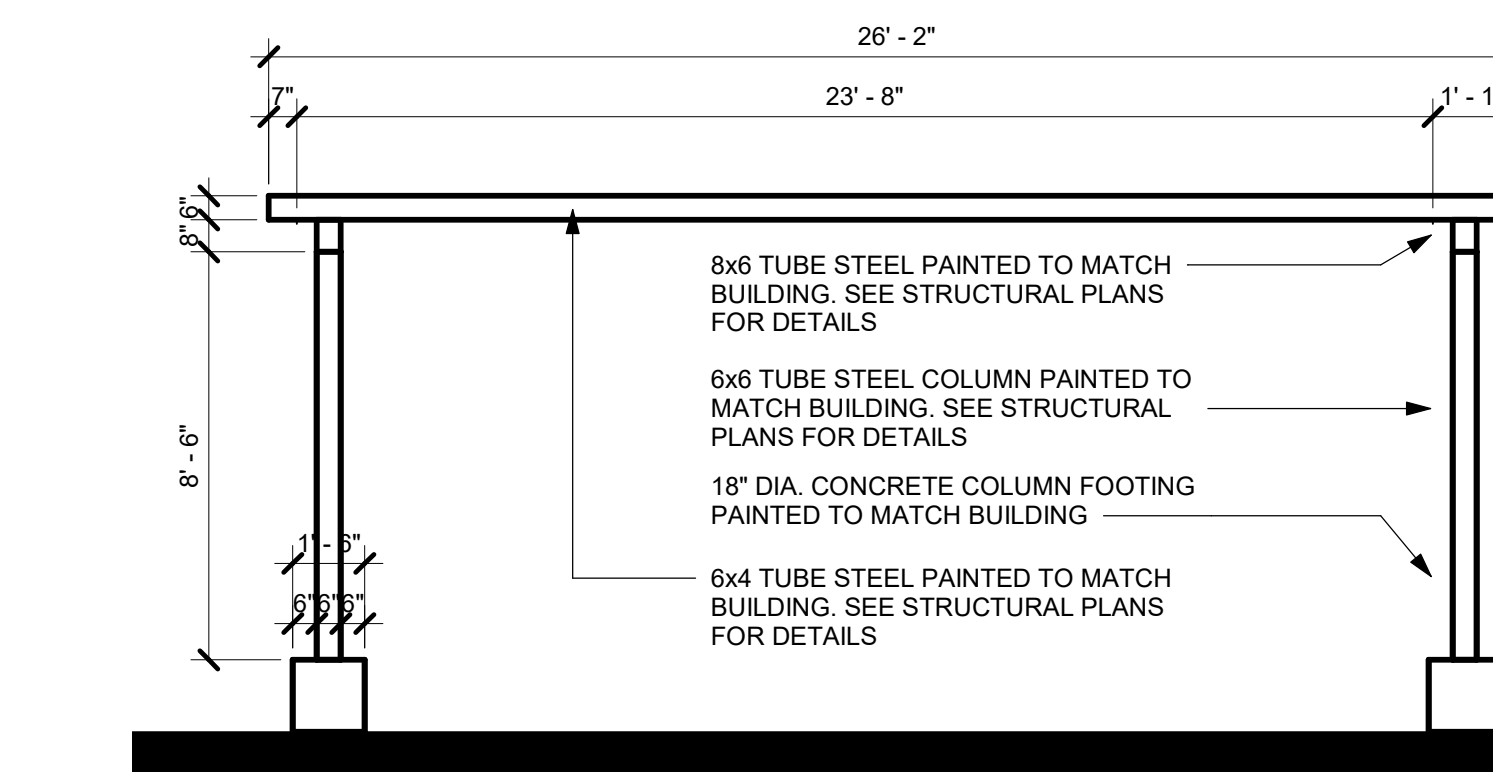
6 TYPICAL LANDSCAPE FINGER DETAIL  
1/4" = 1'-0"



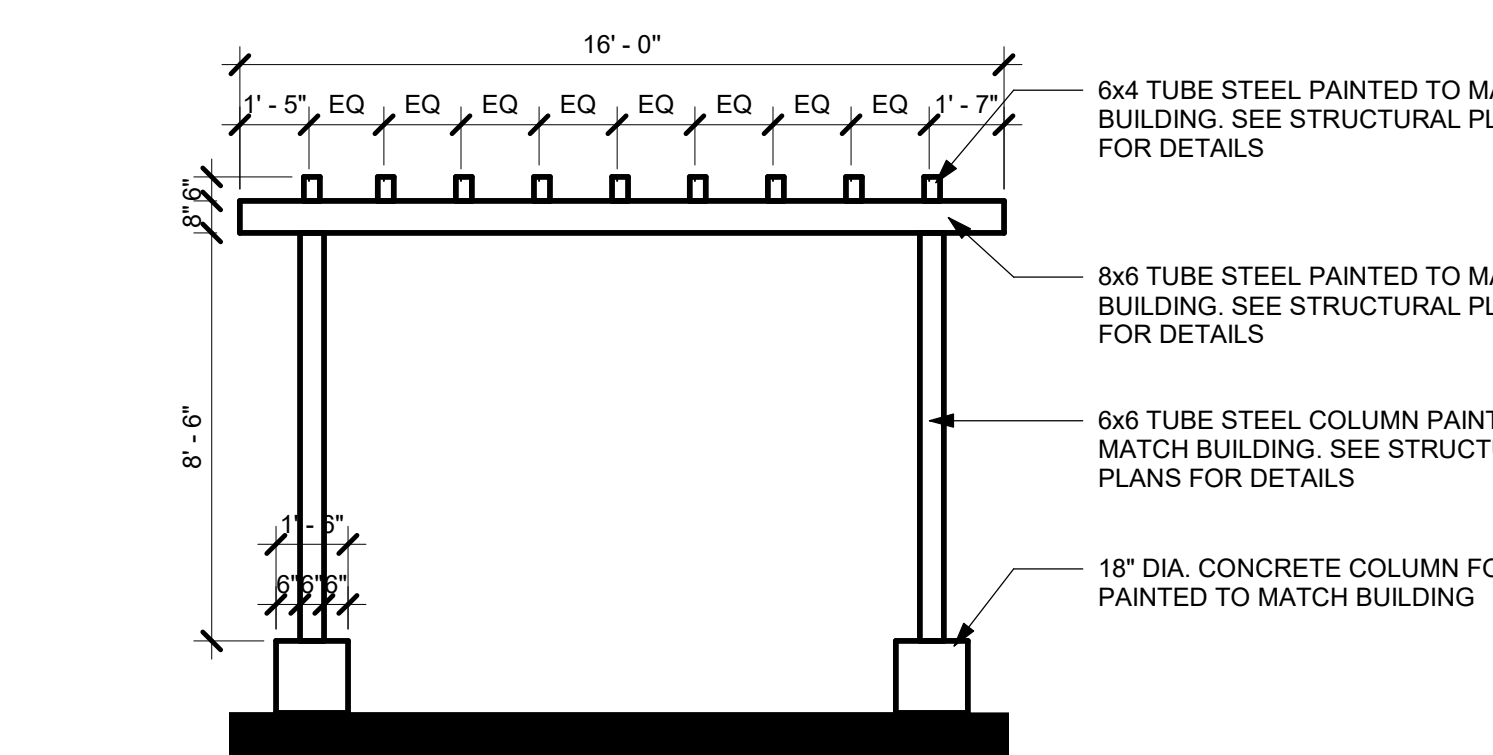
7 ENLARGED SOUTHWEST ACCESSIBLE PARKING  
1/8" = 1'-0"



3 TRELLIS PLAN VIEW  
1/4" = 1'-0"



4 TRELLIS ELEVATION 1  
1/4" = 1'-0"



5 TRELLIS ELEVATION 2  
1/4" = 1'-0"

KEYNOTES	
109	(N) TRANSFORMER LOCATION.
110	ACCESS AISLE FOR ACCESSIBLE PARKING STALL. 5'-0" WIDE.
113	EVCS (ELECTRIC VEHICLE CHARGING STATION). PROVIDE EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT). MATCH STANDARD STALL SIZE.
115	STANDARD ACCESSIBLE PARKING STALL. 9'-0" WIDE x 19'-0" OF STANDARD STALL.
116	VAN ACCESSIBLE PARKING STALL. 12'-0" WIDE x 19'-0" OF STANDARD STALL.
117	STANDARD ACCESSIBLE EVCS (ELECTRIC VEHICLE CHARGING STATION). 9'-0" WIDE x 19'-0" OF STANDARD STALL. PROVIDE ELECTRIC VEHICLE SUPPLY EQUIPMENT.
118	VAN ACCESSIBLE EVCS (ELECTRIC VEHICLE CHARGING STATION). 12'-0" WIDE x 19'-0" OF STANDARD STALL. PROVIDE ELECTRIC VEHICLE SUPPLY EQUIPMENT.
120	TRUNCATED DOME DETECTABLE WARNING SURFACE. MIN 3'-0" DEEP IN THE DIRECTION OF TRAVEL.
121	PRECAST CONCRETE WHEEL STOP.
122	ZERO CURB FACE.
146	2 POSITION BIKE RACK.
147	EMPLOYEE BREAK AREA.
162	ACCESSIBLE BUILDING ENTRANCE.

EXTERIOR COLOR SCHEDULE	
(A)	EXTERIOR PAINT COLOR: SW 7005 PURE WHITE
(B)	EXTERIOR PAINT COLOR: SW 6252 ICE CUBE
(C)	EXTERIOR PAINT COLOR: SW 6254 LAZY GRAY
(D)	EXTERIOR PAINT COLOR: SW 7069 IRON ORE
(E)	CONCRETE FORMLINER COLOR (B): SW 7650 ELLIE GRAY
(F)	ACM PANEL COLOR: MATCH STOREFRONT FRAMING
(G)	EXPOSED STEEL BROW & CANOPY FRAMING & TRASH ENCLOSURE ROOF PAINT COLOR: MATCH STOREFRONT FRAMING.
(H)	EXTERIOR STOREFRONT FRAMING COLOR: BLACK ANODIZED ALUMINUM
(I)	EXTERIOR GLASS COLOR FOR SINGLE GLAZING & EXTERIOR LAYER OF INSULATED GLASS: SOLARCOOL, SOLARGRAY, SOLARBAN 60
(J)	EXTERIOR GLASS COLOR FOR THE INNER LAYER OF INSULATED GLASS: CLEAR GLASS

**NOTES:**

- PAINT MAN DOORS, STAIR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS, & LOUVERS TO MATCH ADJACENT BUILDING WALL COLOR, U.O.N.
- U.O.N. EXTERIOR SIDING OF TRUCK DOORS TO BE PRE-FINISHED TO MATCH ADJACENT BUILDING WALL COLOR. INTERIOR SIDE TO BE PRE-FINISHED WITH MANUFACTURER'S LIGHT GRAY.
- POWER WASH EXTERIOR CONCRETE WALLS PRIOR TO PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDIE THE PRIMER COAT FROM ADHERING TO THE WALLS.
- PAINT EXTERIOR WALLS w/ 1-COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2-COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. ALL PAINTS TO BE AS SPECIFIED BY THE MANUFACTURER FOR CONCRETE TILT UP WALL PANELS. FINISHED JOB SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS OF THE COLOR.
- EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CAULKED PER DETAIL 11AD4.1.
- PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE COLOR OF THE TRELLIS.
- @ SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW, PAINT THE EXPOSED WALL CHAMFER JUST ABOVE OR BELOW THE BROW TO MATCH THE BROW COLOR.

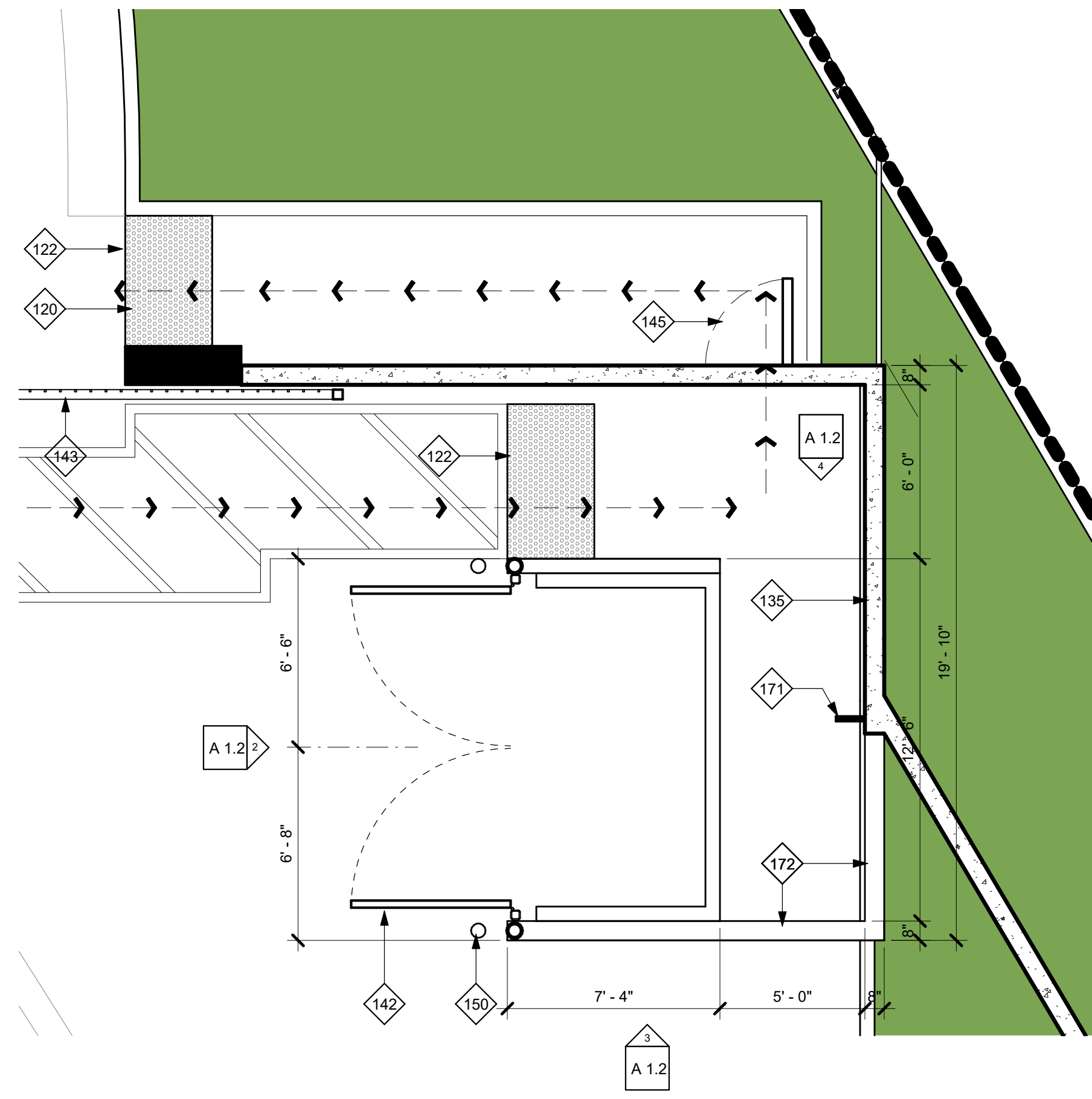
**SITE PLAN GENERAL NOTES**

- THE SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS.
- GENERAL CONTRACTOR TO REVIEW THE SOILS REPORT AND ALL AMMENDMENTS LISTED ON THE TITLE SHEET AND FOLLOW ALL RECOMMENDATIONS.
- U.O.N. ALL DIMENSIONS TO CONCRETE WALLS AND CURBS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL OR CURB. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER LINE OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR THE FACE OF THE WALL FINISH.
- REFER TO CIVIL AND MEP PLANS TO CONFIRM UTILITY INFORMATION SHOWN ON THE ARCHITECT'S SITE PLAN AND FOR ADDITIONAL UTILITY INFORMATION. GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION.
- REFER TO CIVIL DRAWINGS FOR ALL FINISHED GRADES AND SLOPES. ALL FINISHED GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING. GENERAL CONTRACTOR TO FIELD VERIFY.
- ALL ACCESSIBLE ROUTES IDENTIFIED ON THE SITE PLAN DRAWINGS SHALL CONFORM TO THE FOLLOWING:
  - SLOPES IN THE DIRECTION OF TRAVEL DO NOT EXCEED 5% GROSS SLOPES DO NOT EXCEED 2%.
  - THE CLEAR WIDTH OF ALL WALKWAYS IS 4'-0" MIN.
  - CHANGES IN LEVEL UP TO 1/2" COMPLY W/ 11A0.2.1. CHANGES IN LEVEL GREATER THAN 1/2" IF THEY OCCUR ARE RAMPED. SEE PLANS.
  - THE VERTICAL CLEARANCE ALONG THE ACCESSIBLE ROUTE IS 80" MIN.
- ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY A MIN. 6" HIGH, 6" WIDE CONCRETE CURB U.O.N.
- A CONCRETE MOW STRIP EXTENDING 12" BEYOND EA END OF THE OPENING SHALL BE PROVIDED @ ALL EXTERIOR GLAZING WHERE THE SILL IS WITHIN 3' VERTICAL OF THE FINISHED GRADE. SEE 2AD1.1
- PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY UTILITY COMPANIES AND OR FIRE AUTHORITIES AT ALL EXTERIOR ELECTRICAL EQUIPMENT AND FIRE PREVENTION DEVICES. IF PIPE BOLLARD PROTECTION POST DETAILS ARE NOT PROVIDED BY UTILITY COMPANIES AND OR FIRE AUTHORITY SEE DETAIL 8AD1.1
- ALL EXPOSED BIOTENSION DEVICE COVERINGS SHALL BE PAINTED FOREST GREEN.
- WHERE OCCURS, GENERAL CONTRACTOR TO PROVIDE FLUID APPLIED DAMP PROOFING AT ALL RETAINING AND PLANTER WALLS WHERE THE SIDE OF THE WALL OPPOSITE THE SOIL SIDE IS EXPOSED TO VIEW AND ALL EXTERIOR WALLS WHERE THE ADJACENT FLOOR SLAB IS BELOW GRADE. SEE 6AD1.2
- PROVIDE A HOSE BIB NEAR THE MAIN ENTRANCE AND IN THE TRASH ENCLOSURE. SEE PLAN FOR LOCATION.

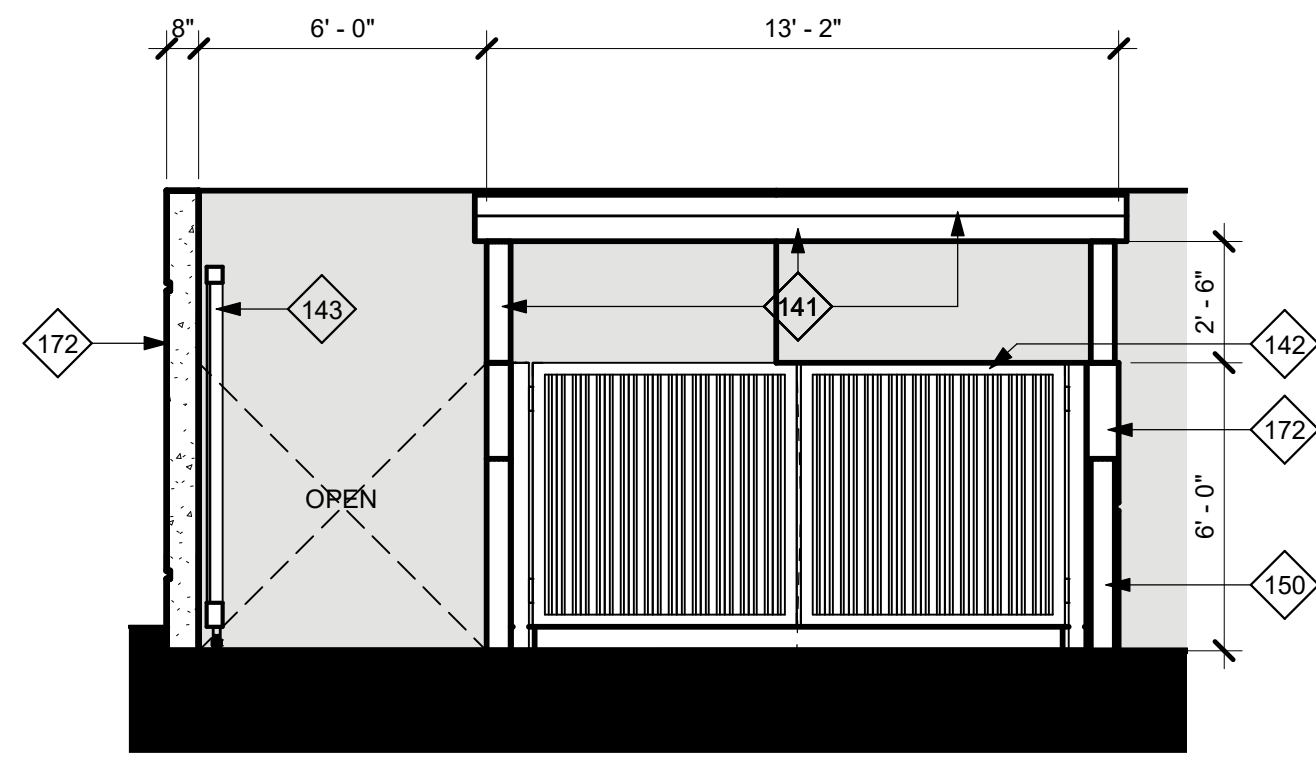
  

**SITE LEGEND**

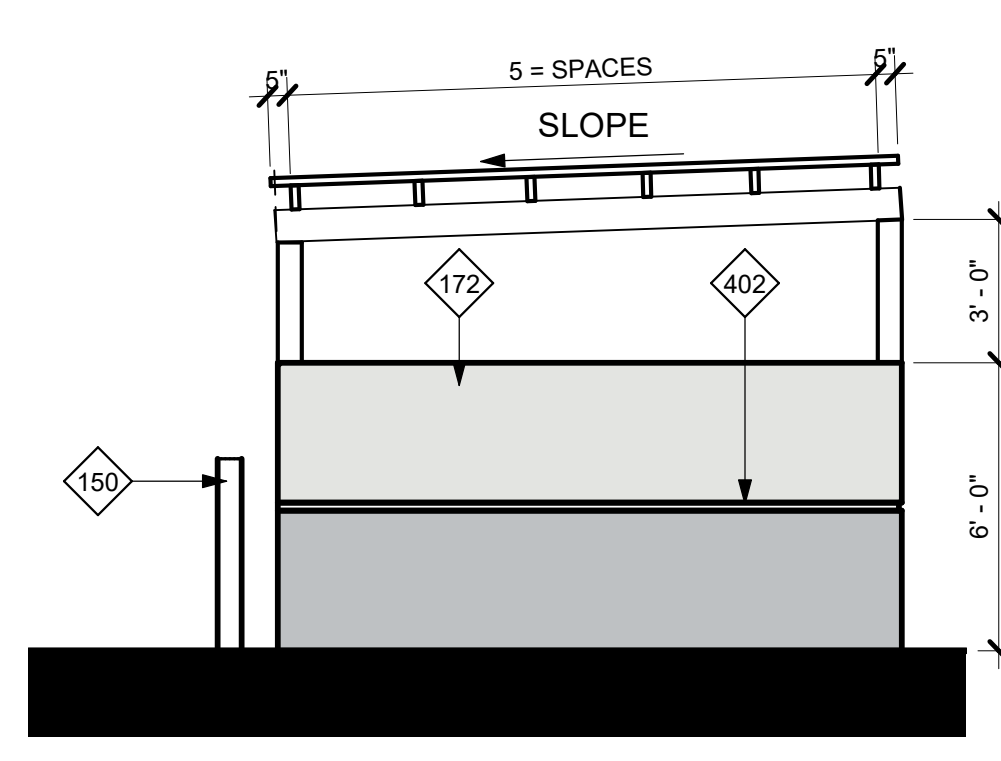
- LANDSCAPE AREA
- CONCRETE PAVING. SEE CIVIL DRAWINGS FOR PAVING SECTIONS
- FIRE HYDRANT. PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED. SEE 3AD1.1
- STREET LIGHT
- INDICATES AN ACCESSIBLE ROUTE. MUST COMPLY W/ SITE PLAN GENERAL NOTE #6
- PROPERTY LINE
- DOCK HIGH DOOR
- DRIVE THRU. DOOR



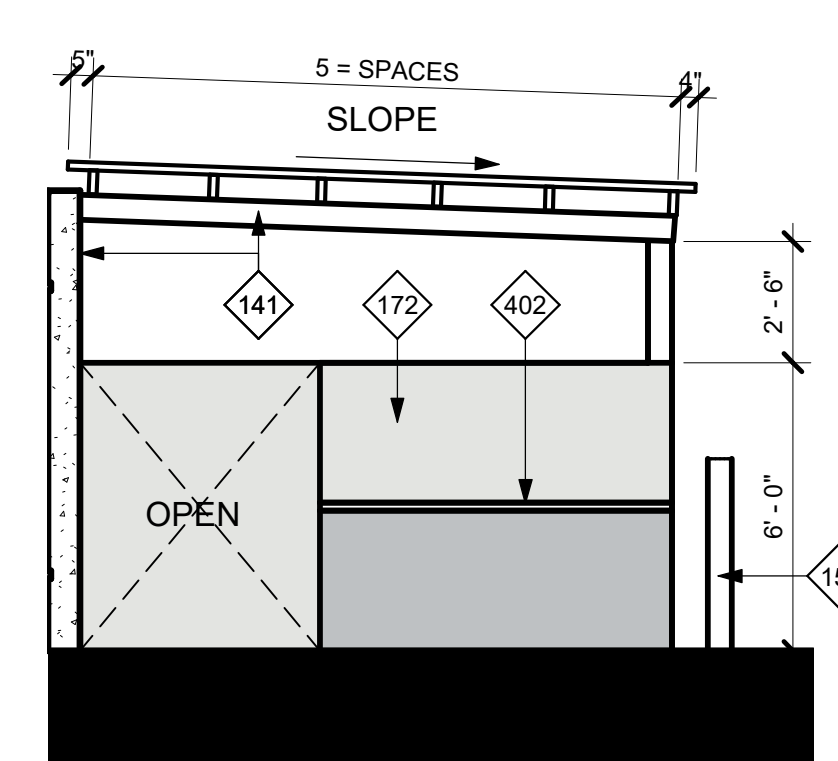
1 ENLARGED SOUTHWEST ACCESSIBLE PARKING  
1/4" = 1'-0"



2 WEST T.E. ELEVATION  
1/4" = 1'-0"



3 SOUTH T.E. ELEVATION  
1/4" = 1'-0"

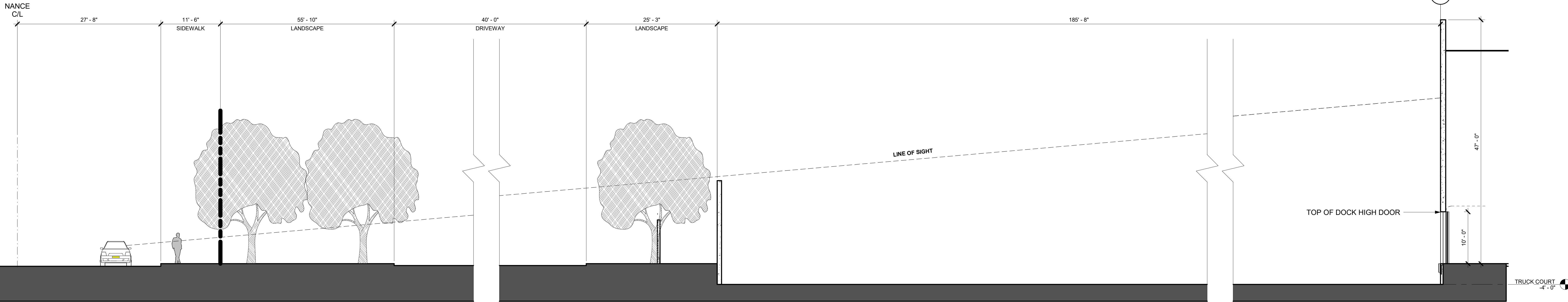


4 NORTH T.E. ELEVATION  
1/4" = 1'-0"

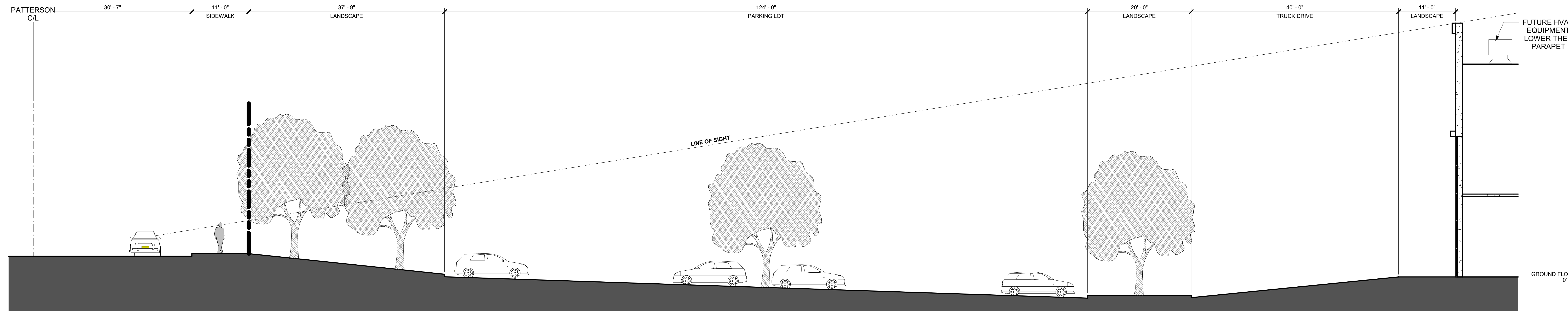
KEYNOTES	EXTERIOR WALL COLOR LEGEND & NOTES
120 TRUNCATED DOME DETECTABLE WARNING SURFACE. MIN 3'-0" DEEP IN THE DIRECTION OF TRAVEL.	A EXTERIOR PAINT COLOR: SW 7005 PURE WHITE
122 ZERO CURB FACE.	B EXTERIOR PAINT COLOR: SW 6252 ICE CUBE
135 CONCRETE TILT-UP SCREEN WALL. MIN HEIGHT 14' ABOVE HIGHEST ADJACENT FINISHED GRADE. PAINT BOTH SIDES AND TOP OF WALL. SEE PLANS FOR COLOR SCHEDULE.	C EXTERIOR PAINT COLOR: SW 6254 LAZY GRAY
141 PAINTED STEEL ROOF COVERING. HSS COLUMNS, HSS BEAMS, AND METAL DECK ROOFING.	D EXTERIOR PAINT COLOR: SW 7069 IRON ORE
142 PAINTED STEEL TRASH ENCLOSURE GATES. ALIGN TOP OF GATES WITH TOP OF ADJACENT ENCLOSURE WALL.	E CONCRETE FORMLINER COLOR (B): SW 7660 ELLIE GRAY
143 PAINTED STEEL ROLLING GATE(S). MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE OR AS SHOWN ON EXTERIOR ELEVATIONS. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY.	F ACM PANEL COLOR: MATCH STOREFRONT FRAMING
145 PAINTED STEEL SWINGING PEDESTRIAN GATE. WHEN OCCURS IN TUBE STEEL FENCE, ALIGN TOP W/ FENCE HEIGHT. WHEN OCCURS IN CONCRETE SCREEN WALL, U.O.N. ALIGN TOP W/ SCREEN WALL. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY.	G EXPOSED STEEL BROW & CANOPY FRAMING & TRASH ENCLOSURE ROOF PAINT COLOR: MATCH STOREFRONT FRAMING
150 STEEL PIPE BOLLARD PROTECTION POST.	H EXTERIOR STOREFRONT FRAMING COLOR: BLACK ANODIZED ALUMINUM
171 HOSE BIB.	I EXTERIOR GLASS COLOR FOR SINGLE GLAZING & EXTERIOR LAYER OF INSULATED GLASS: SOLARCOOL, SOLARGRAY, SOLARBAN 60
172 CONCRETE TILT-UP TRASH ENCLOSURE WALL. MIN HEIGHT 6'-0" ABOVE HIGHEST ADJACENT FINISHED GRADE. PAINT BOTH SIDES AND TOP OF WALL. SEE PLANS FOR COLOR SCHEDULE.	J EXTERIOR GLASS COLOR FOR THE INNER LAYER OF INSULATED GLASS: CLEAR GLASS
402 WALL REVEAL.	

**NOTES:**

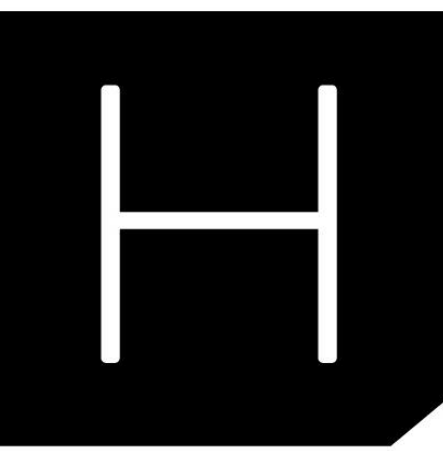
- PAINT MAN DOORS, STAIR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS, & LOUVERS TO MATCH ADJACENT BUILDING WALL COLOR, U.O.N.
- U.O.N. EXTERIOR SIDE OF TRUCK DOORS TO BE PRE-FINISHED TO MATCH ADJACENT BUILDING WALL COLOR. INTERIOR SIDE TO BE PRE-FINISHED WITH MANUFACTURER'S LIGHT GRAY.
- POWER WASH EXTERIOR CONCRETE WALLS. PRIOR TO PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDE THE PRIMER COAT FROM ADHERING TO THE WALLS.
- PAINT EXTERIOR WALLS W/ 1-COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2-COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. ALL PAINTS TO BE AS SPECIFIED BY THE MANUFACTURER FOR CONCRETE TILT-UP WALL PANELS. FINISHED JOBS SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS OF THE COLOR.
- EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CAULKED PER DETAIL 1/ADA.1.
- PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE COLOR OF THE TRELLIS.
- @ SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW. PAINT THE EXPOSED WALL CHAMFER JUST ABOVE OR BELOW THE BROW TO MATCH THE BROW COLOR.



5 LINE OF SIGHT FROM NANCE STREET  
1/8" = 1'-0"



6 LINE OF SITE FROM PATTERSON AVENUE  
1/8" = 1'-0"

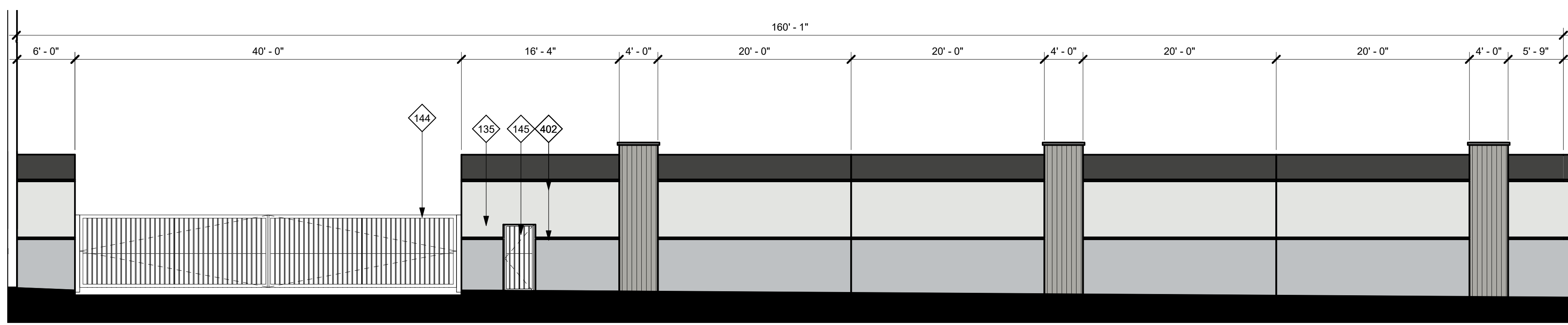


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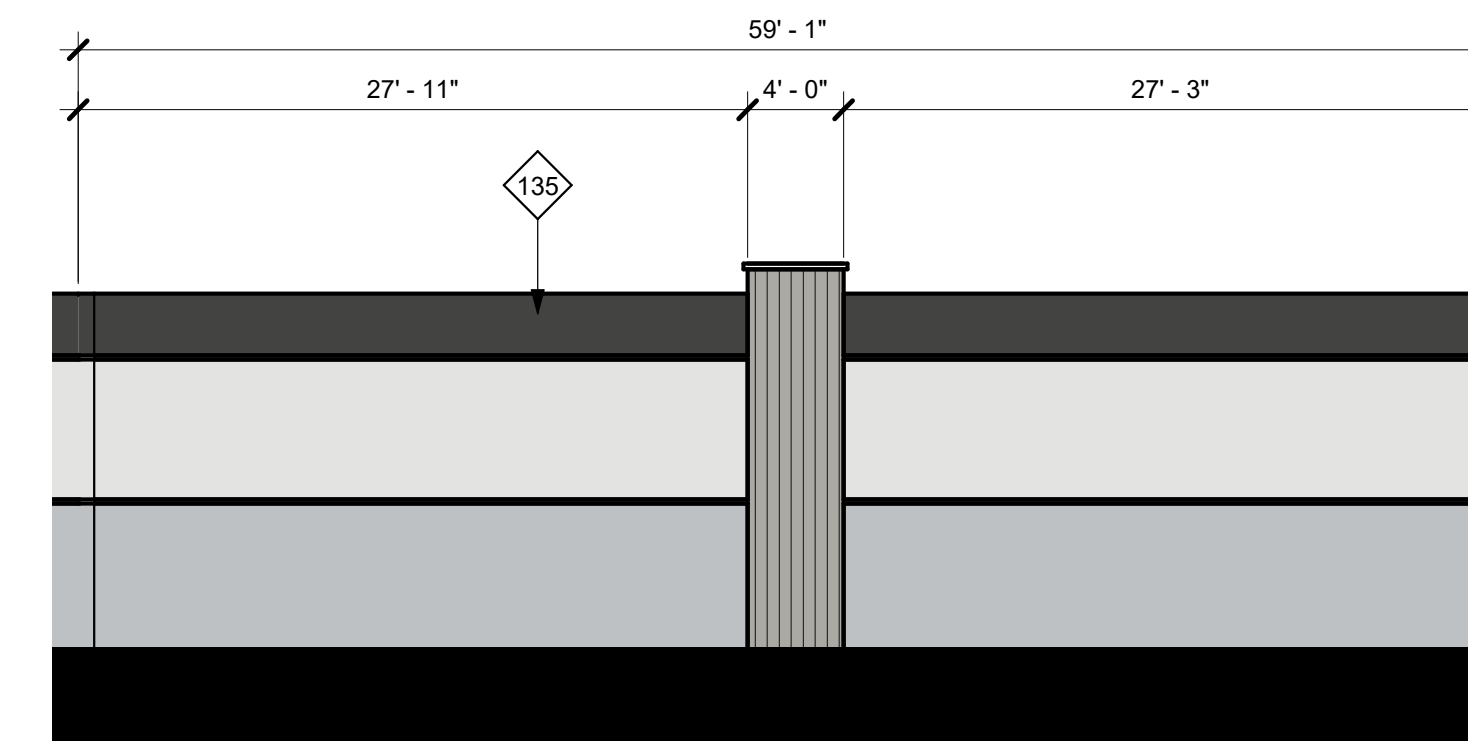
ENLARGED  
SITE PLANS

A 1.2

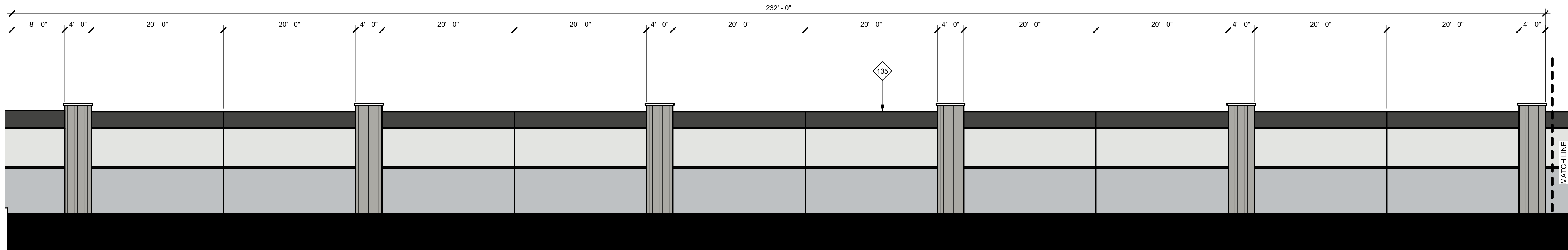




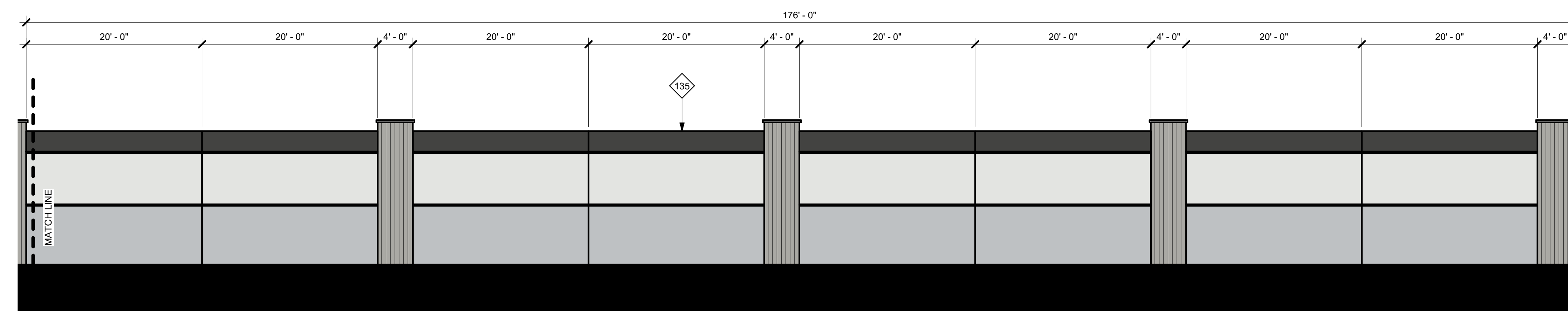
① WEST TRUCK YARD - NORTHWEST GATE ELEVATION  
1/8" = 1'-0"



② NORTHWEST SCREEN WALL ELEVATION - ANGLED  
1/8" = 1'-0"



③ NORTHWEST SCREEN WALL ELEVATION  
1/8" = 1'-0"



④ NORTHWEST SCREEN WALL ELEVATION  
1/8" = 1'-0"

KEYNOTES	
135	CONCRETE TILT-UP SCREEN WALL, MIN HEIGHT 14' ABOVE HIGHEST ADJACENT FINISHED GRADE. PAINT BOTH SIDES AND TOP OF WALL. SEE PLANS FOR COLOR SCHEDULE.
144	PAINTED STEEL SWINGING GATE(S), MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE OR AS SHOWN ON EXTERIOR ELEVATIONS. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY.
145	PAINTED STEEL SWINGING PEDESTRIAN GATE. WHEN OCCURS IN TUBE STEEL FENCE, ALIGN TOP W/ FENCE HEIGHT. WHEN OCCURS IN CONCRETE SCREEN WALL, U.O.N. ALIGN TOP W/ SCREEN WALL. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY.
402	WALL REVEAL.

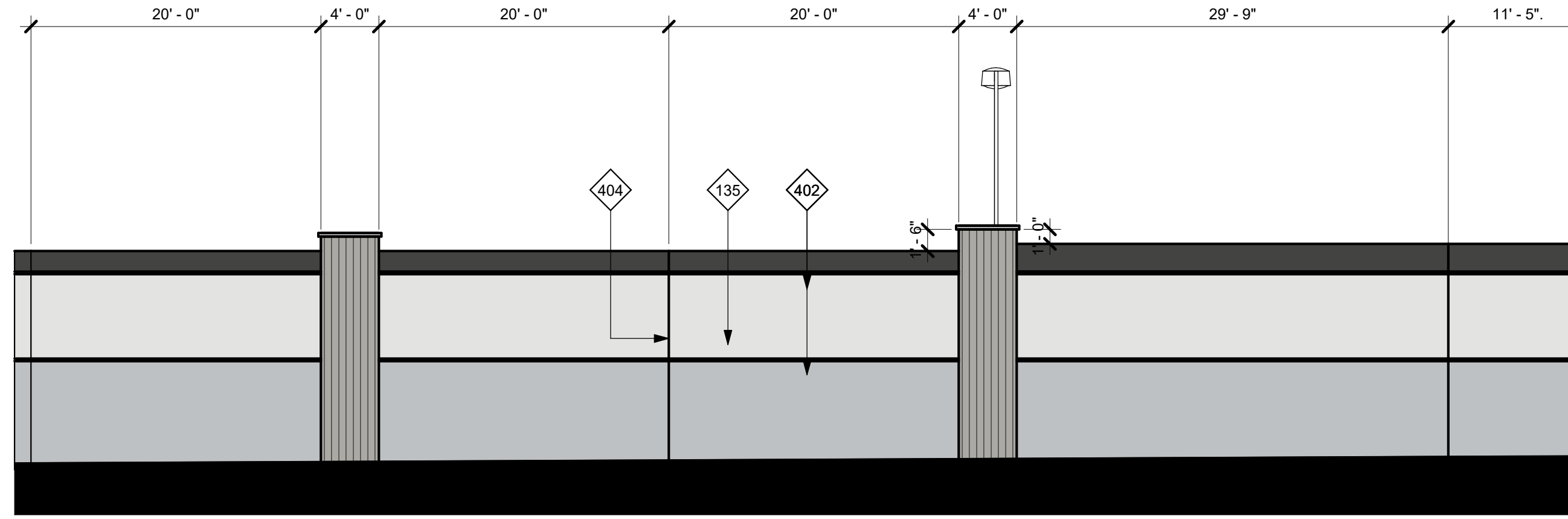
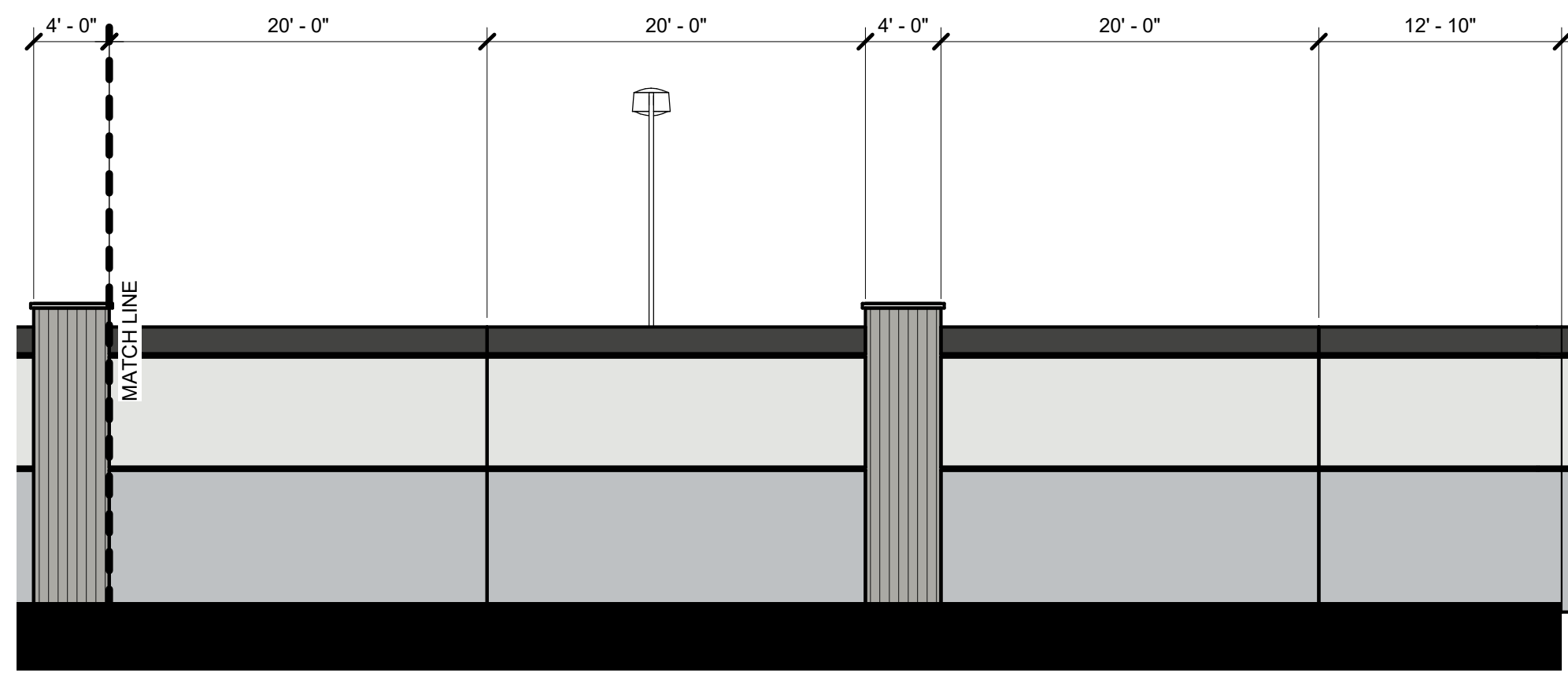
EXTERIOR COLOR SCHEDULE

	A	EXTERIOR PAINT COLOR: SW 7005 PURE WHITE
	B	EXTERIOR PAINT COLOR: SW 6252 ICE CUBE
	C	EXTERIOR PAINT COLOR: SW 6254 LAZY GRAY
	D	EXTERIOR PAINT COLOR: SW 7069 IRON ORE
	E	CONCRETE FORMLINER COLOR (F): SW 7650 ELLIE GRAY
	F	ACM PANEL COLOR: MATCH STOREFRONT FRAMING
	G	EXPOSED STEEL BROW & CANOPY FRAMING & TRASH ENCLOSURE ROOF PAINT COLOR: MATCH STOREFRONT FRAMING
	H	EXTERIOR STOREFRONT FRAMING COLOR: BLACK ANODIZED ALUMINUM
	I	EXTERIOR GLASS COLOR FOR SINGLE GLAZING & EXTERIOR LAYER OF INSULATED GLASS: SOLARCOOL, SOLARGRAY, SOLARBAN 60
	J	EXTERIOR GLASS COLOR FOR THE INNER LAYER OF INSULATED GLASS: CLEAR GLASS

NOTES:

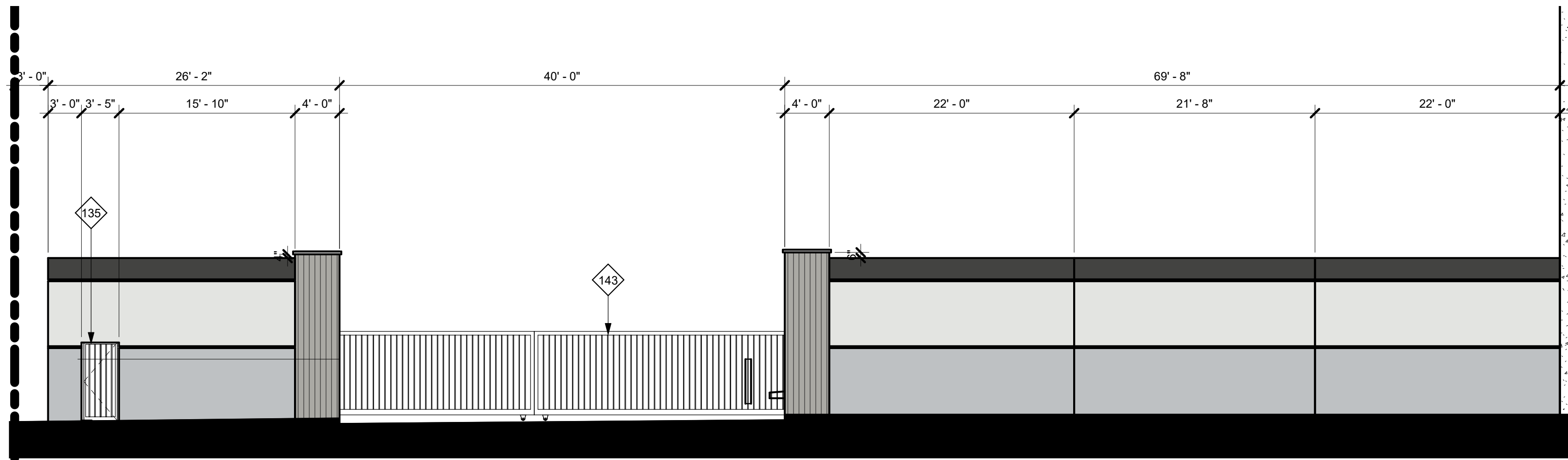
- PAINT MAN DOORS, STAIR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS, & LOUVERS TO MATCH ADJACENT BUILDING WALL COLOR. U.O.N.
- U.O.N. EXTERIOR SIDE OF TRUCK DOORS TO BE PRE-FINISHED TO MATCH ADJACENT BUILDING WALL COLOR. INTERIOR SIDE TO BE PRE-FINISHED WITH MANUFACTURER'S LIGHT GRAY.
- POWER WASH EXTERIOR CONCRETE WALLS PRIOR TO PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDE THE PRIMER COAT FROM ADHERING TO THE WALLS.
- PAINT EXTERIOR WALLS W/ 1-COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2-COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. ALL PAINTS TO BE AS SPECIFIED BY THE MANUFACTURER FOR CONCRETE TILT UP WALL PANELS. FINISHED JOB SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS OF THE COLOR.
- EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CAULKED PER DETAIL 1/AD4-1.
- PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE COLOR OF THE TRELLIS.
- @ SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW. PAINT THE EXPOSED WALL CHAMFER JUST ABOVE OR BELOW THE BROW TO MATCH THE BROW COLOR.





① EAST TRUCK YARD - SCREEN WALL ELEVATION  
1/8" = 1'-0"

② EAST TRUCK YARD - SCREEN WALL ELEVATION - ANGLED  
1/8" = 1'-0"



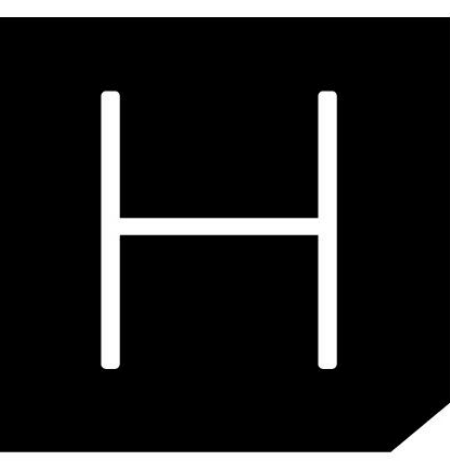
④ EAST TRUCK YARD - NORTHEAST GATE ELEVATION  
1/8" = 1'-0"

KEYNOTES	
135	CONCRETE TILT-UP SCREEN WALL. MIN HEIGHT 14' ABOVE HIGHEST ADJACENT FINISHED GRADE. PAINT BOTH SIDES AND TOP OF WALL. SEE PLANS FOR COLOR SCHEDULE.
143	PAINTED STEEL ROLLING GATE(S). MIN HEIGHT 8' ABOVE HIGHEST ADJACENT FINISHED GRADE OR AS SHOWN ON EXTERIOR ELEVATIONS. PROVIDE KNOX BOX AS REQUIRED BY FIRE AUTHORITY.
402	WALL REVEAL.
404	PANEL JOINT.

EXTERIOR COLOR SCHEDULE

	(A) EXTERIOR PAINT COLOR: SW 7005 PURE WHITE
	(B) EXTERIOR PAINT COLOR: SW 6252 ICE CUBE
	(C) EXTERIOR PAINT COLOR: SW 6254 LAZY GRAY
	(D) EXTERIOR PAINT COLOR: SW 7069 IRON ORE
	(E) CONCRETE FORMLINER COLOR (B): SW 7650 ELLIE GRAY
	(F) ACM PANEL COLOR: MATCH STOREFRONT FRAMING
	(G) EXPOSED STEEL BROW & CANOPY FRAMING & TRASH ENCLOSURE ROOF PAINT COLOR: MATCH STOREFRONT FRAMING.
	(H) EXTERIOR STOREFRONT FRAMING COLOR: BLACK ANODIZED ALUMINUM
	(I) EXTERIOR GLASS COLOR FOR SINGLE GLAZING & EXTERIOR LAYER OF INSULATED GLASS: SOLARCool, SOLARGRAY, SOLARBAN 60
	(J) EXTERIOR GLASS COLOR FOR THE INNER LAYER OF INSULATED GLASS: CLEAR GLASS

- NOTES:**
- PAINT MAN DOORS, STAIR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS & LOUVERS TO MATCH ADJACENT BUILDING WALL COLOR, U.O.N.
  - U.O.N. EXTERIOR SIDE OF TRUCK DOORS TO BE PRE-FINISHED TO MATCH ADJACENT BUILDING WALL COLOR. INTERIOR SIDE TO BE PRE-FINISHED WITH MANUFACTURER'S LIGHT GRAY.
  - POWER WASH EXTERIOR CONCRETE WALLS PRIOR TO PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDE THE PRIMER COAT FROM ADHERING TO THE WALLS.
  - PAINT EXTERIOR WALLS w/ 1-COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2-COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. ALL PAINTS TO BE AS SPECIFIED BY THE MANUFACTURER FOR CONCRETE TILT UP WALL PANELS. FINISHED JOB SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS OF THE COLOR.
  - EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CALKED PER DETAIL 1A04.1.
  - PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE COLOR OF THE TRELLIS.
  - @ SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW, PAINT THE EXPOSED WALL CHAMFER JUST ABOVE OR BELOW THE BROW TO MATCH THE BROW COLOR.



A21-2001  
07.21.2023

GROUND  
LEVEL FLOOR  
PLAN

A 2

KEYNOTES	
120	TRUNCATED DOME DETECTABLE WARNING SURFACE. MIN 3'-0" DEEP IN THE DIRECTION OF TRAVEL.
149	CONCRETE TRUCK RAMP W/ 42" HIGH CONCRETE TILT-UP GUARD ON OPEN SIDES(S). PAINT ALL SIDES OF GUARD WALLS AND HANDRAILS SEE ARCHITECTURAL DRAWINGS FOR COLOR SCHEDULE.
150	STEEL PIPE BOLLARD PROTECTION POST.
171	HOSE BIB.
201	STRUCTURAL BUILDING COLUMN.
401	PAINTED CONCRETE TILT-UP WALL PANEL.
404	PANEL JOINT.
407	PAINTED HOLLOW METAL PEDESTRIAN DOOR.
408	STEEL SECTIONAL OVERHEAD DOOR.
443	4'-0"W x 8'-0"H PAINTED STEEL WALL LOUVER TOP @ +10'-0".

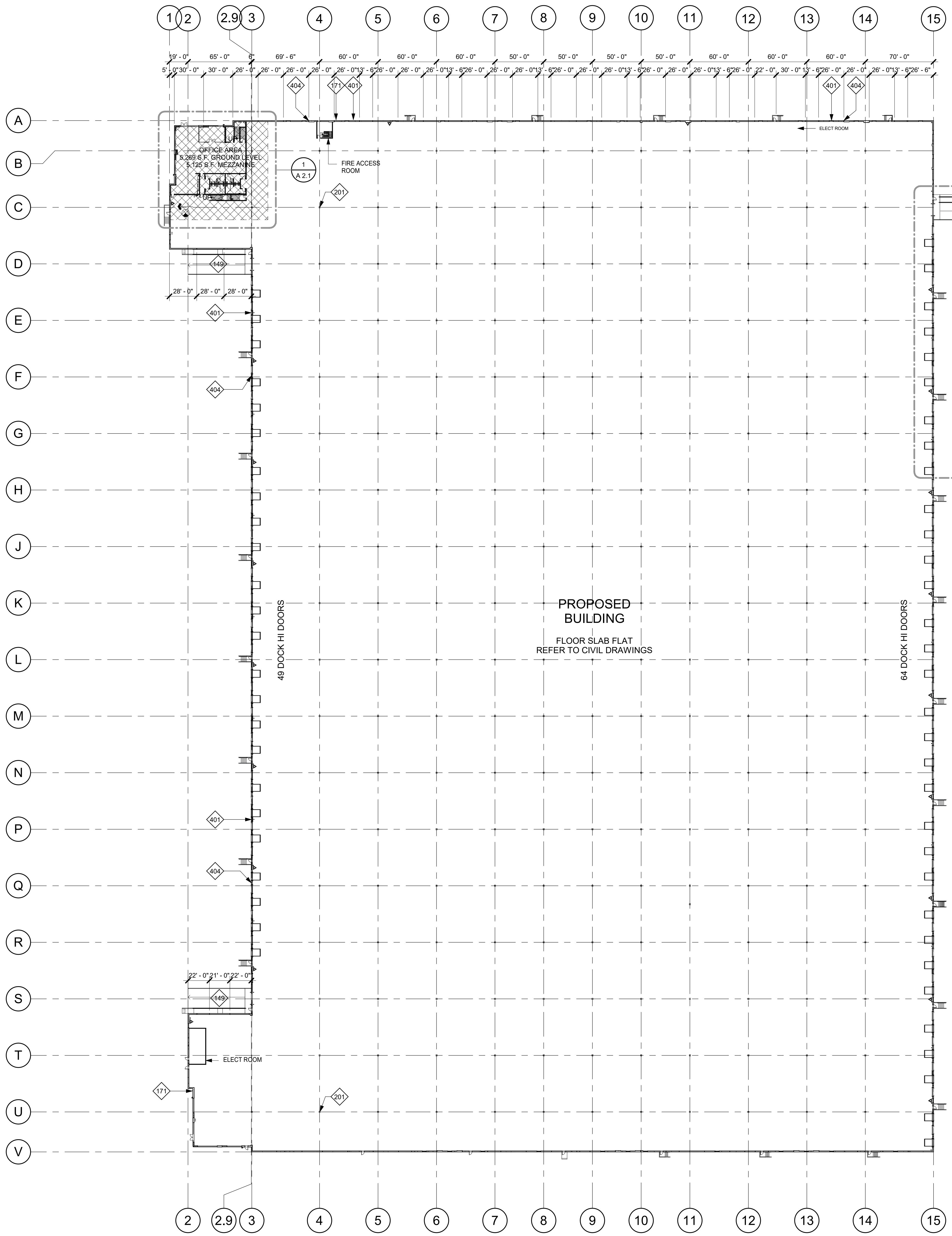
FLOOR PLAN LEGEND	
	EXTERIOR CONCRETE TILT-UP WALL PANEL OR INTERIOR CONCRETE TILT-UP MEZZANINE SHEAR WALL PANEL. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
	STOREFRONT GLAZING SYSTEM. SEE ENLARGED FLOOR PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
	METAL STUD NON-BEARING PARTITION WALL. SEE ENLARGED FLOOR PLANS & WALL TYPE SCHEDULE FOR ADDITIONAL INFORMATION.
	WOOD STUD BEARING WALL. SEE ENLARGED FLOOR PLANS & WALL TYPE SCHEDULE FOR ADDITIONAL INFORMATION.
	STRUCTURAL BUILDING COLUMNS.
	PROVIDE VAPOR BARRIER UNDER PROPOSED AND/OR FUTURE OFFICE AREA FLOOR SLAB. EXTEND MIN 40'-0" BEYOND T.I. AREA OR AS DIMENSIONED ON THE FLOOR PLAN. SEE 4/AD1.0.
	FIRE SPRINKLER RISER. SEE FIRE PROTECTION PLANS AND 7/AD5.0.
	DOOR TAG. SEE SHEET A8.0 FOR DOOR SCHEDULE.
	WINDOW TAG. SEE SHEET A8.0 FOR WINDOW SCHEDULE.
	STOREFRONT TAG. SEE SHEETS A8.0.1 & A8.0.2 FOR STOREFRONT SCHEDULE.
	WALL TAG.

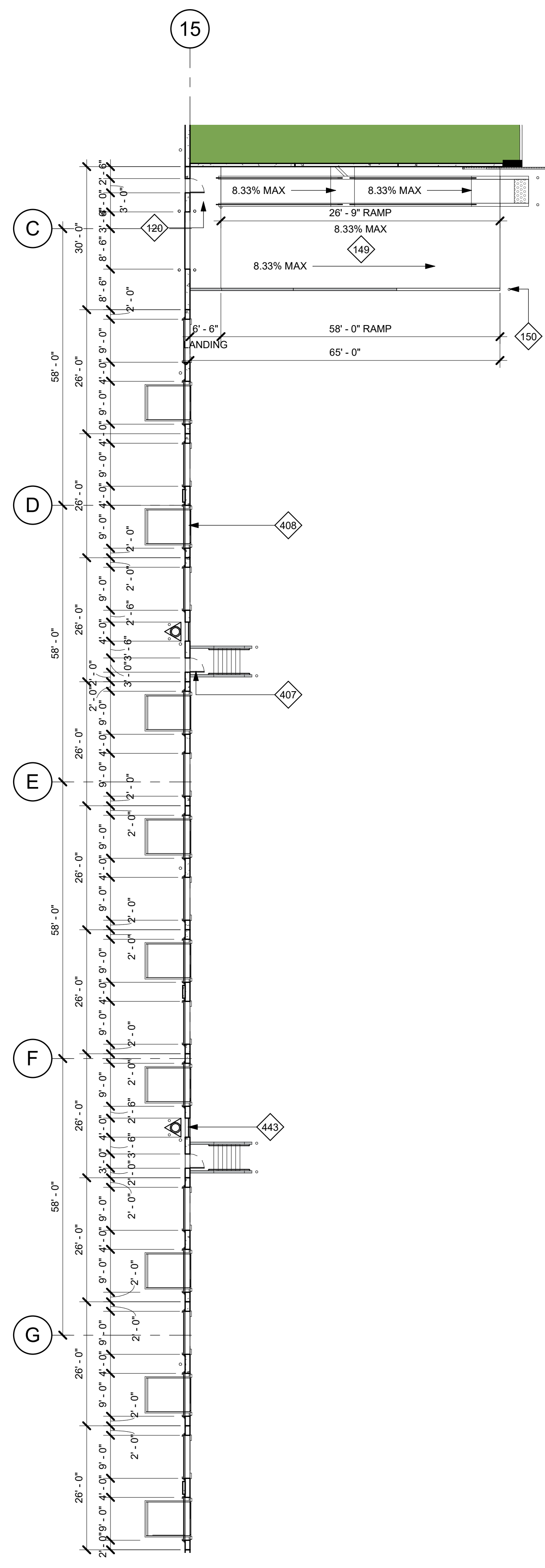
FLOOR SLAB GENERAL NOTES	
1.	THE FLOOR SLAB THICKNESS TO BE 8". SEE STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
2.	THE FLOOR SLAB TO BE CLASS V PER ACI 302-1R-04 TABLE 21.
3.	THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER WHETHER OR NOT TO PROVIDE JOINT FILLER AT FLOOR SLAB CONTROL AND CONSTRUCTION JOINTS.
4.	SLOPE POUR STRIPS @ EXTERIOR PEDESTRIAN AND OVERHEAD DOORS. SEE S, 7, & 10/AD4.1.
5.	CRANES, CONCRETE TRUCKS, AND SIMILAR HEAVY EQUIPMENT ARE PROHIBITED ON THE FLOOR SLAB DURING CONSTRUCTION.
6.	BELOW FLOOR SLAB SOIL COMPACTION TO BE 95% MIN.
7.	TRENCH SOIL COMPACTION TO BE 90% MIN.
8.	SLAB FINISH TO BE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
9.	THE GENERAL CONTRACTOR TO MAINTAIN A CLEAN FLOOR SLAB. ALL TRUCKS AND EQUIPMENT TO BE DIAPERED.
10.	ALL CONSTRUCTION MARKINGS SHALL BE REMOVED FROM THE FLOOR SLAB PRIOR TO SEALING.
11.	SEE 6/AD2.1 FOR SLAB PATCHING DETAIL.
12.	PROVIDE 10'-0" WIDE PERIMETER FLOOR POUR-STRIPS AT ALL TRUCK DOCK WALLS AND 5'-0" WIDE AT ALL OTHER WALLS UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS. NO UNDERGROUND PIPING, CONDUITS, ETC ALLOWED IN POUR-STRIPS AT DOCK DOORS TO ALLOW FOR CURRENT OR FUTURE RECESSED DOCK LEVELERS.
13.	ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES TO BE FILLED WITH APPROVED 2-PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. PEGA BOND LV 2000, BURKE EPOXY INJECTION RESIN OR -
14.	ALL FLOOR SLAB PANEL FORM NAIL HOLES TO BE PREDRILLED AND WOOD DOWELED PRIOR TO NAILING. BRACE HOLES TO BE PREDRILLED.
15.	CHAMFER AND REVEAL STRIPS ATTACHED TO THE FLOOR SLAB MUST BE PROPERLY PATCHED PRIOR TO SEALING THE FLOOR SLAB.

FLOOR PLAN GENERAL NOTES	
1.	WHERE A MEZZANINE OCCURS AND A 1" TOPPING IS CALLED OUT FOR IN THE STRUCTURAL DRAWINGS, PROVIDE A 1" THICK TOPPING OF GYP-CRETE 2000 WITH A MINIMUM STRENGTH OF 2,500 PSI.
2.	PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT AND THE CBC/FCR REQUIREMENTS AND LOCATIONS TO BE DETERMINED IN THE FIELD BY THE FIRE DEPARTMENT INSPECTOR.
3.	ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS SHALL BE SEALED WITH APPROVED FIRE CAULKING. SEE SHTS AD2.3, & AD2.4.
4.	U.O.N., ALL DIMENSIONS TO CONCRETE WALLS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL FINISH.
5.	PROVIDE ILLUMINATED AND TACTILE EXIT SIGNAGE. SEE EXITING & SIGNAGE PLANS.
6.	SEE CIVIL DRAWINGS FOR ALL UTILITY POINTS OF CONNECTION. GENERAL CONTRACTOR TO VERIFY LOCATIONS.
7.	PROVIDE PIPE BOLLARD PROTECTION POSTS @ FIRE RISERS & ELECTRICAL GEAR AS REQUIRED BY THE ELECTRICAL AND FIRE PROTECTION PLANS. SEE 7/AD5.0 FOR ADDITIONAL INFORMATION.
8.	FOR REQUIRED LANDINGS @ ACCESSIBLE DOORS, SEE 11/AD2.1.
9.	NO SMOKING IS ALLOWED WITHIN 25' OF ALL BUILDING ENTRANCES, PER GREEN BUILDING STANDARD CODE DIVISION 5.504.7. POST REQUIRED SIGNAGE.
10.	U.O.N @ INTERIOR PARTITIONS, FINISHED HINGE SIDE OF JAMB TO BE 6" FROM FINISHED SURFACE OF INTERSECTING WALL.

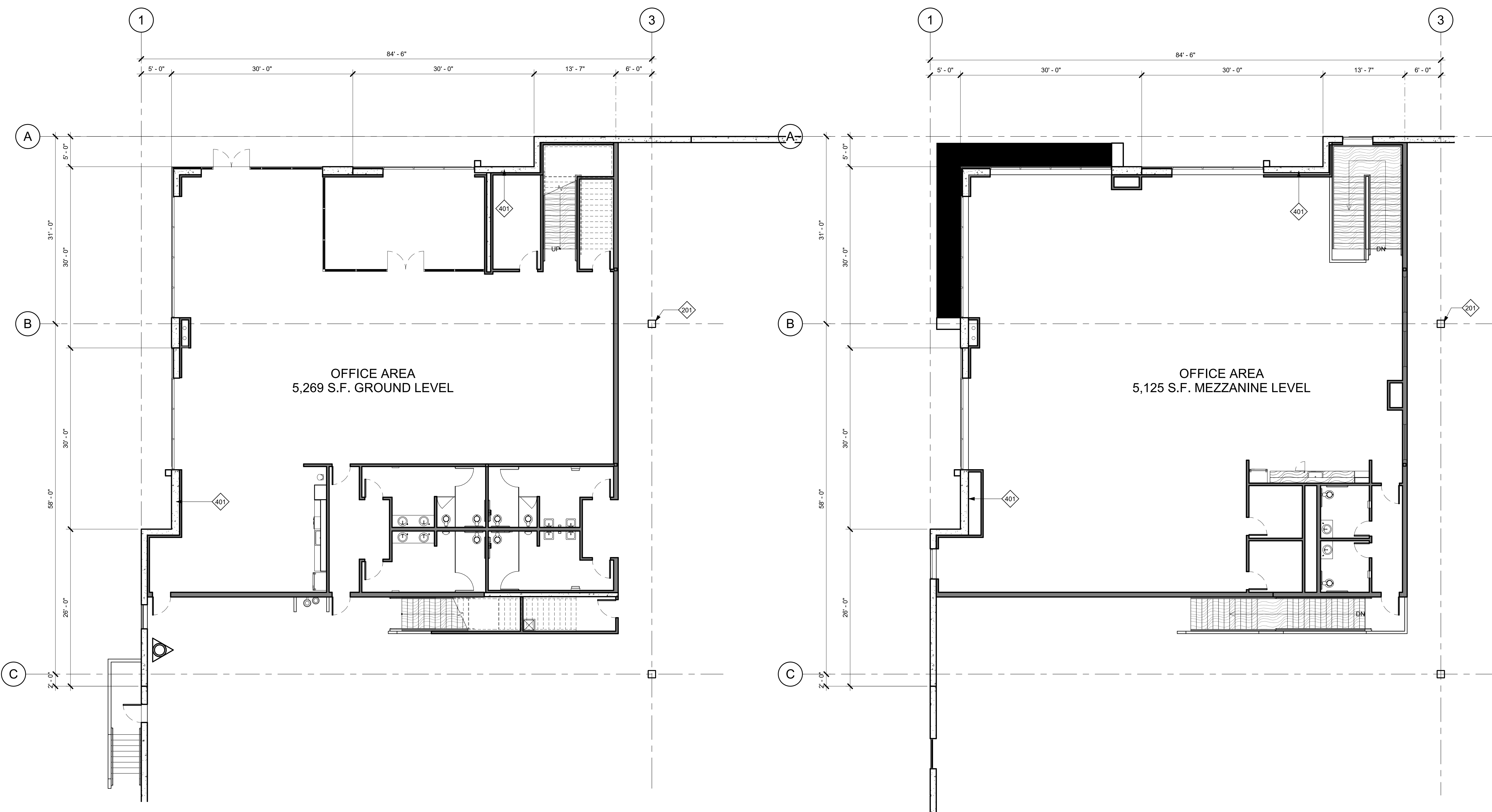


1 PROPOSED FLOOR PLAN  
1" = 50'-0"



2 TYPICAL DOCK DOOR SPACING  
1/16" = 1'-0"

<b>KEYNOTES</b> 201 STRUCTURAL BUILDING COLUMN. 401 PAINTED CONCRETE TILT-UP WALL PANEL.	
<b>FLOOR PLAN LEGEND</b>	
	EXTERIOR CONCRETE TILT-UP WALL PANEL OR INTERIOR CONCRETE TILT-UP MEZZANINE SHEAR WALL PANEL. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
	STOREFRONT GLAZING SYSTEM. SEE ENLARGED FLOOR PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
	METAL STUD NON-BEARING PARTITION WALL. SEE ENLARGED FLOOR PLANS & WALL TYPE SCHEDULE FOR ADDITIONAL INFORMATION.
	WOOD STUD BEARING WALL. SEE ENLARGED FLOOR PLANS & WALL TYPE SCHEDULE FOR ADDITIONAL INFORMATION.
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	PROVIDE VAPOR BARRIER UNDER PROPOSED AND/OR FUTURE OFFICE AREA FLOOR SLAB. EXTEND MIN 40'-0" BEYOND T.I. AREA OR AS DIMENSIONED ON THE FLOOR PLAN. SEE 4/AD1.0.
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	DOOR TAG. SEE SHEET A8.0 FOR DOOR SCHEDULE.
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	WALL TAG.
<b>FLOOR SLAB GENERAL NOTES</b>	
1. THE FLOOR SLAB THICKNESS TO BE 8". SEE STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS. 2. THE FLOOR SLAB TO BE CLASS V PER ACI 302-1R-04 TABLE 21. 3. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER WHETHER OR NOT TO PROVIDE JOINT FILLER AT FLOOR SLAB CONTROL AND CONSTRUCTION JOINTS. 4. SLOPE POUR STRIPS @ EXTERIOR PEDESTRIAN AND OVERHEAD DOORS. SEE 5.7 & 10/AD4.1. 5. CRANES, CONCRETE TRUCKS, AND SIMILAR HEAVY EQUIPMENT ARE PROHIBITED ON THE FLOOR SLAB DURING CONSTRUCTION. 6. BELOW FLOOR SLAB SOIL COMPACTION TO BE 95% MIN. 7. TRENCH SOIL COMPACTION TO BE 90% MIN. 8. SLAB FINISH TO BE STEEL FLOAT HARD TROWEL BURNISHED FINISH. 9. THE GENERAL CONTRACTOR TO MAINTAIN A CLEAN FLOOR SLAB. ALL TRUCKS AND EQUIPMENT TO BE DIAPERED. 10. ALL CONSTRUCTION MARKINGS SHALL BE REMOVED FROM THE FLOOR SLAB PRIOR TO SEALING. 11. SEE 8/AD2.1 FOR SLAB PATCHING DETAIL. 12. PROVIDE 10'-0" WIDE PERIMETER FLOOR POUR-STRIPS AT ALL TRUCK DOCK WALLS AND 5'-0" WIDE AT ALL OTHER WALLS UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS. NO UNDERGROUND PIPING, CONDUITS, ETC ALLOWED IN POUR-STRIPS AT DOCK DOORS TO ALLOW FOR CURRENT OR FUTURE RECESSED DOCK LEVELERS. 13. ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES TO BE FILLED WITH APPROVED 2-PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. PEGA BOND LV 2000, BURKE EPOXY INJECTION RESIN OR = 14. ALL FLOOR SLAB PANEL FORM NAIL HOLES TO BE PREDRILLED AND WOOD DOWELED PRIOR TO NAILING. BRACE HOLES TO BE PREDRILLED. 15. CHAMFER AND REVEAL STRIPS ATTACHED TO THE FLOOR SLAB MUST BE PROPERLY PATCHED PRIOR TO SEALING THE FLOOR SLAB.	
<b>FLOOR PLAN GENERAL NOTES</b>	
1. WHERE A MEZZANINE OCCURS AND A 1" TOPPING IS CALLED OUT FOR IN THE STRUCTURAL DRAWINGS, PROVIDE A 1" THICK TOPPING OF GYP-CRETE 2000 WITH A MINIMUM STRENGTH OF 2,500 PSI. 2. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT AND THE CBC/CFC. REQUIREMENTS AND LOCATIONS TO BE DETERMINED IN THE FIELD BY THE FIRE DEPARTMENT INSPECTOR. 3. ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS SHALL BE SEALED WITH APPROVED FIRE CAULKING. SEE SHTS AD2.3 & AD2.4. U.O.N. ALL DIMENSIONS TO CONCRETE WALLS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL FINISH. 5. PROVIDE ILLUMINATED AND TACTILE EXIT SIGNAGE. SEE EXITING & SIGNAGE PLANS. 6. SEE CIVIL DRAWINGS FOR ALL UTILITY POINTS OF CONNECTION. GENERAL CONTRACTOR TO VERIFY LOCATIONS. 7. PROVIDE PIPE BOLLARD PROTECTION POSTS @ FIRE RISERS & ELECTRICAL GEAR AS REQUIRED BY THE ELECTRICAL AND FIRE PROTECTION PLANS. SEE 7/AD5.0 FOR ADDITIONAL INFORMATION. 8. FOR REQUIRED LANDINGS @ ACCESSIBLE DOORS, SEE 11/AD2.1. 9. NO SMOKING IS ALLOWED WITHIN 25' OF ALL BUILDING ENTRANCES, PER GREEN BUILDING STANDARD CODE DIVISION 5.504.7. POST REQUIRED SIGNAGE. 10. U.O.N @ INTERIOR PARTITIONS. FINISHED HINGE SIDE OF JAMB TO BE 6" FROM FINISHED SURFACE OF INTERSECTING WALL.	



1 ENLARGED GROUND LEVEL NORTHWEST OFFICE PLAN  
1/8" = 1'-0"

2 ENLARGED MEZZANINE LEVEL NORTHWEST OFFICE PLAN  
1/8" = 1'-0"



HERDMAN  
ARCHITECTURE + DESIGN  
A21-2001  
07.21.2023

EXTERIOR  
ELEVATION

**KEYNOTES**

- 401 PAINTED CONCRETE TILT-UP WALL PANEL.
- 402 WALL REVEAL.
- 404 PANEL JOINT.
- 408 STEEL SECTIONAL OVERHEAD DOOR.
- 409 BUILDING ADDRESS NUMERALS PER FIRE DEPARTMENT AND/OR PLANNING DEPARTMENT REQUIREMENTS.
- 418 WALL MOUNTED LIGHT FIXTURE. CENTER IN WALL PANEL U.O.N.
- 419 DECORATIVE SOLID BROW WRAPPED IN ALUMINUM PANELS. NOMINAL 8" THKNS. MAX 24" PROJECTION FROM BUILDING.
- 420 DECORATIVE SOLID BROW WRAPPED IN ALUMINUM PANELS. NOMINAL 12" THKNS. MAX 48" PROJECTION FROM BUILDING.
- 422 DECORATIVE SOLID BROW WRAPPED IN ALUMINUM PANELS. NOMINAL 12" THKNS. MAX 48" PROJECTION FROM BUILDING.
- 437 DOCK BUMPER.

**GLAZING LEGEND & NOTES**

**STOREFRONT FRAMING:**  
U.O.N @ VISION SYSTEM, MIN 2"x4 1/2" OFFSET SYSTEM, U.O.N @ SPANDREL SYSTEM, 2"x1 3/4" OFFSET SYSTEM. STOREFRONT SYSTEM TO BE DESIGN BUILT BY THE GENERAL CONTRACTOR. DESIGN SHALL COMPLY WITH ALL RELEVANT CODE & WIND LOADING REQUIREMENTS.

**VISION SYSTEM GLAZING:**  
FOR EXTERIOR VISION GLAZING USE 1" INSULATED GLASS CONSISTING OF AN OUTER LAYER OF 1/4" VISTACOL AND AN INNER LAYER OF 1/4" SOLARBAN 60. FOR INTERIOR GLAZING USE 1/2" CLEAR GLASS.

**SPANDREL SYSTEM GLAZING:**  
FOR EXTERIOR SPANDREL GLAZING USE 1/4" VISTACOL. BACK PAINTING OF GLASS NOT REQUIRED.

**NOTES:**

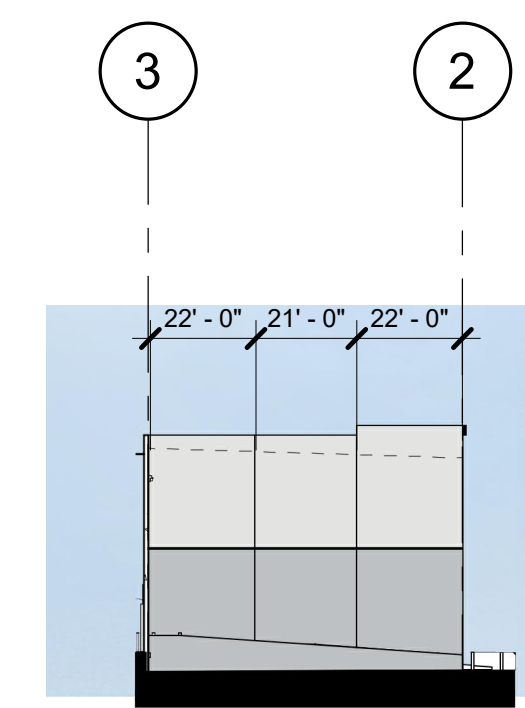
1. FOR GLASS AND MULLION COLORS, SEE EXTERIOR COLORS, LEGEND & NOTES, THIS SHEET.
2. PROVIDE TEMPERED GLASS @ THE FOLLOWING:
  - A. ALL SPANDREL SYSTEM GLAZING IN FRONT OF CONCRETE WALL PANELS.
  - B. ALL GLAZING WITHIN 18" OF AN ADJACENT WALKING SURFACE.
  - C. ALL GLAZING WITH 24" OF ANY PORTION OF A DOOR @ SPANDREL SYSTEM GLAZING IN FRONT OF CONCRETE WALL PANELS. PROVIDE 1" DIA. VENTILATION HOLES IN THE CONCRETE A MAX OF 5" O.C. CONTRACTOR TO PROVIDE A SMOOTH FINISH ON THE GLASS FACING CONCRETE SURFACES AND TO PAINT THEM IN A COLOR SELECTED BY THE ARCHITECT.
  - 4. @ SPANDREL SYSTEM GLAZING NOT IN FRONT OF A CONCRETE WALL PANEL, PROVIDE TENCATE MIRAFI 140N FILTER FABRIC SHADE CLOTH.

**EXTERIOR WALL COLOR LEGEND & NOTES**

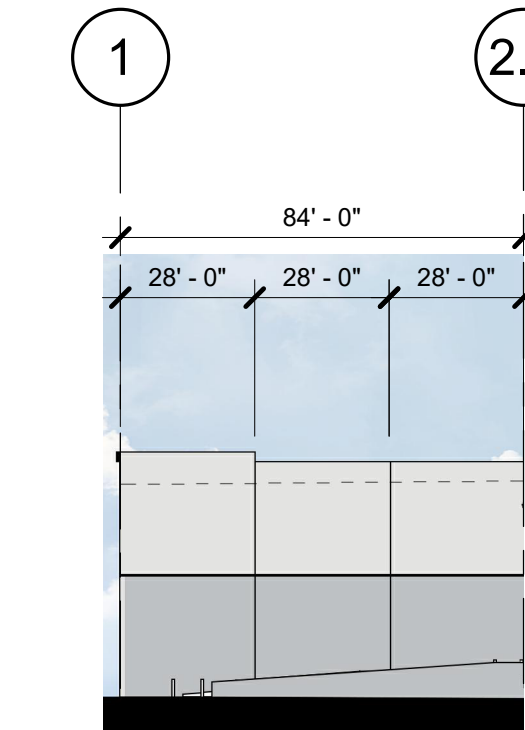
- (A) EXTERIOR PAINT COLOR: SW 7005 PURE WHITE
- (B) EXTERIOR PAINT COLOR: SW 6252 ICE CUBE
- (C) EXTERIOR PAINT COLOR: SW 6254 LAZY GRAY
- (D) EXTERIOR PAINT COLOR: SW 7089 IRON ORE
- (E) CONCRETE FORMLINER COLOR (B): SW 7650 ELLIE GRAY
- (F) ACM PANEL COLOR: MATCH STOREFRONT FRAMING
- (G) EXPOSED STEEL BROW & CANOPY FRAMING & TRASH ENCLOSURE ROOF PAINT COLOR: MATCH STOREFRONT FRAMING.
- (H) EXTERIOR STOREFRONT FRAMING COLOR: BLACK ANODIZED ALUMINUM
- (I) EXTERIOR GLASS COLOR FOR SINGLE GLAZING & EXTERIOR LAYER OF INSULATED GLASS: SOLARCOOL, SOLARGRAY, SOLARBAN 60
- (J) EXTERIOR GLASS COLOR FOR THE INNER LAYER OF INSULATED GLASS: CLEAR GLASS

**NOTES:**

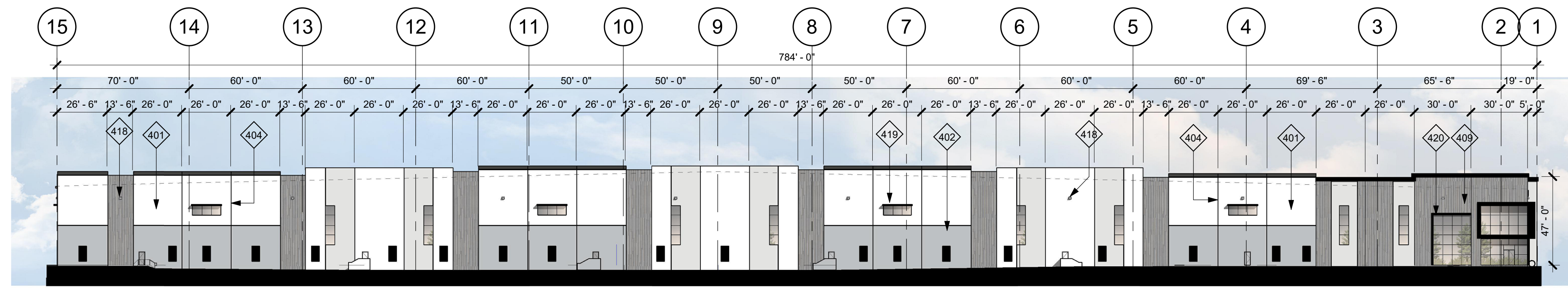
1. PAINT MAN DOORS, STAIR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS, & LOUVERS TO MATCH ADJACENT BUILDING WALL COLOR. U.O.N.
2. U.O.N. EXTERIOR SIDE OF TRUCK DOORS TO BE PRE-FINISHED TO MATCH ADJACENT BUILDING WALL COLOR. INTERIOR SIDE TO BE PRE-FINISHED WITH MANUFACTURER'S LIGHT GRAY.
3. POWER WASH EXTERIOR CONCRETE WALLS. PRIOR TO PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDE THE PRIMER COAT FROM ADHERING TO THE WALLS.
4. PAINT EXTERIOR WALLS W/ 1-COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2-COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. ALL PAINTS TO BE AS SPECIFIED BY THE MANUFACTURER FOR CONCRETE TILT UP WALL PANELS. FINISHED JOB SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS OF THE COLOR.
5. EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CAULKED PER DETAIL 1/ADA.1.
6. PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE COLOR OF THE TRELLIS.
7. @ SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW, PAINT THE EXPOSED WALL CHAMFER JUST ABOVE OR BELOW THE BROW TO MATCH THE BROW COLOR.



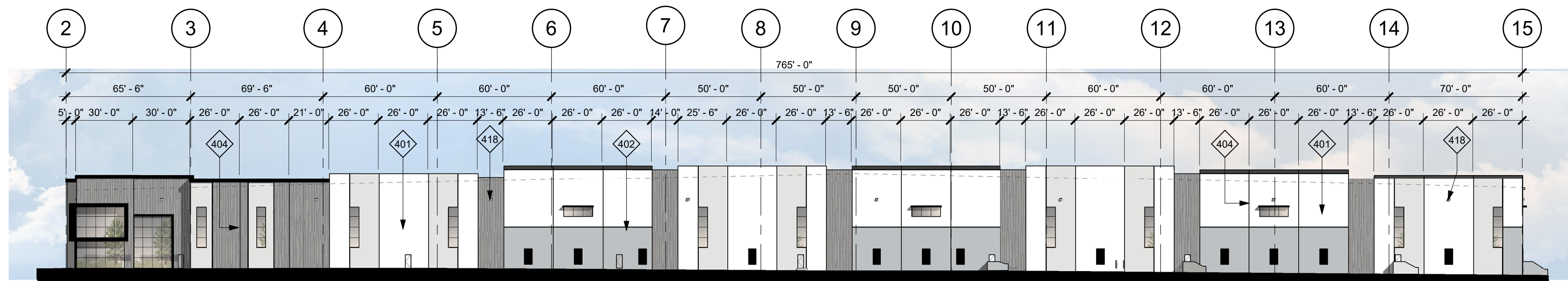
5 DOCK SIDE RETURN ELEVATION  
1" = 40'-0"



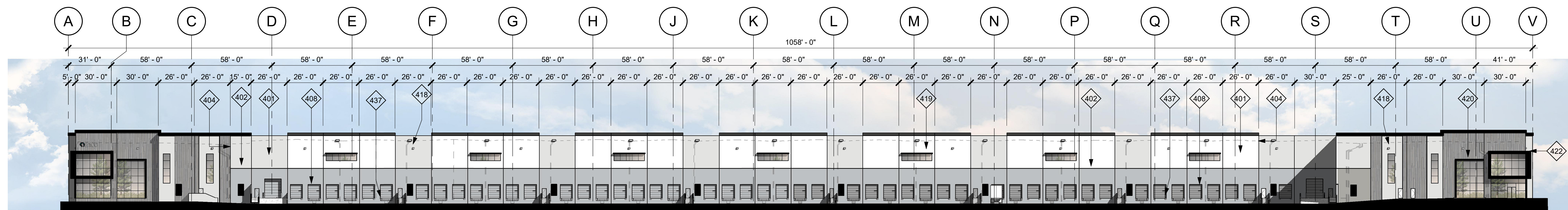
6 DOCK SIDE RETURN ELEVATION  
1" = 40'-0"



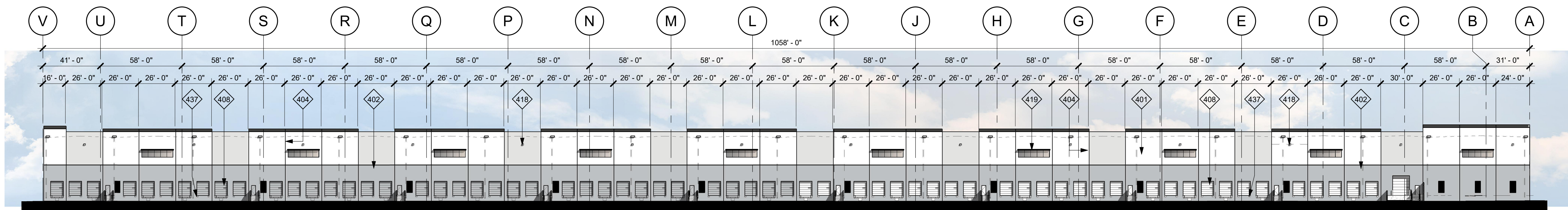
1 NORTH ELEVATION  
1" = 40'-0"



2 SOUTH ELEVATION  
1" = 40'-0"



3 WEST ELEVATION  
1" = 40'-0"



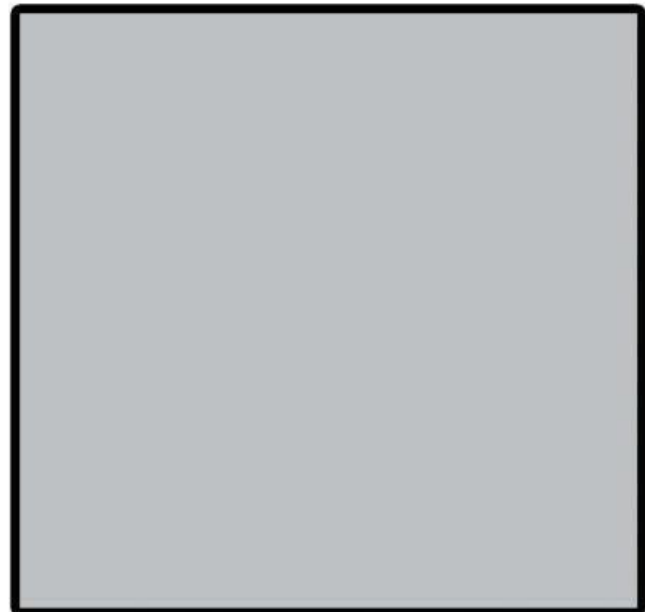

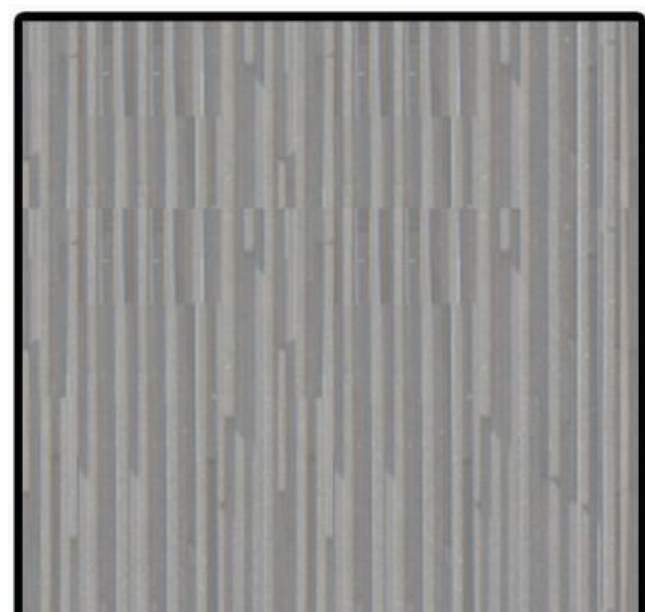

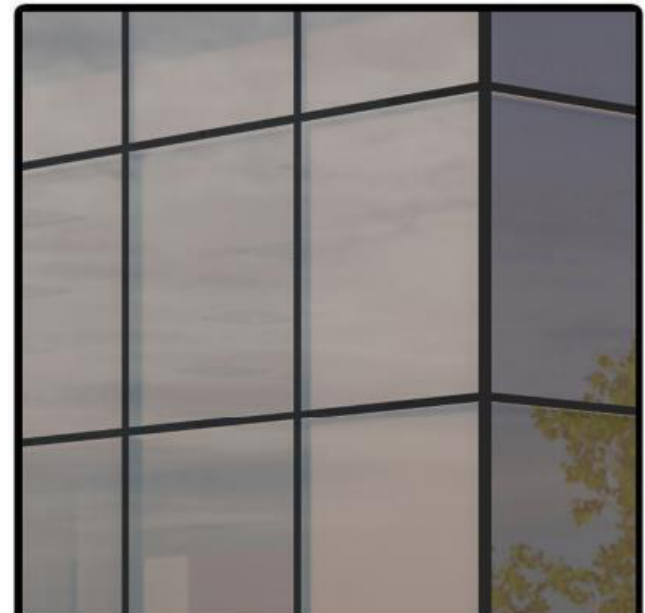


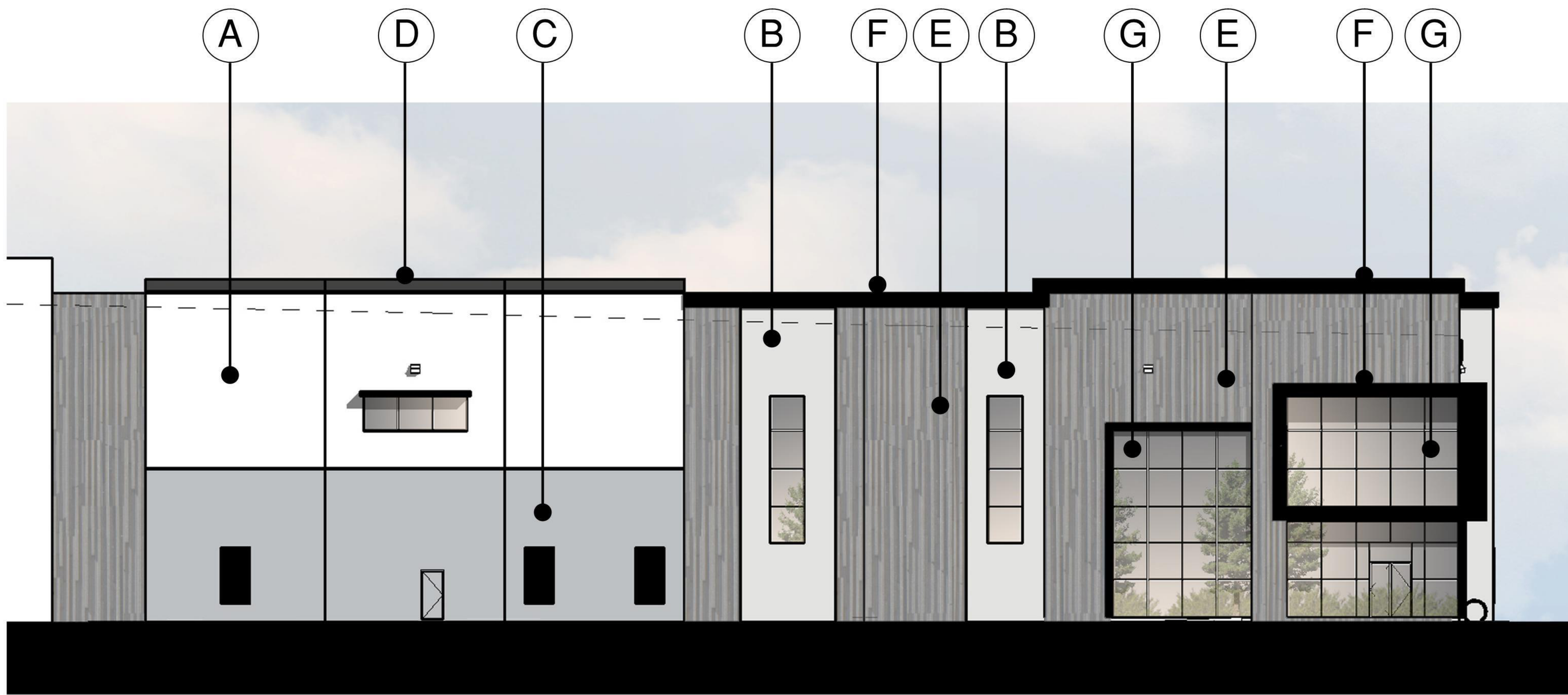
4 EAST ELEVATION  
1" = 40'-0"



HERDMAN  
ARCHITECTURE + DESIGN  
A21-2001  
07.21.2023

MATERIAL  
BOARD

-  PAINTED CONCRETE PANEL  
A. SW 7005  
PURE WHITE
-  PAINTED CONCRETE PANEL  
B. SW 6252  
ICE CUBE
-  PAINTED CONCRETE PANEL  
C. SW 6254  
LAZY GRAY
-  PAINTED CONCRETE PANEL  
D. SW 7069  
IRON ORE
-  CONCRETE  
FORMLINER  
SW 7650  
ELLIE GRAY
-  BLACK ANODIZED  
DECORATIVE METAL
-  STOREFRONT  
MEDIUM  
PERFORMANCE  
BRONZE REFLECTIVE  
GLAZING & BLACK  
ANODIZED MULLIONS



ENLARGED VIEW @ CORNER

**PROPERTY OWNERS:**

APN: 314-153-015 THROUGH 314-153-018  
 314-153-022 THROUGH 314-153-023  
 314-153-025 THROUGH 314-153-026  
**DUKE REALTY PATTERSON, LP**  
 PO BOX 40504  
 INDIANAPOLIS, IN 46240

APN: 314-153-032  
**LILLY E. DENG**  
 46 GLENWOOD RD  
 ROSLYN HARBOR, NY 11576

APN: 314-153-031  
**MELANIE A. CONNELL**  
 570 TERRA PLAZA SUITE 106  
 COVINA, CA 91723

APN: 314-153-019 THROUGH -021  
**ROBERT & JOAN GIBBEL**  
 1274 BERNITA RD  
 EL CAJON, CA 92020

APN: 314-153-032  
**GEORFFREY BONNYCASTLE**  
 & JIA LU  
 1274 BERNITA RD  
 EL CAJON, CA 92020

APN: 314-153-044 &  
 314-153-046  
**BERNADITA PASCUAL**  
 14832 MELISSA LN  
 SANTA CLARITA, CA 91350

APN: 314-153-048  
**ELI ANDERSON & NICOLE**  
**SHEPPERD ANDERSON**  
 220 LEYDEN ST  
 DENVER, CO 80220

APN: 314-160-003 &  
 314-160-004  
**YONG PARK DAI**  
 3281 FRESTWICK LN  
 NORTHBROOK, IL 60062

APN: 314-160-005  
**CHIN HUNG & HAN HSU**  
 1421 SIERRA LINDA RD  
 IRVINE, CA 92603

APN: 314-160-006  
**GNA REALTY**  
 370 JEFFERSON ST  
 BROOKLYN, NY 11237

APN: 314-160-007  
**HSIU MEI YANG**  
 21202 CHOCKTAW DR  
 DIAMOND BAR, CA 91765

APN: 314-160-008  
**JIN & TOSHIKO YOKOTA**  
 4461 PASEO SEGOVIA  
 IRVINE, CA 92603

APN: 314-160-001  
**ROGER GIL**  
 33126 CHEYEBBE CIR  
 MENIFEE, CA 92584

APN: 314-160-010  
**FENG RUAN & WANG DI**  
 & GONDOLIERS BLUFF  
 NEWPORT COAST, CA 92657

APN: 314-160-011  
**ARMANDO & MARIA LOVERA**  
 830 SHIRAZ DR  
 HEMET, CA 92345

APN: 314-160-012  
**LORI HUANG & JIE ZHANG**  
 660 W LAMBERT RD  
 BREA, CA 92821

**APPLICANT:**

COMPANY: **DUKE REALTY CORPORATION**  
 CONTACT: **D.J. ARELLANO**  
 ADDRESS: 200 SPECTRUM CENTER DRIVE,  
 SUITE 1600 IRVINE, CA 92618  
 PHONE: (414) 741-1048

**ENGINEER:**

COMPANY: **ALBERT A. WEBB ASSOCIATES**  
 CONTACT: **SARAH KOHALSKI**  
 ADDRESS: 3788 MCGRAY ST  
 RIVERSIDE, CA 92506  
 PHONE: (951) 686-1070

**A.P.N.:**

314-153-015 THROUGH 314-153-040,  
 314-153-042, 314-153-044, 314-153-046,  
 314-153-048, &  
 314-160-003 THROUGH 314-160-012

**LEGAL DESCRIPTION:**

LOTS 11 THROUGH 20 IN BLOCK "A" OF GOLDEN VALLEY FARMS, IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, TOGETHER WITH PORTIONS OF CALIFORNIA STREET THAT WOULD PASS WITH A CONVEYANCE OF SAID LOTS, AS PER MAP RECORDED IN BOOK 14, PAGE 78 OF MAPS, RECORDS OF RIVERSIDE COUNTY.

LOTS 1 THROUGH 20, BLOCK D OF GOLDEN VALLEY FARMS, IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, TOGETHER WITH PORTIONS OF CALIFORNIA STREET THAT WOULD PASS WITH A CONVEYANCE OF SAID LOTS, AS PER MAP RECORDED IN BOOK 14, PAGE 78 OF MAPS, RECORDS OF RIVERSIDE COUNTY.

LOT 1 IN BLOCK E TOGETHER WITH LOT 2 IN BLOCK E AS SHOWN BY MAP UNIT 1 OF GOLDEN VALLEY FARMS, AS SHOWN IN BOOK 14, PAGE 78 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, TOGETHER WITH THAT PORTION OF LOT 1 (ARIZONA STREET) VACATED PER INSTRUMENT NO. 2020-0226420, RECORDED MAY 28, 2020, RECORDS OF RIVERSIDE COUNTY, STATE OF CALIFORNIA.

LOTS 3 THROUGH 8, BLOCK E OF GOLDEN VALLEY FARMS, IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, TOGETHER WITH PORTIONS OF NANCE STREET AND ARIZONA STREET THAT WOULD PASS WITH A CONVEYANCE OF SAID LOTS, AS PER MAP RECORDED IN BOOK 14, PAGE 78 OF MAPS, RECORDS OF RIVERSIDE COUNTY.

PARCEL 9, BLOCK E, UNIT 1 OF GOLDEN VALLEY FARMS, AS SHOWN BY MAP ON FILE IN BOOK 14, PAGE 78 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.

LOT 10 IN BLOCK E OF GOLDEN VALLEY FARMS, IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, TOGETHER WITH PORTIONS OF NANCE STREET AND NEVADA AVENUE THAT WOULD PASS WITH A CONVEYANCE OF SAID LOTS, AS PER MAP RECORDED IN BOOK 14, PAGE 78 OF MAPS, RECORDS OF RIVERSIDE COUNTY.

REFER TO TITLE REPORT FOR A MORE DETAILED DESCRIPTION.

**LAND USE:**

EXISTING/PROPOSED ZONING: 6I AND LI  
 EXISTING/PROPOSED GENERAL PLAN USE: 6I AND LI  
 EXISTING LAND USE: VACANT  
 PROPOSED LAND USE: WAREHOUSE DISTRIBUTION

**UTILITY COMPANIES:**

WATER: EASTERN MUNICIPAL WATER DISTRICT  
 PHONE: (800) 426-3643  
 SEWER: EASTERN MUNICIPAL WATER DISTRICT  
 PHONE: (800) 426-3643  
 ELECTRIC: SOUTHERN CALIFORNIA EDISON COMPANY  
 PHONE: (800) 684-9123  
 TELEPHONE: CHARTER COMMUNICATIONS  
 PHONE: (833) 694-4254  
 GAS: SOUTHERN CALIFORNIA GAS COMPANY  
 PHONE: (800) 427-2200  
 SCHOOL: VAL VERDE UNIFIED SCHOOL DISTRICT  
 PHONE: (951) 940-6100

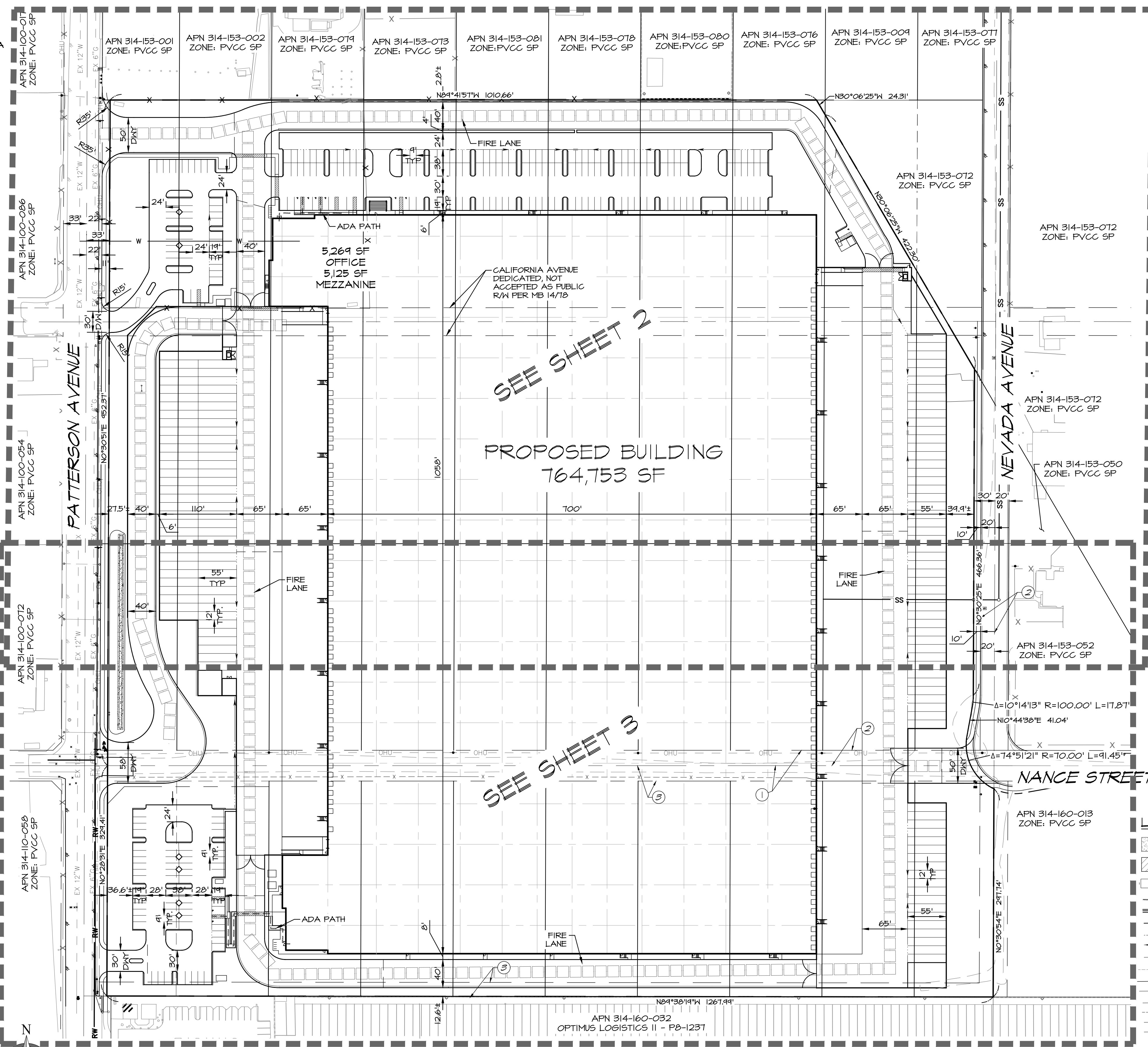
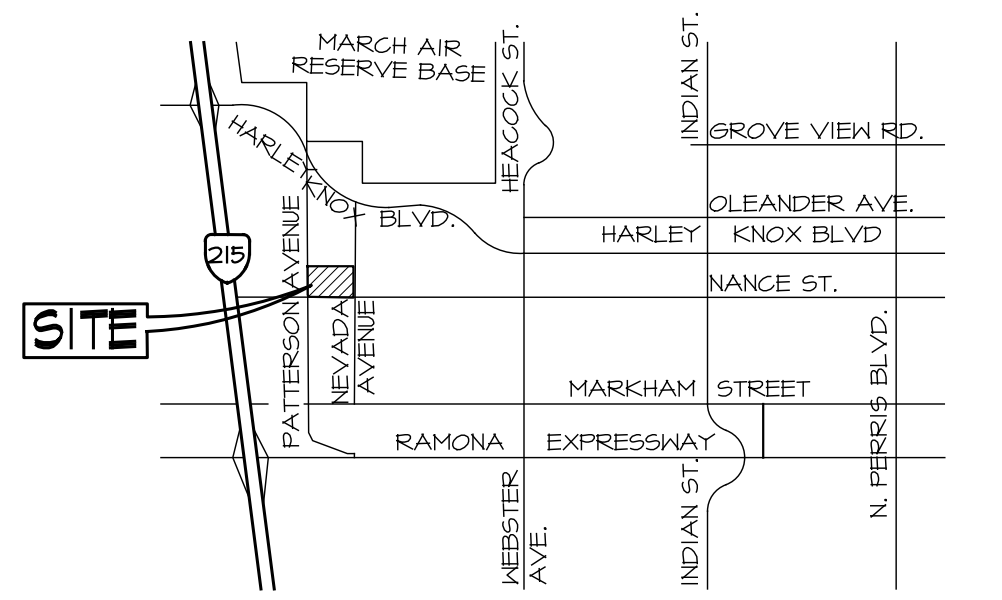
**NOTES:**

- 2005 THOMAS BROTHERS MAP; PAGE 747, GRID D-7 & E-7.
- THIS AREA IS SUBJECT TO LOW LIQUEFACTION AND IS SUSCEPTIBLE TO SUBSIDENCE.
- THIS AREA IS WITHIN THE PERRIS VALLEY COMMERCE CENTER SPECIFIC PLAN (PVCC SP).
- THIS PROJECT IS NOT WITHIN A COMMUNITY SERVICES DISTRICT.
- THIS PROJECT IS WITHIN THE AIRPORT COMPATIBILITY ZONE B-2.
- FEMA COMMUNITY PANEL NO. 06065C1430H, ZONE X.
- ALL PARCELS WITHIN PROJECT BOUNDARY TO BE COMBINED VIA PARCEL MAP.

**EASEMENT NOTES**

- AN EASEMENT FOR INGRESS AND EGRESS OVER SAID LAND AND INCIDENTAL PURPOSES, RECORDED AS BOOK 14, PAGE 78 OF MAPS OF OFFICIAL RECORDS, IN FAVOR OF GOLDEN VALLEY FARMS.
- AN EASEMENT FOR PIPE LINE AND INCIDENTAL PURPOSES, RECORDED JUNE 28, 1974 AS INSTRUMENT NO. 135182 OF OFFICIAL RECORDS, IN FAVOR OF SOUTHERN CALIFORNIA GAS COMPANY.
- AN EASEMENT SHOWN OR DEDICATED ON THE MAP OF GOLDEN VALLEY FARMS RECORDED IN JULY 31, 1926 AND ON FILE IN BOOK 14, PAGE 78, OF TRACT MAPS, FOR NANCE STREET AND ARIZONA STREET AND INCIDENTAL PURPOSES; SAID OFFER OF DEDICATION WAS NOT ACCEPTED (OR WAS REJECTED).

# DEVELOPMENT PLAN REVIEW NO. 21-00005 DUKE REALTY - PATTERSON AVENUE & NANCE STREET CONCEPTUAL GRADING & DRAINAGE PLAN



**PROJECT DESCRIPTION**  
 DEVELOPMENT PLAN REVIEW FOR A DISTRIBUTION WAREHOUSE FACILITY CONSISTING OF 1 BUILDING TOTALING 764,753 SQUARE FEET ON 35.65± NET ACRES.

**PROJECT DATA**

ACREAGE		
GROSS SITE AREA:	1,474,805 S.F.	33.97 AC.
STREET DEDICATIONS:	(24,733 S.F.)	(0.68 AC.)
STREET VACATION:	102,376 S.F.	2.36 AC.
NET SITE AREA:	1,552,832 S.F.	35.65 AC.

BUILDING AREA		
GROUND FLOOR		
OFFICE	5,269 S.F.	
WAREHOUSE	754,354 S.F.	
SUB-TOTAL (GROUND FLOOR)	759,623 S.F.	
MEZZANINE OFFICE	5,125 S.F.	
TOTAL BUILDING AREA	764,753 S.F.	

LOT COVERAGE, PROPOSED:	51.1%	MAX. ALLOWED: 50.0%
-------------------------	-------	---------------------

<b>PARKING REQUIREMENTS</b>		
1ST. 20K @ 1/1,000 S.F.		20 STALLS
20K-40K @ 1/2,000 S.F.		10 STALLS
ABOVE 40K @ 1/3,000 S.F.		145 STALLS
TOTAL PARKING REQUIRED		175 STALLS

<b>REQUIRED PARKING BREAKDOWN</b>		
AUTO		
STANDARD		125 STALLS
STANDARD ACCESSIBLE ADA		6 STALLS
VAN ACCESSIBLE ADA		2 STALLS
FUTURE EVC STANDARD ACCESSIBLE		1 STALLS
FUTURE EVC VAN ACCESSIBLE		1 STALLS
FUTURE EVC AMBULATORY		1 STALLS
FUTURE EVC		32 STALLS
CLEAN AIR		7 STALLS
TOTAL AUTO:		175 STALLS

<b>PARKING PROVIDED</b>		
AUTO		
STANDARD		127 STALLS
STANDARD ACCESSIBLE ADA		7 STALLS
VAN ACCESSIBLE ADA		3 STALLS
INSTALLED EVC STANDARD ACCESSIBLE		4 STALLS
INSTALLED EVC VAN ACCESSIBLE		2 STALLS
INSTALLED EVC		4 STALLS
INSTALLED EVC AMBULATORY		4 STALLS
FUTURE EVC		124 STALLS
TOTAL AUTO:		215 STALLS

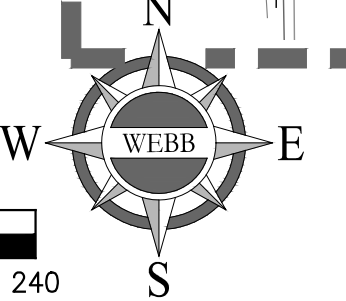
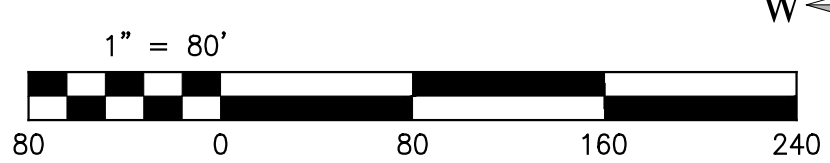
<b>TRAILER PARKING PROVIDED</b>		
		134 STALLS

<b>LANDSCAPED AREA</b>		
LANDSCAPED AREA REQUIRED:		14%
LANDSCAPED AREA PROVIDED:		13%
LANDSCAPED AREA PROVIDED:		202,134 S.F.

<b>EARTHWORK ESTIMATE:</b>		
CUT:	183,000 CY	
FILL:	154,500 CY	
SHRINKAGE:	(23,500) CY	
NET:	0 CY (BALANCED)	

**LEGEND**

[Symbol]	PROPOSED CONCRETE PAVEMENT	FF	FINISHED FLOOR
[Symbol]	PROPOSED LANDSCAPE AREA	F6	FINISHED GROUND
[Symbol]	FIRE ACCESS LANE	FS	FINISHED SURFACE
[Symbol]	ADA PATH OF TRAVEL	FL	FLOW LINE
[Symbol]	SCREEN WALL	FB	GRADE BREAK
[Symbol]	FENCE LINE	HP	HIGH POINT
[Symbol]	GRADEBREAK/RIDGELINE	IV	INVERT
[Symbol]	FLOWLINE	LS	LANDSCAPE AREA
[Symbol]	STORM DRAIN	LP	LOW POINT
[Symbol]	EXISTING CONTOURS	ML	MAXIMUM
[Symbol]	PROPOSED CONTOURS	PL	PROPERTY LINE
[Symbol]	EXISTING WATER LINE	R/W	RIGHT OF WAY
[Symbol]	EXISTING SEWER LINE	TYP	TYPICAL
[Symbol]	EXISTING STORM DRAIN	D/W	DRIVENWAY
[Symbol]	EXISTING GAS LINE	RL	RIDGELINE
[Symbol]	EXISTING ELECTRICAL LINE		



**INDEX MAP**

SCALE: 1" = 80'  
 DATE: 7/24/23  
 DESIGNED: CV  
 CHECKED: AS  
 PLN CK REF:  
 F.B.

**ALBERT A. WEBB ASSOCIATES**  
 ENGINEERING CONSULTANTS  
 3788 MCGRAY STREET  
 RIVERSIDE, CA 92506  
 PH. (951) 686-1070  
 FAX (951) 788-1256

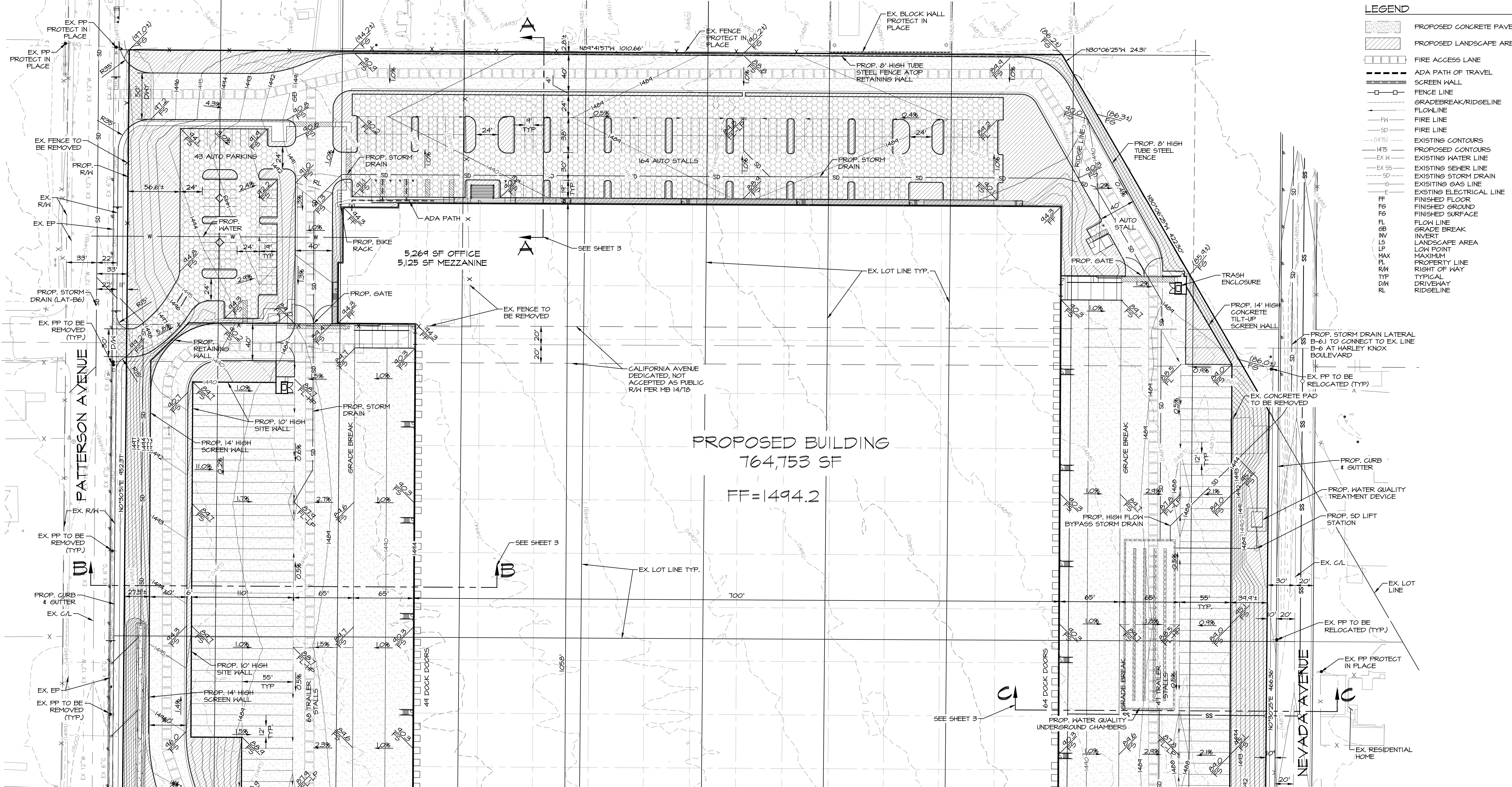
PLOT DATE: 7/24/2023

**CITY OF PERRIS**  
 DEVELOPMENT PLAN REVIEW NO. 21-00005

DUKE REALTY - PATTERSON AVE & NANCE ST

W.O. 20-0231  
 SHEET 1  
 OF 3 SHEETS  
 DWG. NO.

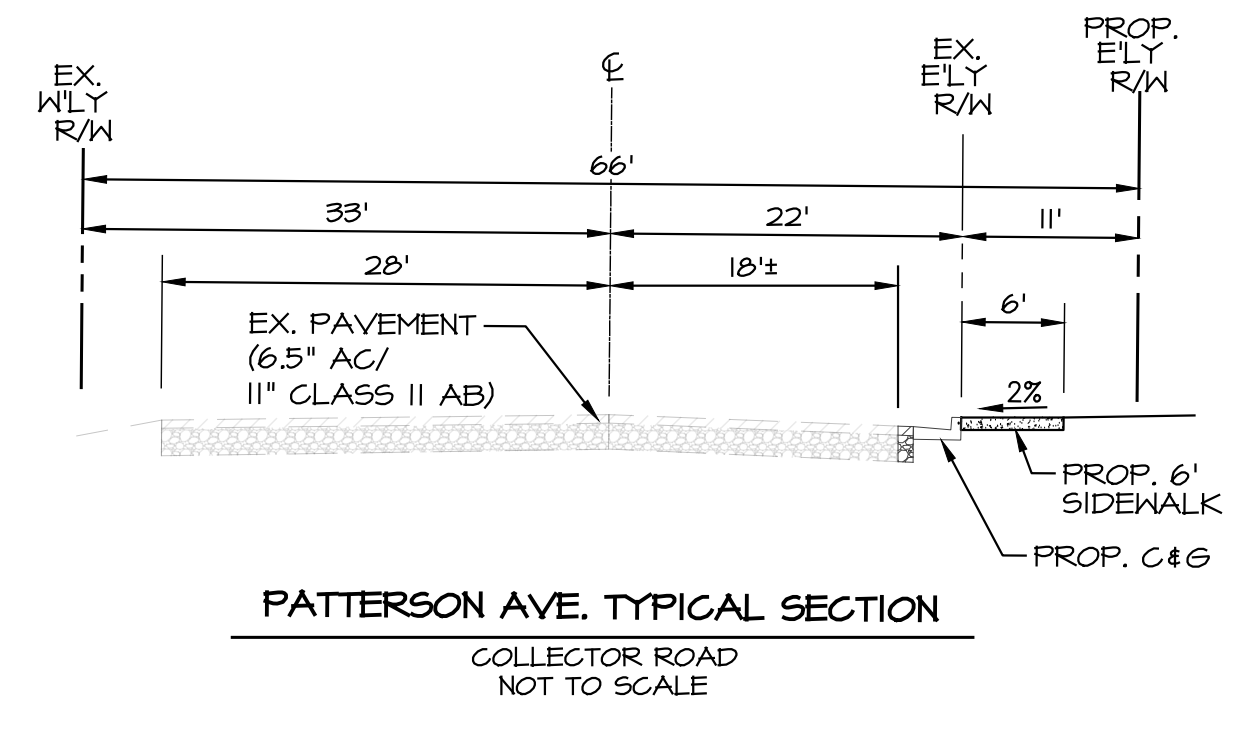
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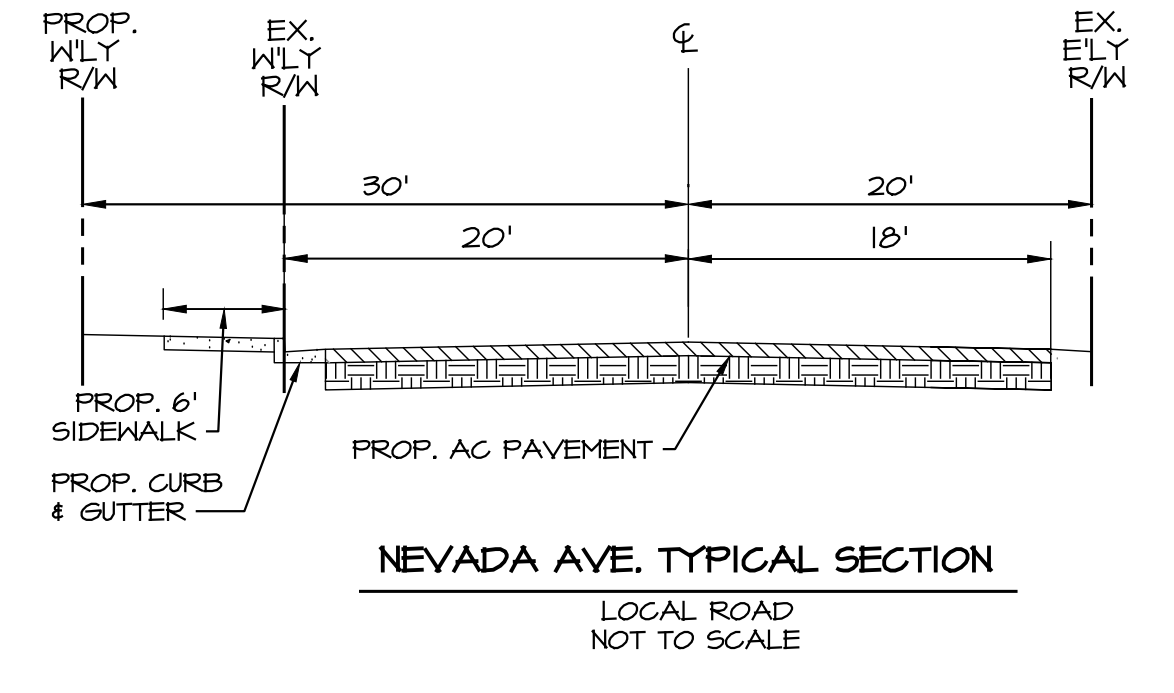
- LEGEND**
- PROPOSED CONCRETE PAVEMENT
  - PROPOSED LANDSCAPE AREA
  - FIRE ACCESS LANE
  - ADA PATH OF TRAVEL
  - SCREEN WALL
  - FENCE LINE
  - GRADEBREAK/RIDGELINE
  - FLOWLINE
  - FIRE LINE
  - FIRE LINE
  - FIRE LINE
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - EXISTING WATER LINE
  - EXISTING SEWER LINE
  - EXISTING STORM DRAIN
  - EXISTING GAS LINE
  - EXISTING ELECTRICAL LINE
  - FINISHED FLOOR
  - FINISHED GROUND
  - FINISHED SURFACE
  - FLOW LINE
  - GRADE BREAK
  - LANDSCAPE AREA
  - LOW POINT
  - MAXIMUM
  - PROPERTY LINE
  - RIGHT OF WAY
  - TYPICAL
  - DRIVEWAY
  - RIDGELINE

PROPOSED BUILDING  
764,753 SF  
FF=1494.2

SEE SHEET 3

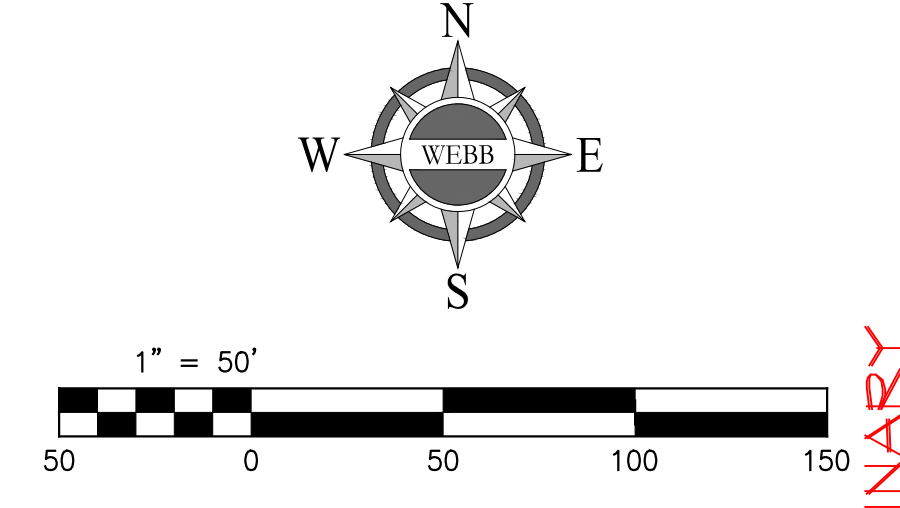


PATTERSON AVE. TYPICAL SECTION  
COLLECTOR ROAD  
NOT TO SCALE



NEVADA AVE. TYPICAL SECTION  
LOCAL ROAD  
NOT TO SCALE

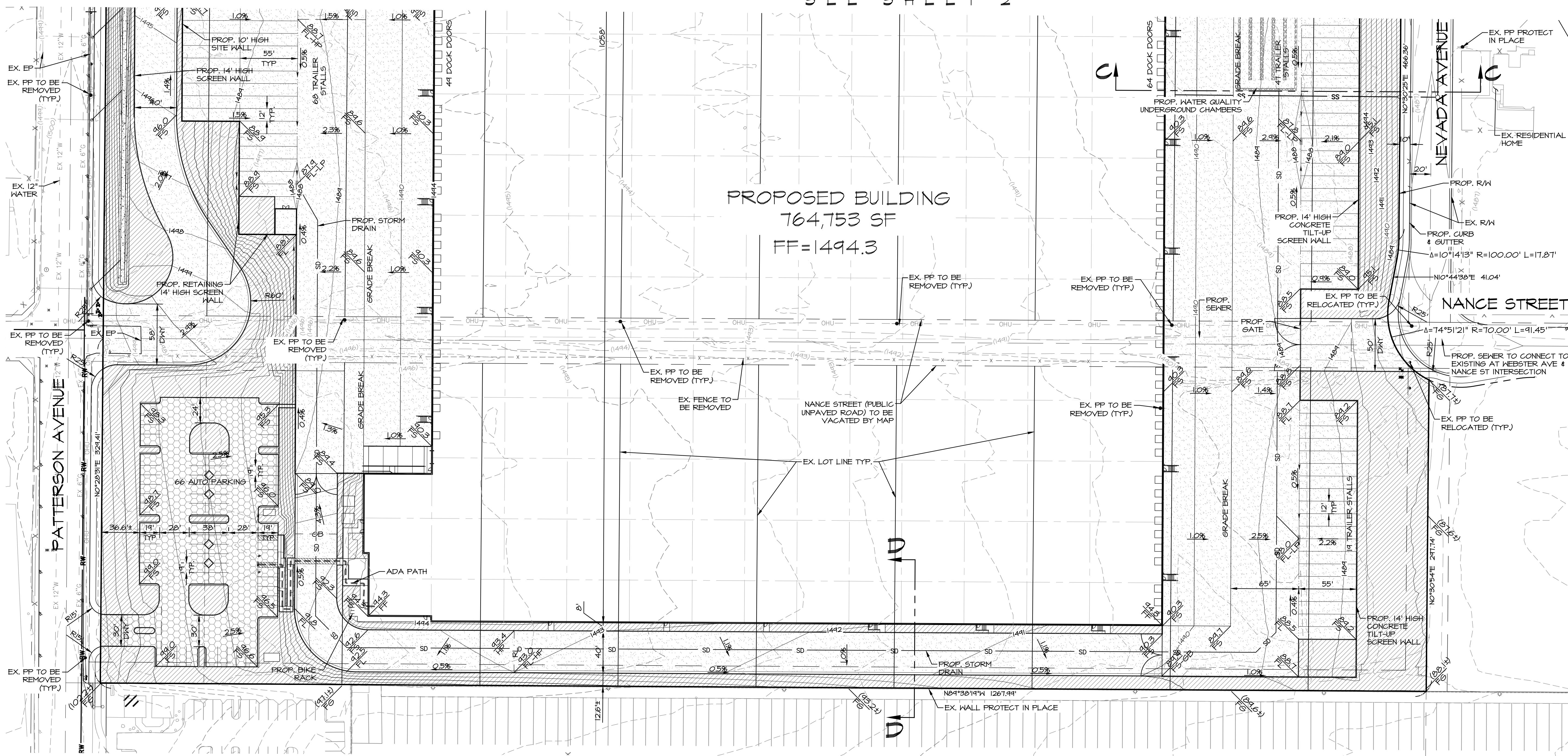
NOTE: ADD 1400' TO ALL  
PROPOSED ELEVATIONS FOR  
ACTUAL ELEVATION



SCALE: 1" = 50'	<b>ALBERTA WEBB ASSOCIATES</b> ENGINEERING CONSULTANTS 3788 MURRAY STREET RIVERSIDE CA 92506 PH. (951) 686-1070 FAX (951) 788-1256	CITY OF PERRIS DEVELOPMENT PLAN REVIEW NO. 21-00005	W.O. 20-0231
DATE: 7/24/23			SHEET 2
DESIGNED: CV			OF 3 SHEETS
CHECKED: AS			DWG. NO.
PLN CK REF:		DUKE REALTY - PATTERSON AVE & NANCE ST	
F.B.	PLOT DATE: 7/24/2023		

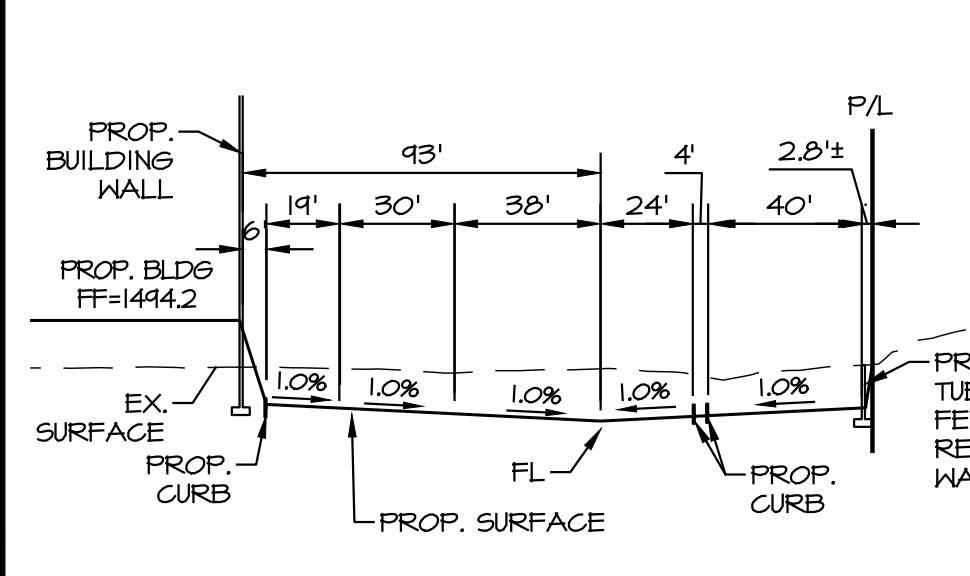
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SEE SHEET 2

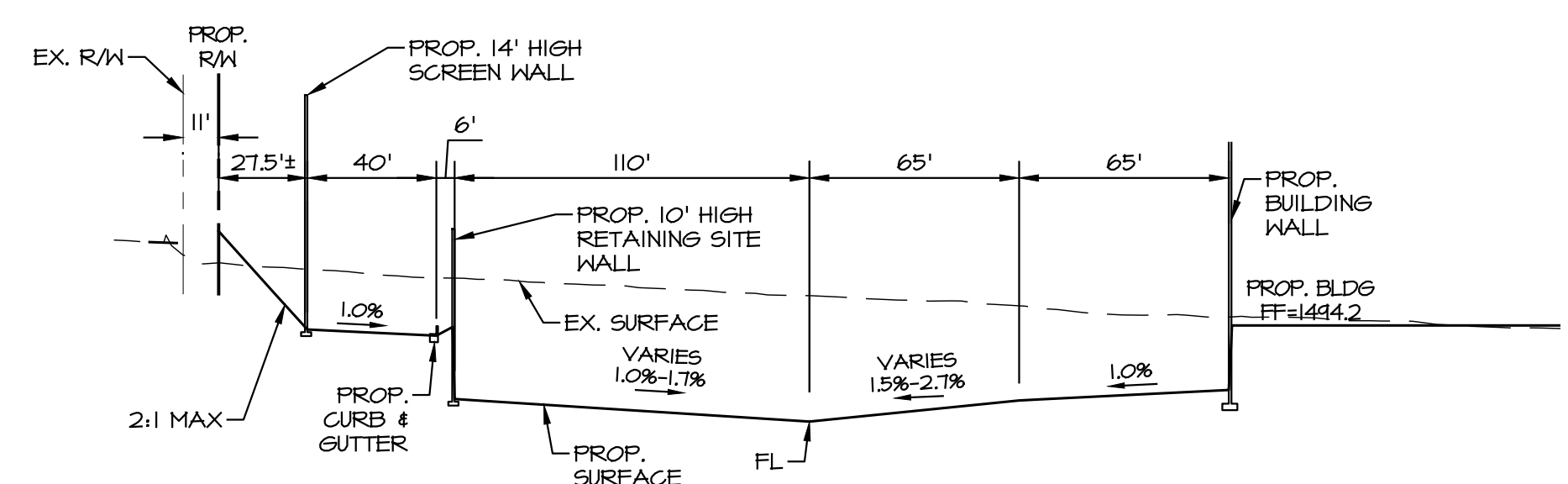


- LEGEND**
- PROPOSED CONCRETE PAVEMENT
  - PROPOSED LANDSCAPE AREA
  - FIRE ACCESS LANE
  - ADA PATH OF TRAVEL
  - SCREEN WALL
  - FENCE LINE
  - GRADEBREAK/RIDGELINE
  - FLOWLINE
  - FIRE LINE
  - FIRE LINE
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - EXISTING WATER LINE
  - EXISTING SEWER LINE
  - EXISTING STORM DRAIN
  - EXISTING GAS LINE
  - EXISTING ELECTRICAL LINE
  - FINISHED FLOOR
  - FINISHED GROUND
  - FLOW LINE
  - INVERT
  - LANDSCAPE AREA
  - LOW POINT
  - MAXIMUM
  - PROPERTY LINE
  - RIGHT OF WAY
  - TYPICAL
  - DRIVEWAY
  - RIDGELINE

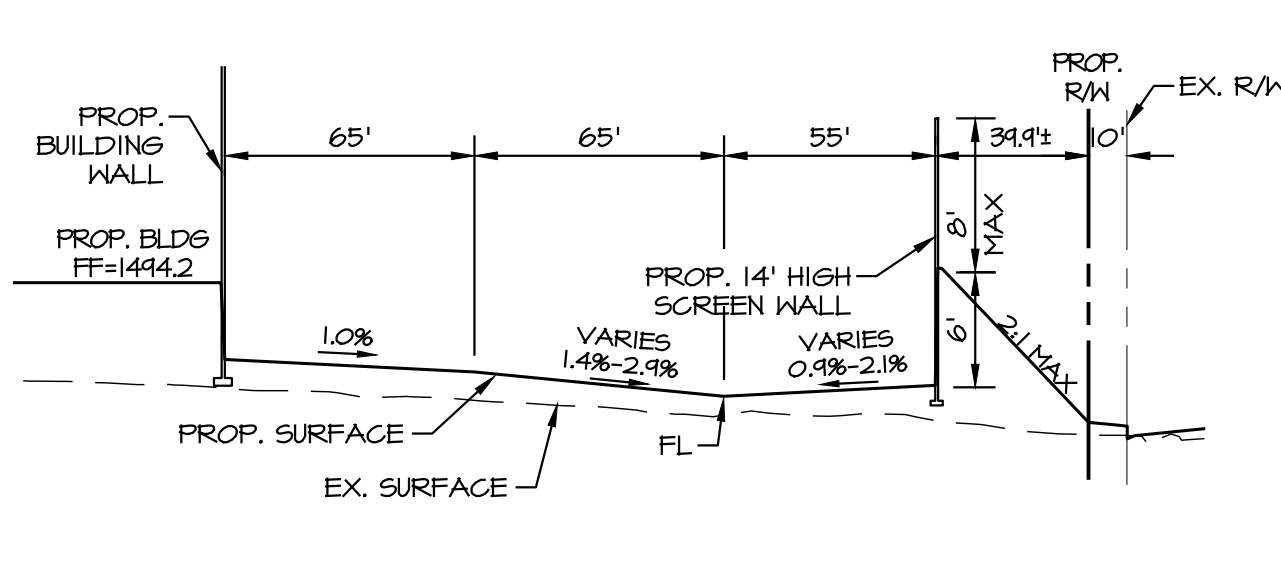
NOTE: ADD 1400' TO ALL PROPOSED ELEVATIONS FOR ACTUAL ELEVATION



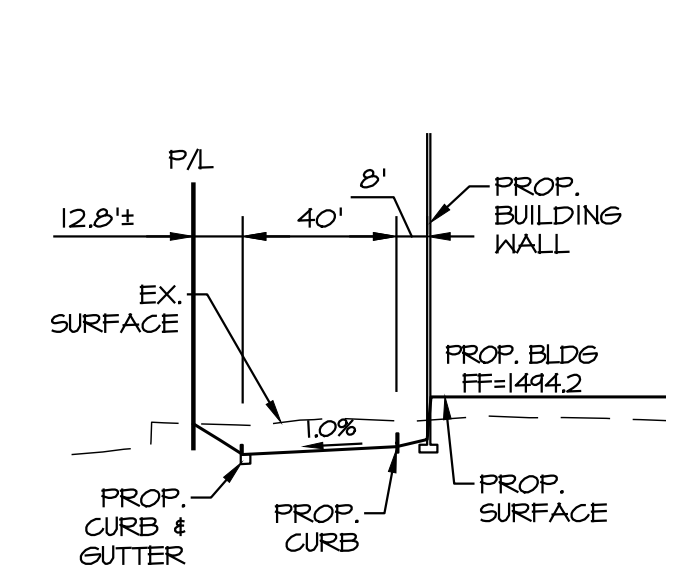
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SEE SHEET 2



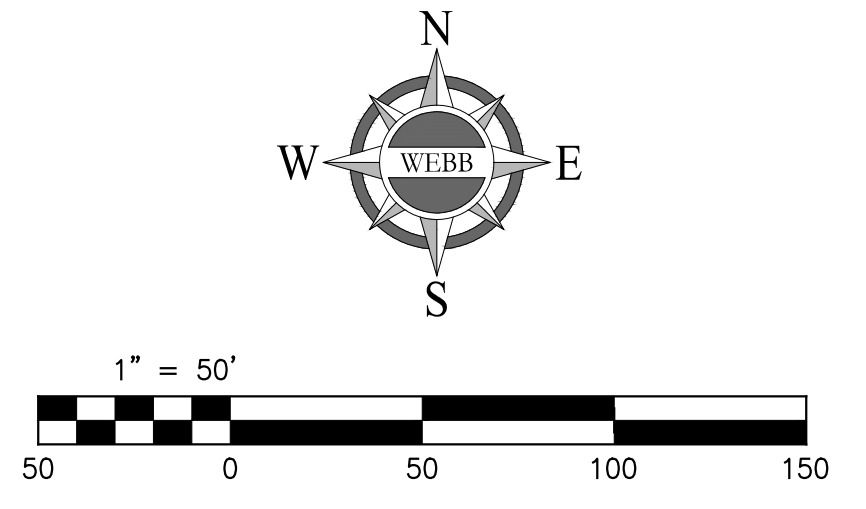
**SECTION B-B**  
N.T.S.  
SEE SHEET 2



**SECTION C-C**  
N.T.S.  
SEE SHEET 2



**SECTION D-D**  
N.T.S.



SCALE: 1" = 50'	<b>ALBERTA WEBB ASSOCIATES</b>	ENGINEERING CONSULTANTS 3788 MCCRAY STREET RIVERSIDE CA 92506 PH. (951) 686-1070 FAX (951) 788-1256	CITY OF PERRIS DEVELOPMENT PLAN REVIEW NO. 21-00005	W.O. 20-0231
DATE: 7/24/23				SHEET 3
DESIGNED: CV			OF 3 SHEETS	
CHECKED: AS			DWG. NO.	
PLN CK REF:	PLOT DATE: 7/24/2023		DUKE REALTY - PATTERSON AVE & NANCE ST	
F.B.				

PRELIMINARY  
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**PLANTING LEGEND**

TREES					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	REMARKS
	<i>Chilopsis linearis</i> Desert Willow	36" Box 24" Box	33 21	L	Mult
	<i>Chiloba taekentensis</i> Chiloba	24" Box	70	L	Standard
	<i>Lagerstromia</i> 'Muskegoe' Grape Myrtle	24" Box	22	M	Standard
	<i>Pinus sabiniana</i> Alphan Pine	24" Box	40	L	Standard
	<i>Prosopis chilensis</i> Chilean Mesquite	36" Box	12	M	Mult
	<i>Ulmus parvifolia</i> Chinese Elm	24" Box	53	L	Standard
	<i>Tristania conferta</i> Britsare Box	15 Gal	66	M	Standard

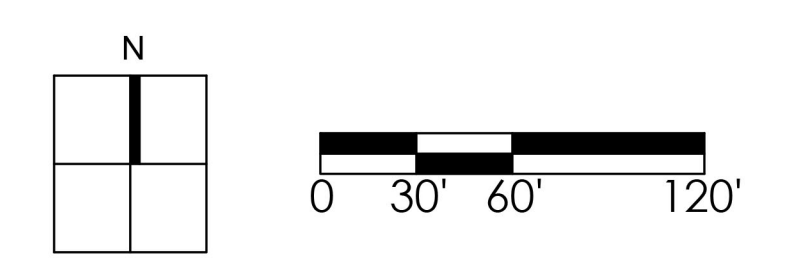
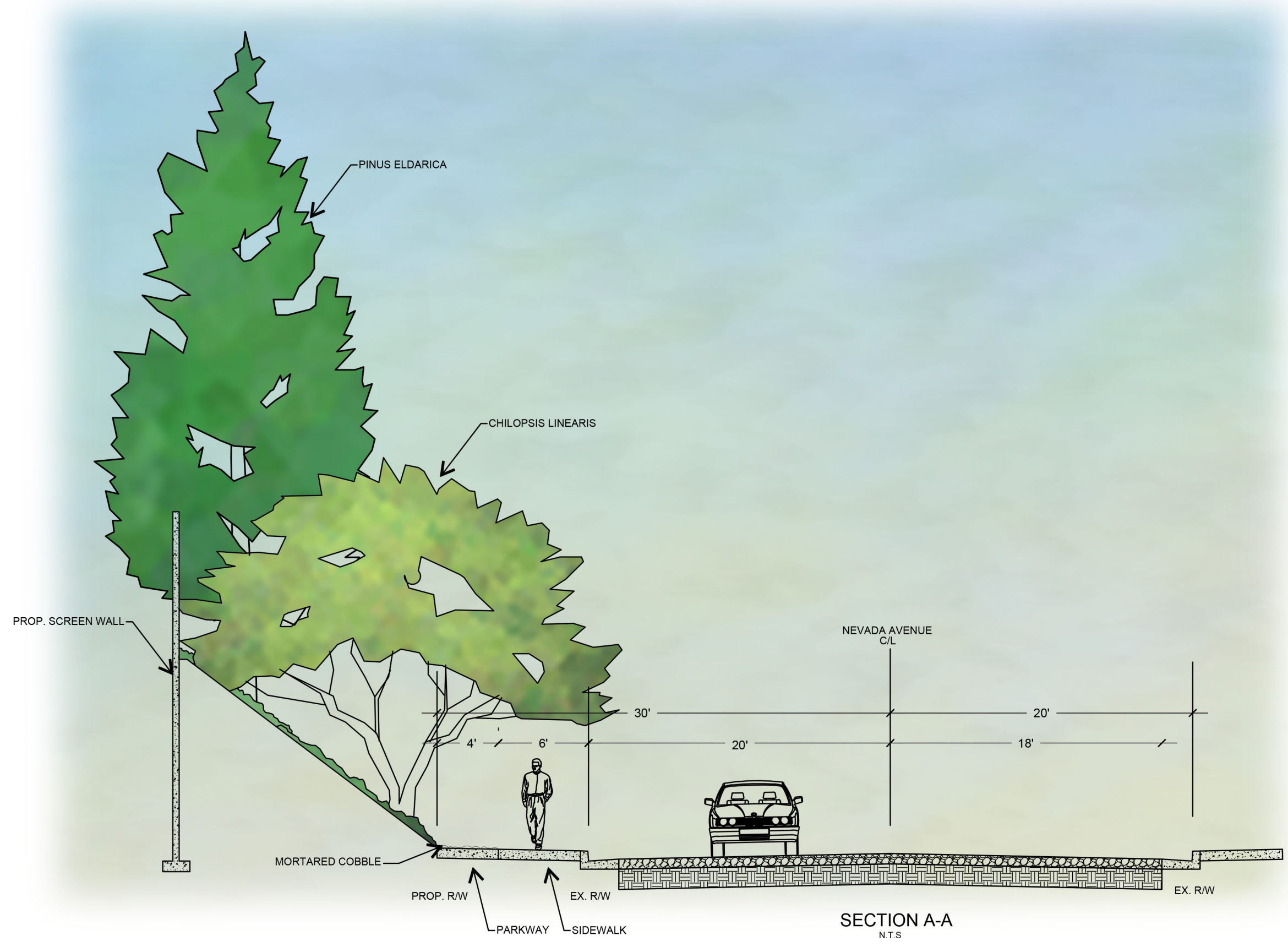
  

SHRUBS					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	WUCOLS	REMARKS
	<i>Acacia sellowiana</i> Pinnacled Acacia	5 Gal		M	
	<i>Franklinia</i> 'Grey Horizon' Grey Elm Bush	5 Gal		L	4" OC 2.5' from hardscape
	<i>Heteromeles arbutifolia</i> Toyon	5 Gal		L	3.5' from hardscape
	<i>Ligustrum</i> 'Toxarium' Texas Privet	5 Gal		M	3" OC
	<i>Rhamnus californica</i> Coffeeberry	5 Gal		L	2' from hardscape
	<i>Salvia</i> 'Allen Chobreyne' Allen Chobreyne Sage	5 Gal		L	4" OC 2.5' from hardscape
	<i>Salvia</i> 'Lipstick' Autumn Sage	5 Gal		L	3" OC
	<i>Salvia leucantha</i> Mexican Sage	5 Gal		L	2' from hardscape
	<i>Westringia</i> 'Autobona' Coast Rosemary	5 Gal		L	3" OC 2' from hardscape
	<i>Westringia</i> 'Grey Box' Dwarf Coast Rosemary	5 Gal		L	3" OC 2' from hardscape

GROUNDCOVER					
SYMBOL	BOTANICAL/COMMON NAME	SIZE	SPACING	WUCOLS	REMARKS
	<i>Acacia redolens</i> 'Low Boy' Dwarf Acacia	1 Gal	8" O.C.	L	
	<i>Baccharis</i> 'Dragon Point' Dwarf Coyote Bush	1 Gal	8" O.C.	L	
	<i>Myoporum parvifolium</i> Myoporum	1 Gal	38" O.C.	L	
	<i>Rosemarinus</i> 'Huntington Carpet' Prostrate Rosemary	1 Gal	48" O.C.	L	
	<i>Trachelopogonum asminoides</i> Star Jasmine	1 Gal	24" O.C.	M	

- NOTES:**
- ALL TREES WITHIN 5' OF HARDSCAPE SHALL BE IN A SHAWTOWN OR EQUAL ROOTBARRIER.
  - CONTRACTOR TO INSTALL CONCRETE MOW CURB BETWEEN PLANTERS AND GRAVEL AREAS. SEE PLANTING DETAIL SHEET.
  - A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS. CREeping OR ROOTING GROUNDCOVERS OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRADICTED.
  - THESE PLANS WILL COMPLY WITH THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE 823.
  - ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY, INCLUDING STREET TREES, SHALL BE INSTALLED PER THE PUBLIC IMPROVEMENT PLANS.
  - UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.



# PROLOGIS PATTERSON & NANCE

21-031  
02.08.21 03.17.22 04.20.23 07.20.23  
11.09.21 05.25.22 06.14.23  
03.01.22 07.11.22 06.20.23

Perris, California



**HUNTER LANDSCAPE**

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